

## APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · Fax: 616.396.2537

### *Applicant Information*

Contact Name Jason Hall Company Midwest Construction Group  
Address 8516 Homestead Drive, Suite 102 Phone (616) 405-1856  
Zeeland, MI 49464 Fax / Email jhall@midwestbuilt.com

### *Owner Information*

Contact Name Eric Heitman Company Heitman Properties LLC  
Address 2691 120th Ave Phone 616-218-2283  
Holland MI 49424 Fax / Email ericheitmandvm@gmail.com

### *Plan Preparer Information*

Contact Name John M. Tenpas Company Driesenga & Associates, Inc.  
Address 12330 James Street, Suite H80 Phone (616) 396-0255  
Holland, MI 49424 Fax / Email johnt@driesenga.com

### *Property Information*

Address or Location 2691 120th Avenue, Holland, MI 49424  
Parcel Number 70 - 16 - 16 - 400 - 076 Zoning District C-2 Community Commercial  
Present Use(s) Veterinary Clinic and Animal Hospital

Description of Special Use (attach additional pages as needed):  
Expansion of existing veterinary use. Proposed building addition will be 2,385 sft.  
Existing parking will be partially demolished and new parking constructed, with a net increase  
of 21 spaces. Fenced area north of the building for pet relief area.

The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval.

A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing device.

Site plans required for Special Use consideration **MUST** be submitted with this form. Applications submitted without the required site plans shall not be accepted. **The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.**

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

**Property Owner's Certification**

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

- Special Use – Earth-sheltered Building
- Special Use – Mineral Extraction
- Special Use – Wireless Communications

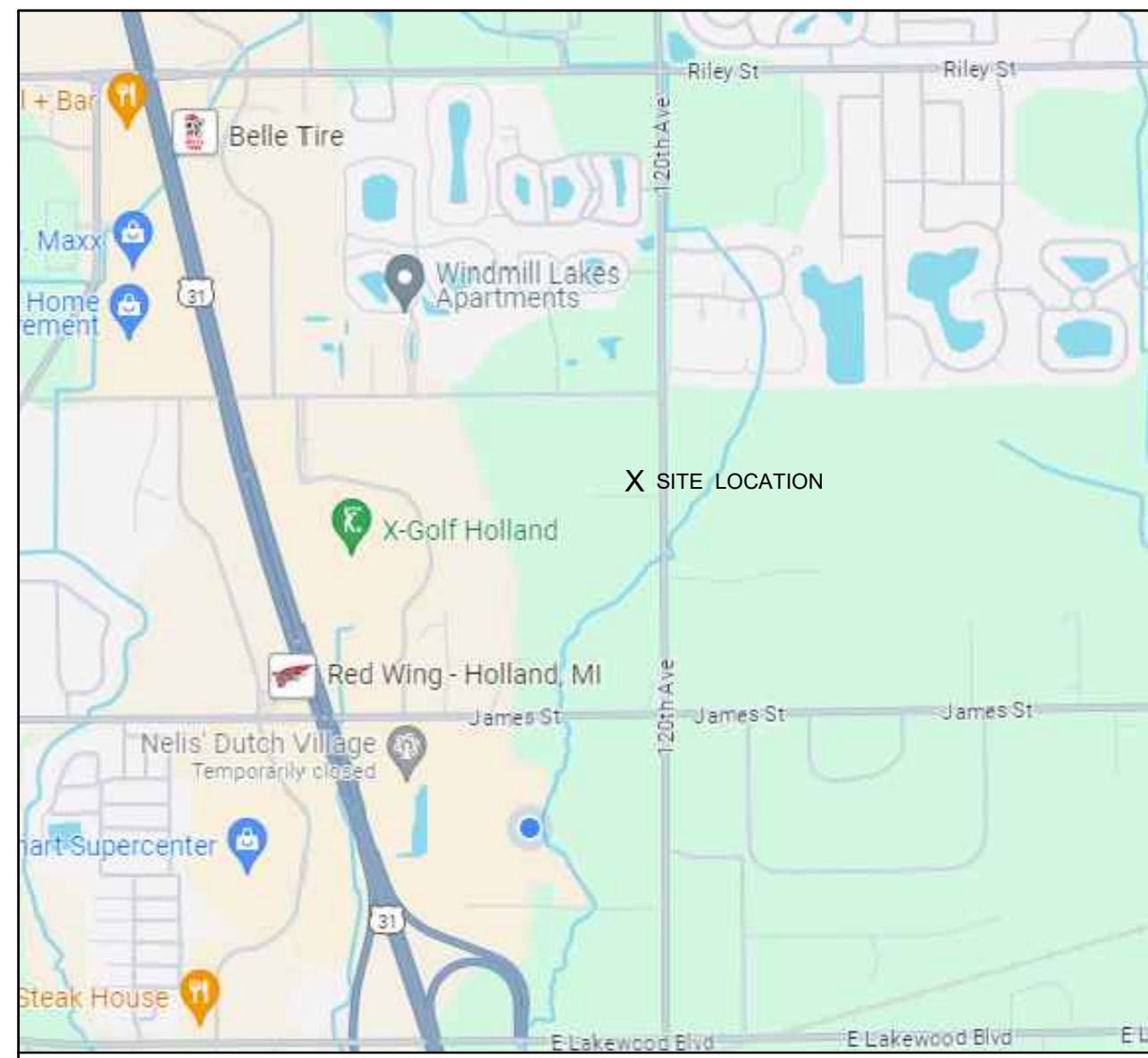
I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.

 \_\_\_\_\_  
 Signature of Applicant Date

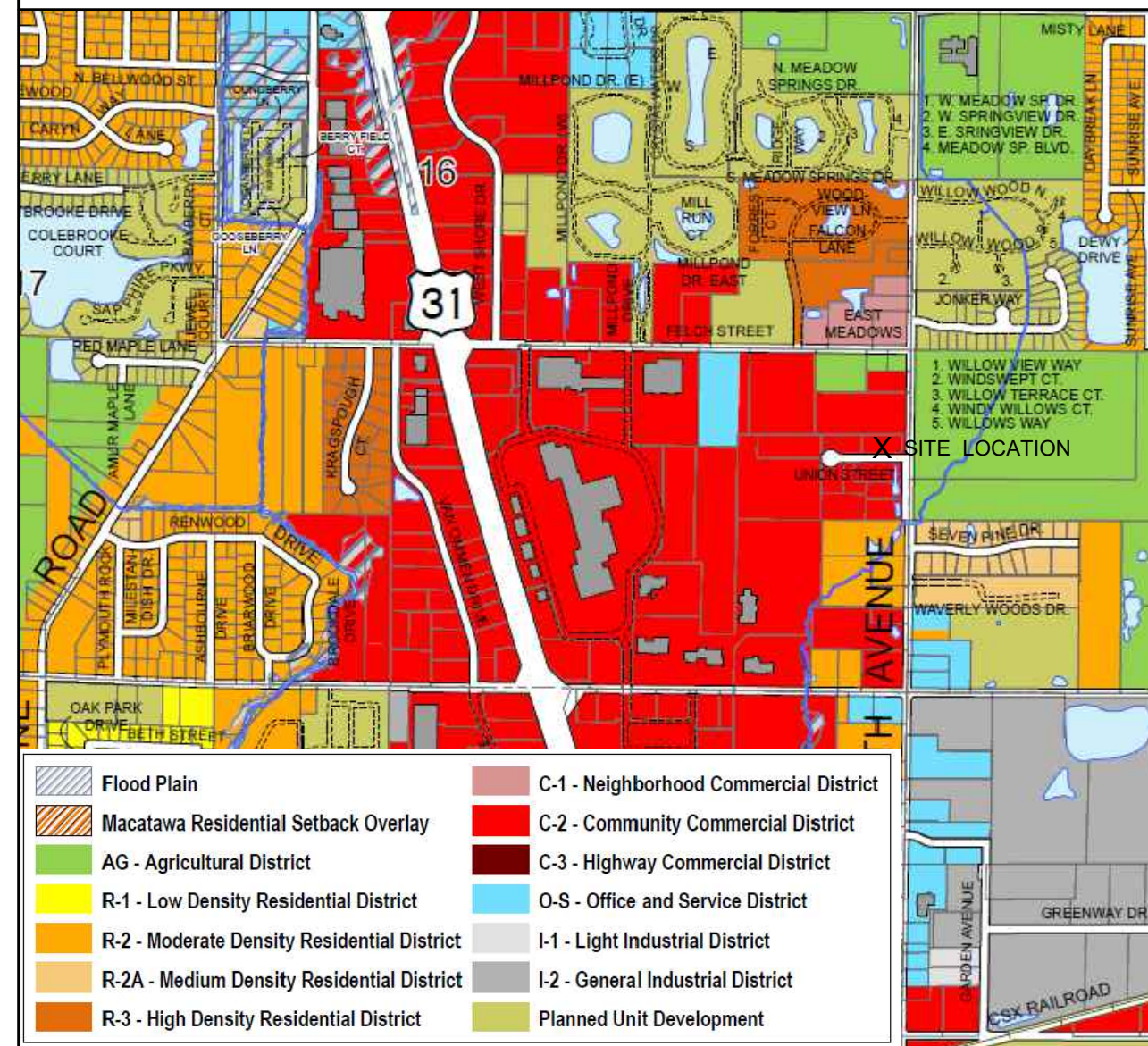
 9/30/24  
 Signature of Owner Date

*Section 15.3 - General Standards of Approval.* The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:

1. The use is designed and constructed, and will be operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity; will be compatible with adjacent uses of land; and will not change the essential character of the area in which it is proposed.
2. The use is, or as a result of the special land use approval, will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools.
3. The use will not involve activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
4. The special land use will be consistent with the intent and purposes of this ordinance and the most recent updates to the Holland Charter Township Comprehensive Plan.
5. It will not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole.
6. It will not create excessive additional requirements at public cost for infrastructure and will not be detrimental to the economic welfare of the community.
7. It will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
8. It shall conform with all specific requirements applicable to the proposed use, as applicable.
9. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
10. There is need for the proposed use within the township.



LOCATION MAP - NO SCALE



ZONING MAP - NO SCALE



AERIAL - NO SCALE

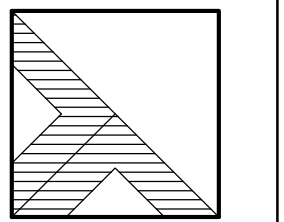
# MIDWEST CONSTRUCTION GROUP OTTAWA ANIMAL HOSPITAL EAST

2691 120TH AVENUE  
SECTION 16, T05N, R15W  
HOLLAND, MICHIGAN 49424

## SHEET INDEX

G-001	TITLE SHEET
V-101	EXISTING TOPOGRAPHIC PLAN
CD-101	CIVIL DEMOLITION PLAN
C-101	SITE PLAN
C-102	STORM SEWER, GRADING AND SOIL EROSION CONTROL PLAN
L-101	LANDSCAPE PLAN
C-501	DETAILS

<b>SITE ADDRESS</b>
OTTAWA ANIMAL HOSPITAL EAST 2691 120TH AVENUE HOLLAND, MI 49424
<b>OWNER</b>
MIDWEST CONSTRUCTION GROUP 8516 HOMESTEAD DRIVE, SUITE 102 ZEELAND, MI 49464 (616)772-6070 JOE WOLDRING jwolding@midwestbuilt.com
<b>CIVIL ENGINEER</b>
DRIESENGA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE H80 HOLLAND, MICHIGAN 49424 (616) 398-0255 JOHN TENPAS, P.E. johnt@driesenga.com



**DRIESENGA & ASSOCIATES, INC.**

**Engineering  
Surveying  
Testing**

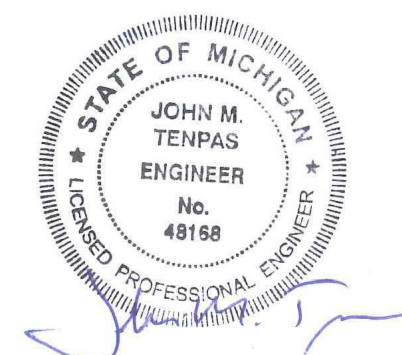
www.driesenga.com

Holland, MI  
616-396-0255  
Grand Rapids, MI  
616-249-3800  
Kalamazoo, MI  
269-544-1455  
Lansing, MI  
517-889-6210  
Ypsilanti, MI  
734-368-9483

OTTAWA ANIMAL HOSPITAL EAST  
2691 120TH AVENUE  
SECTION 16, T05N, R15W, HOLLAND TWP., OTTAWA CO.  
-FOR-  
MIDWEST CONSTRUCTION GROUP  
8516 HOMESTEAD DRIVE, SUITE 102, ZEELAND, MI 49464

**ISSUED FOR:**

1	ISSUED FOR REVIEW 04-26-2024 D: JTC C: JMP
2	TWP. SITE PLAN REVIEW 07-19-2024 D: WKT C: JMP
3	TWP. SITE PLAN REVIEW 09-10-2024 D: WKT C: JMP
3	SITE PLAN REVISION 09-30-2024 D: WKT C: JMP



**ISSUED FOR  
APPROVAL**

Project Manager:  
JOHN TENPAS

Project #  
2410092.1A

Sheet Title:

TITLE SHEET

Sheet #

**G-001**  
1 of 7



Know what's below.  
Call before you dig.

# TOPOGRAPHIC / BOUNDARY SURVEY

## STORM STRUCTURE DATA

CB#1 - 4'Ø CONCRETE RIM 616.61  
INV (N) 12" CPE=612.51  
SUMP=611.81

MH #2 - 4'Ø CONCRETE RIM 617.29  
INV (N) 12" CPE=611.69  
INV (S) 12" CPE=611.69  
INV (E) 12" CPE=611.69  
TOP OF WATER=612.84  
SUMP=611.69

CB #3 - 4'Ø CONCRETE RIM 616.66  
INV (S) 12" CPE=612.21  
SUMP=611.06

CB #4 - 4'Ø CONCRETE RIM 616.51  
UNABLE TO SEE PIPES  
CONE OFFSET  
TOP OF WATER=612.91  
SUMP=611.01

MH #5 - 4'Ø CONCRETE RIM 617.20  
INV (N) 12" CPE=610.95  
INV (S) 12" CPE=610.95  
INV (W) 12" CPE=610.95  
TOP OF WATER=612.85

## SANITARY STRUCTURE DATA

CB #6 - 4'Ø CONCRETE RIM 616.48  
INV (S) 12" CPE=611.78  
INV (NW) 12" CPE=611.73  
SUMP=611.78

CB #7 - 4'Ø CONCRETE LEACHING BASIN  
RIM 615.58  
INV (SSE) 12" CPE=612.80  
TOP OF WATER=612.80  
SUMP=611.08

CB #8 - 4'Ø CONCRETE RIM 616.82  
INV (NW) 12" CPE=612.97  
INV (NE) 15" CPE=612.97  
SUMP=611.82

CB #9 - 2'Ø CONCRETE RIM 616.76  
INV (SE) 12" CPE=614.28  
SUMP=613.86

MH-10  
RIM 617.53  
UNABLE TO OPEN

## BENCHMARK DATA

NAVD '88 AS DERIVED FROM GPS OBSERVATIONS UTILIZING M.D.O.T. CORRS GEOID 18

BM #1 EL= 618.26' (NAVD 88)  
CUT "X" ON THE SOUTH SIDE OF CONCRETE LIGHT POLE BASE, LOCATED 34± NORTH OF THE CENTERLINE OF UNION STREET AND 67± SOUTH SOUTHEAST OF THE SOUTHWEST BUILDING CORNER OF "OTTAWA ANIMAL HOSPITAL".

BM #2 EL= 620.09' (NAVD 88)  
SET RAIL ROAD SPIKE IN THE SOUTH SIDE OF UTILITY POLE, LOCATED 176± NORTH OF THE CENTERLINE OF UNION STREET AND 87± EAST NORTHEAST OF THE NORTHEAST BUILDING CORNER OF "OTTAWA ANIMAL HOSPITAL".

BM #3 EL= 618.24' (NAVD 88)  
CUT "X" ON SOUTH SIDE OF LIGHT POLE BASE, LOCATED 110± NORTH OF THE CENTERLINE OF UNION STREET AND 94± WEST NORTHWEST OF THE SOUTHWEST BUILDING CORNER OF "OTTAWA ANIMAL HOSPITAL".

## SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26139C0305E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 16, 2021. ZONE "X" AREAS DETERMINED TO BE AREAS OF MINIMAL FLOOD HAZARD.
- BASIS OF BEARING TAKEN FROM PREVIOUS DRIESENKA & ASSOCIATES PROJECT NUMBER 2010935.A, DATED JANUARY 28, 2021.
- THE FIELD WORK WAS COMPLETED ON FEBRUARY 29, 2024.

## SCHEDULE "A" LEGAL DESCRIPTION

FROM: TRANSNATION TITLE AGENCY OF MICHIGAN LAKESHORE DIVISION  
FILE NO.: 431126LKS (EFFECTIVE DATE: FEBRUARY 29, 2024)

PART OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE SOUTH 00 DEGREES 40 MINUTES 53 SECONDS WEST 660.24 FEET ALONG THE EAST LINE OF SAID SECTION TO THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 40 MINUTES 53 SECONDS WEST 180.00 FEET ALONG SAID EAST LINE; THENCE NORTH 89 DEGREES 19 MINUTES 10 SECONDS WEST 363.00 FEET PARALLEL WITH THE NORTH SECTION LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION; THENCE NORTH 00 DEGREES 40 MINUTES 53 SECONDS EAST 180.00 FEET; THENCE SOUTH 89 DEGREES 19 MINUTES 10 SECONDS EAST 363.00 FEET ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION TO THE POINT OF BEGINNING.

EXCEPT PART OF THE SOUTHEAST 1/4 OF SECTION 16, TOWN 5 NORTH, RANGE 15 WEST, DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SECTION 16; THENCE SOUTH 00 DEGREES 28 MINUTES 57 SECONDS EAST 807.19 FEET ALONG THE EAST LINE OF SAID SECTION; THENCE SOUTH 89 DEGREES 31 MINUTES 06 SECONDS WEST 60.00 FEET PARALLEL WITH THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION TO THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 28 MINUTES 57 SECONDS EAST 33.00 FEET; THENCE SOUTH 89 DEGREES 31 MINUTES 06 SECONDS WEST 303.00 FEET; THENCE NORTH 00 DEGREES 28 MINUTES 57 SECONDS WEST 33.00 FEET; THENCE NORTH 89 DEGREES 31 MINUTES 06 SECONDS EAST 303.00 FEET TO THE POINT OF BEGINNING.

AND EXCEPT PART OF THE SOUTHEAST 1/4 OF SECTION 16, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 16; THENCE SOUTH 00 DEGREES 28 MINUTES 57 SECONDS EAST 660.19 FEET ALONG THE EAST LINE OF SAID SECTION TO THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 28 MINUTES 57 SECONDS EAST 180.00 FEET ALONG SAID EAST LINE; THENCE SOUTH 89 DEGREES 31 MINUTES 06 SECONDS WEST 60.00 FEET PARALLEL WITH THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION; THENCE NORTH 00 DEGREES 28 MINUTES 57 SECONDS WEST 180.00 FEET; THENCE NORTH 89 DEGREES 31 MINUTES 06 SECONDS EAST 60.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

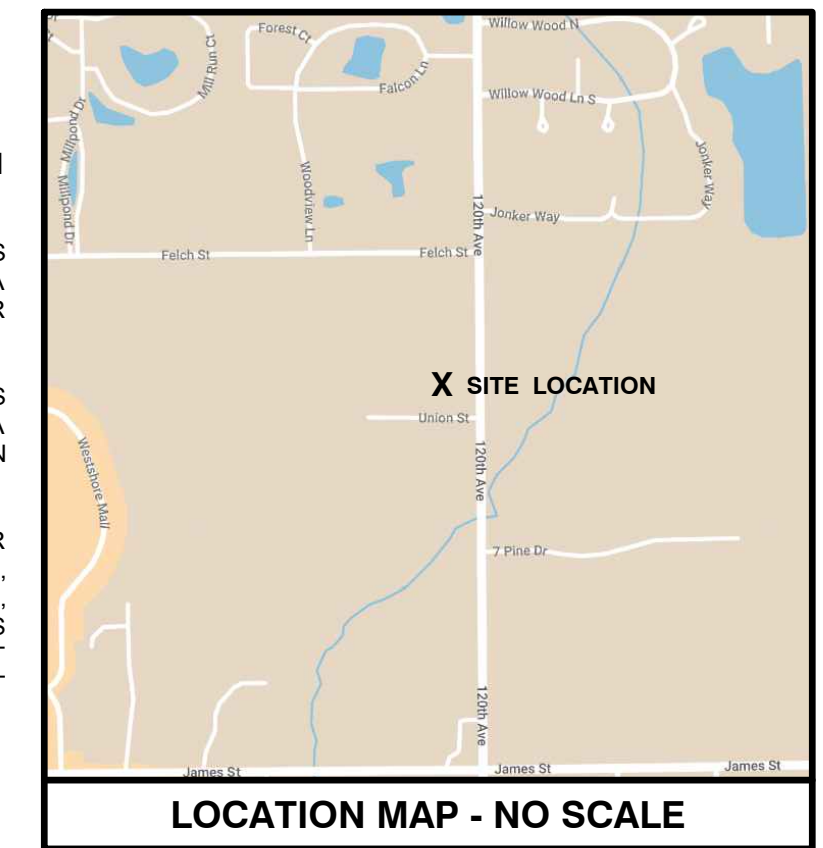
## SCHEDULE B-II EXCEPTIONS

FROM: TRANSNATION TITLE AGENCY OF MICHIGAN LAKESHORE DIVISION  
FILE NO.: 431126LKS (EFFECTIVE DATE: FEBRUARY 29, 2024)

RIGHT(S) OF WAY AND/OR EASEMENT(S) OVER SAID LAND FOR THE PURPOSES SHOWN BELOW AND THE RIGHTS INCIDENTAL THERETO, AS CREATED BY A DOCUMENT: PURPOSE: BICYCLE PATH AND WALKWAY RESERVED BY: CHARTER TOWNSHIP OF HOLLAND LIBER: 2204, PAGE: 909. (SHOWN ON DRAWING)

RIGHT(S) OF WAY AND/OR EASEMENT(S) OVER SAID LAND FOR THE PURPOSES SHOWN BELOW AND THE RIGHTS INCIDENTAL THERETO, AS CREATED BY A DOCUMENT: PURPOSE: PUBLIC UTILITIES LIBER: 2455, PAGE: 268. (NOT SHOWN ON DRAWING)

COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILY STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT: LIBER: 4737 PAGE: 709. (SHOWN ON DRAWING)



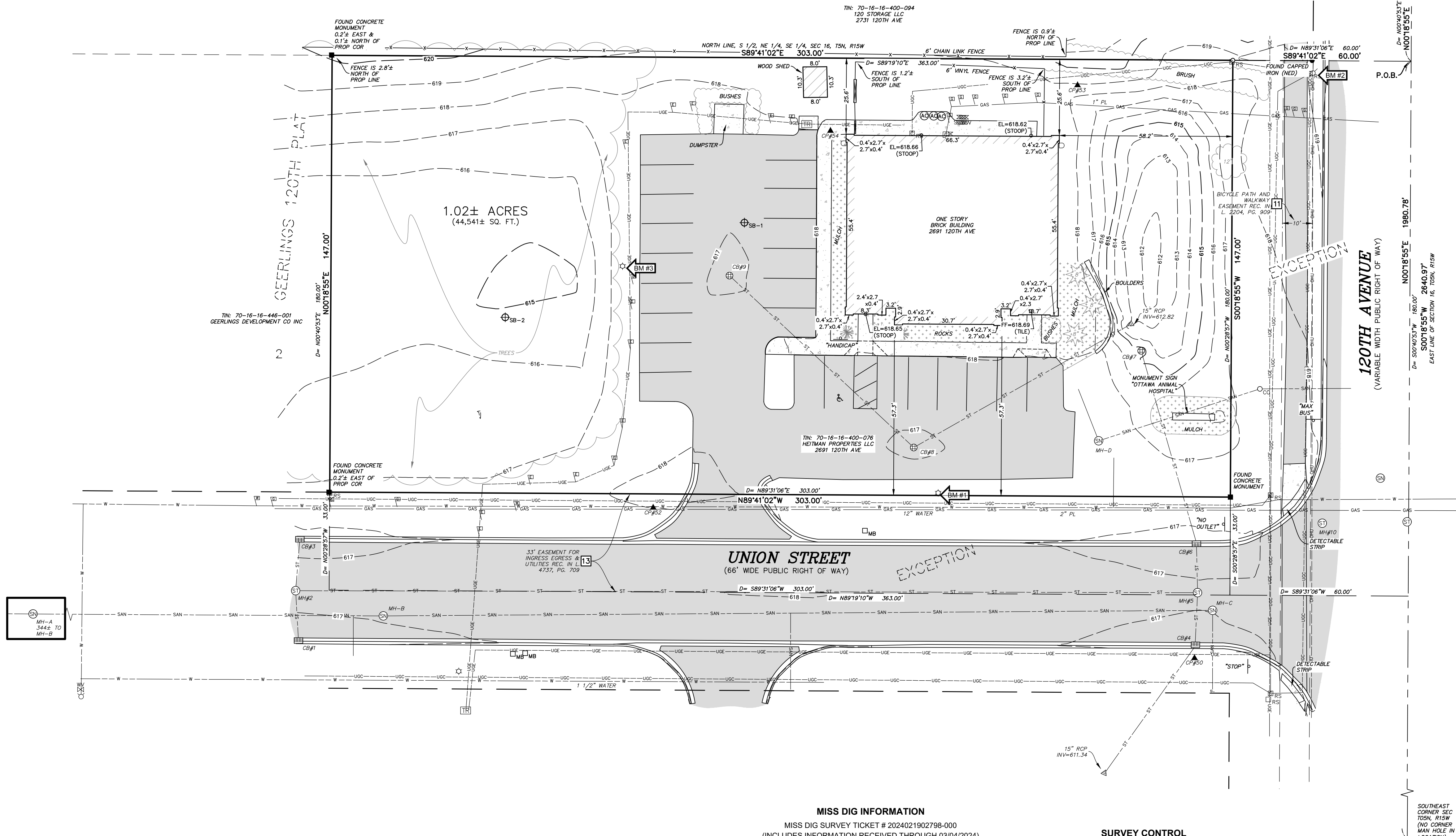
LOCATION MAP - NO SCALE



SCALE: 1"=20'

## LEGEND

- BENCHMARK
- MONUMENT FOUND
- SET CAPPED REBAR #62885
- FOUND IRON
- CONTROL POINT
- DESCRIBED
- STORM SEWER MANHOLE
- CATCH BASIN
- ROOF DRAIN
- SANITARY SEWER MANHOLE
- CLEANOUT
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- GAS LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- BUTYMINOUS SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



## MISS DIG INFORMATION

MISS DIG SURVEY TICKET # 2024021902798-000  
(INCLUDES INFORMATION RECEIVED THROUGH 03/04/2024)

- AT&T - 02/22/2023 (MAPS PROVIDED)
- COISYSTEMS - 02/20/2024 (MAPS PROVIDED)
- CONSUMERS ENERGY UNDERGROUND ELECTRIC - 03/01/2024 (RESPONSE RECEIVED - CLEAR)
- SEMCO ENERGY GAS - 02/20/2024 (MAPS PROVIDED)
- HOLLAND BPW - 02/22/2024 (MAPS PROVIDED)
- HOLLAND CHARTER TOWNSHIP - 02/19/2024 (MAPS PROVIDED)

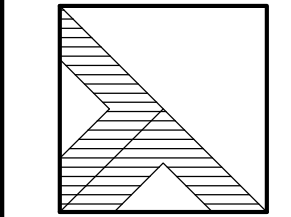
## SURVEY CONTROL

POINT NUMBER	NORTHING (ASSUMED)	EASTING (ASSUMED)	ELEVATION (NAVD 88)
50	9124.7347	12582.9702	616.94'
51	9127.8775	12010.8723	618.79'
52	9175.3527	12400.8809	618.03'
53	9317.5044	12543.6252	618.61'
54	9302.1862	12460.5196	618.40'

Tax Parcel No.: 70-16-16-400-076

**FOR REVIEW**

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.



DRIESENKA & ASSOCIATES, INC.

Engineering  
Surveying  
Testing

www.driesenga.com

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Lansing, MI  
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**OTTAWA ANIMAL HOSPITAL EAST**  
2691 120TH AVENUE  
SECTION 16, T05N, R15W, HOLLAND TWP., OTTAWA CO.  
-FOR-  
**MIDWEST CONSTRUCTION GROUP**  
8516 HOMESTEAD DRIVE, SUITE 102, ZEELAND, MI 49464

## REVISIONS

NO.	DATE	DESCRIPTION
1		

Drawn By: MJD  
Scale: 1"=20'  
Date: 03-06-2024  
Project #: 2410092.5A  
Sheet Title:

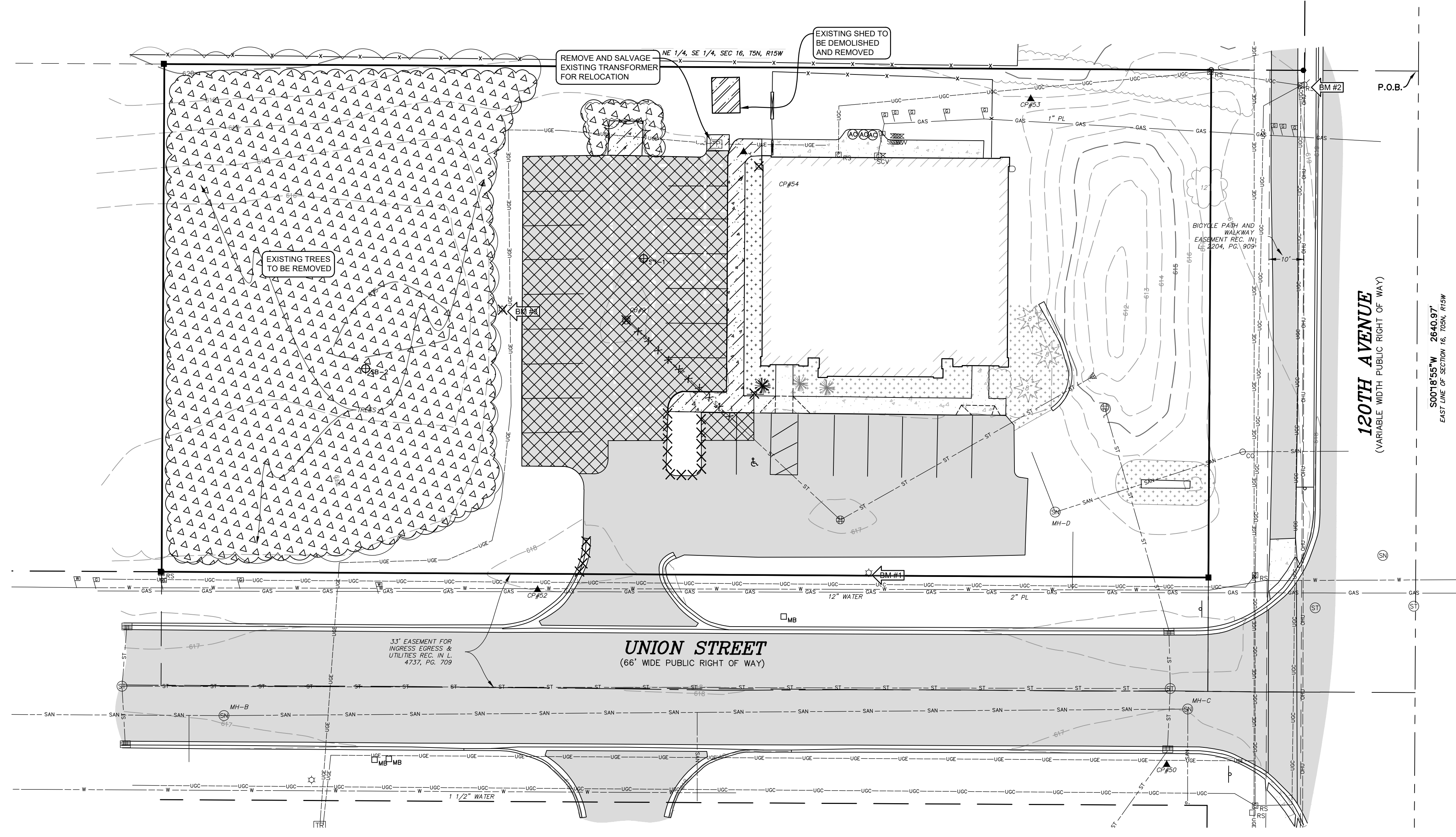
TOPOGRAPHIC / BOUNDARY SURVEY

Sheet #  
**V-101**  
1 of 1



Know what's below.  
Call before you dig.

File Name: C:\Users\weston\OneDrive\Documents\2024\2410092\1A\2410092.1A.dwg - SITE 5.dwg Lant Saved: 8/20/2024 3:43:41 PM



**CLEARING & DEMOLITION NOTES:**

1. REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURB, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE INDICATED AND DISPOSED OF IN A MANNER ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
2. MOVEMENT OF CLEARED WOOD IS RESTRICTED; REFER TO EMERALD ASH BORER QUARANTINE INFORMATION AT WWW.MICHIGAN.GOV. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL QUARANTINE REQUIREMENTS.
3. CONSTRUCTION FENCE SHALL BE PLACED AT THE DRIP LINE OF ALL TREES WITHIN THE PROJECT AREA THAT ARE INDICATED TO BE PROTECTED. DO NOT OPERATE EQUIPMENT OR STORE MATERIALS OR VEHICLES WITHIN THIS AREA.
4. UNLESS INDICATED TO BE ABANDONED IN PLACE, ALL UTILITIES TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY. UTILITIES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL AND SECURELY CAPPED.
5. EXCEPT FOR THOSE UTILITIES INDICATED TO BE ABANDONED OR REMOVED, RECONNECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.
6. ALL CATCHBASIN AND MANHOLE FRAMES AND COVERS SPECIFIED TO BE REMOVED SHALL BE SALVAGED, CLEANED AND INSPECTED, AND MAY BE REUSED WITH APPROVAL BY ENGINEER.
7. ANY REMOVAL OF PAVEMENT, SIDEWALK, CURB AND GUTTER OR OTHER HARD SURFACES SHALL BE TO A SAWCUT LINE AT THE NEXT JOINT BEYOND REMOVAL LIMITS SHOWN.
8. DEMOLITION WORK IS INDICATED BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH THE EXTENT OF DEMOLITION WORK REQUIRED.

**DEMOLITION KEY:**

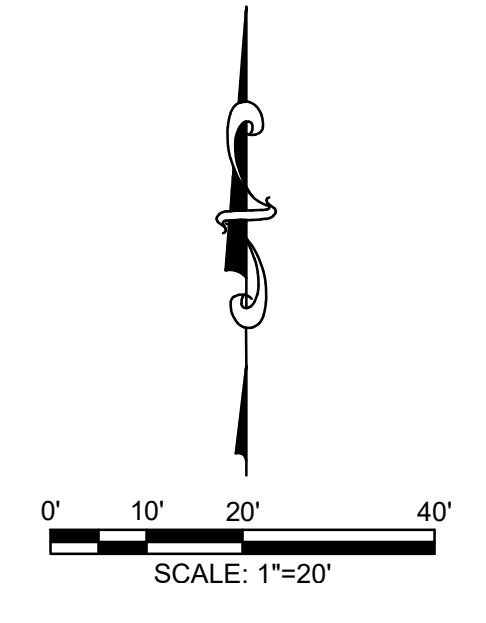
- 1 PROTECT EX. ASPHALT PAVEMENT TO REMAIN

**REMOVAL LEGEND:**

- CONCRETE REMOVAL
- ASPHALT REMOVAL
- BUILDING REMOVAL
- GRAVEL REMOVAL
- TREE CLEARING
- TREE/SHRUB REMOVAL
- FENCE/WALL/MISC. REMOVAL
- UTILITY REMOVAL

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- GROUND MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- PROPOSED BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE
- GRAVEL SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



ISSUED FOR APPROVAL

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**Engineering Surveying Testing**  
 www.driesengaconline.com  
 Holland, MI 616-396-0255  
 Grand Rapids, MI 616-249-3800  
 Kalamazoo, MI 269-544-1455  
 Lansing, MI 517-889-6210  
 Ypsilanti, MI 734-368-9483

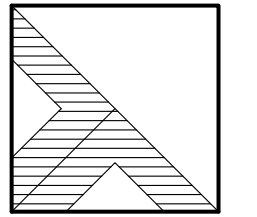
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Project Manager:  
**JOHN TENPAS**  
 Project #  
2410092.1A  
 Sheet Title:  
**CIVIL DEMOLITION PLAN**

Sheet #  
**CD-101**  
3 of 7



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Testing

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734-368-9483

OTTAWA ANIMAL HOSPITAL EAST  
2691 120TH AVENUE  
SECTION 16, T05N, R15W, HOLLAND TWP., OTTAWA CO.  
-FOR-  
MIDWEST CONSTRUCTION GROUP  
85116 HOMESTEAD DRIVE, SUITE 102, ZEELAND, MI 49464

ISSUED FOR:

1	ISSUED FOR REVIEW	04-26-2024	D: JTC C: JMP
2	TWP. SITE PLAN REVIEW	07-19-2024	D: WKT C: JMP
3	TWP. SITE PLAN REVIEW	09-10-2024	D: WKT C: JMP
3	SITE PLAN REVISION	09-30-2024	D: WKT C: JMP

Project Manager:  
JOHN TENPAS

Project #  
2410092.1A

Sheet Title:

SITE  
PLAN

Sheet #

C-101  
4 of 7

### PROJECT SUMMARY

- PARCEL INFORMATION**  
CURRENT ZONING: C-2 COMMUNITY COMMERCIAL DISTRICT  
SITE ADDRESS: 2691 120TH AVE  
PARCEL NUMBER: 70-16-16-400-076  

MIN. LAND AREA:	0.35 AC	1.02 AC
MIN. LOT WIDTH:	90 FT	303 FT
- BUILDING**

REQUIRED	PROVIDED
MAX. BUILDING HEIGHT:	50 FT / 25 FT
MAX. BUILDING SIZE:	N/A / 7,417 SFT
MAX. LOT COVERAGE:	25% / 16.65%
- SETBACKS**

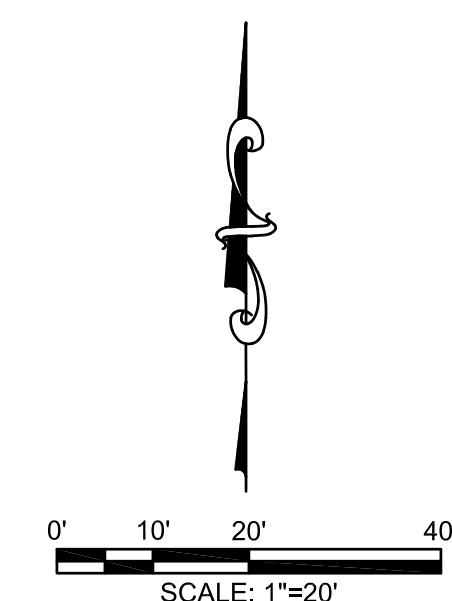
REQUIRED	PROVIDED
FRONT (MIN.)	50 FT / 58.56 FT
SIDE (MIN.)	15 FT / 25.6 FT
REAR (MIN.)	25 FT / 134.9 FT
- REGULATORY APPROVALS**  
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)  
  - HOLLAND CHARTER TOWNSHIP SITE PLAN
  - HOLLAND CHARTER TOWNSHIP FIRE DEPARTMENT
  - OTTAWA COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT
  - OTTAWA COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT
  - OTTAWA COUNTY ROAD COMMISSION ROW/DRIVEWAY
  - EGL E N PDES CONSTRUCTION SITE STORM WATER DISCHARGE (IF DISTURBED AREA IS GREATER THAN 5 ACRES)
  - EGL PUBLIC WATER SYSTEM PERMIT
  - EGL PUBLIC WASTEWATER SYSTEM PERMIT
- IMPACT ON PUBLIC SERVICES**  
PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS.
- IMPACT TO SURROUNDING PROPERTIES**  
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.
- PARKING**

REQUIRED	PROVIDED
DIMENSIONS	9'X18' / 9'X18'
SPACES REQUIRED	
1 PER 300 SFT = (5032+2385)/300 =	25
SPACES PROVIDED =	45
- SIGNAGE**  
EXISTING SIGNAGE TO REMAIN, NO NEW SIGNAGE TO BE IMPLEMENTED.
- STORM WATER MANAGEMENT**  
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCHBASINS, PIPES, AND DITCHES AND ROUTED TO A PROPOSED DETENTION BASIN ON-SITE. THE DETENTION BASIN WILL DISCHARGE TO THE PUBLIC STORM SEWER SYSTEM VIA A CONTROLLED DISCHARGE PER OTTAWA COUNTY DRAIN COMMISSIONER REQUIREMENTS.
- WATER/SEWER SERVICE**  
SITE WILL BE SERVED BY NEW PRIVATE WATER AND SEWER CONNECTIONS CONNECTED TO EXISTING PUBLIC UTILITIES ADJACENT TO THE SITE.
- WETLANDS**  
THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS**  
THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26139C0306E.
- LANDSCAPING**  
FRONTAGE  
EXISTING FRONTAGE LANDSCAPING TO REMAIN, NO MODIFICATION TO EXISTING FRONTAGE LANDSCAPING TO BE IMPLEMENTED.  
EXISTING BUFFER PLANTING TO REMAIN, NO MODIFICATION TO BUFFER PLANTING TO BE IMPLEMENTED.  
EXISTING 24 PARKING SPACES ACCOUNTED FOR WITH PREVIOUS LANDSCAPING, ADDITIONAL LANDSCAPING TO BE ACCOUNTED FOR WITH:  

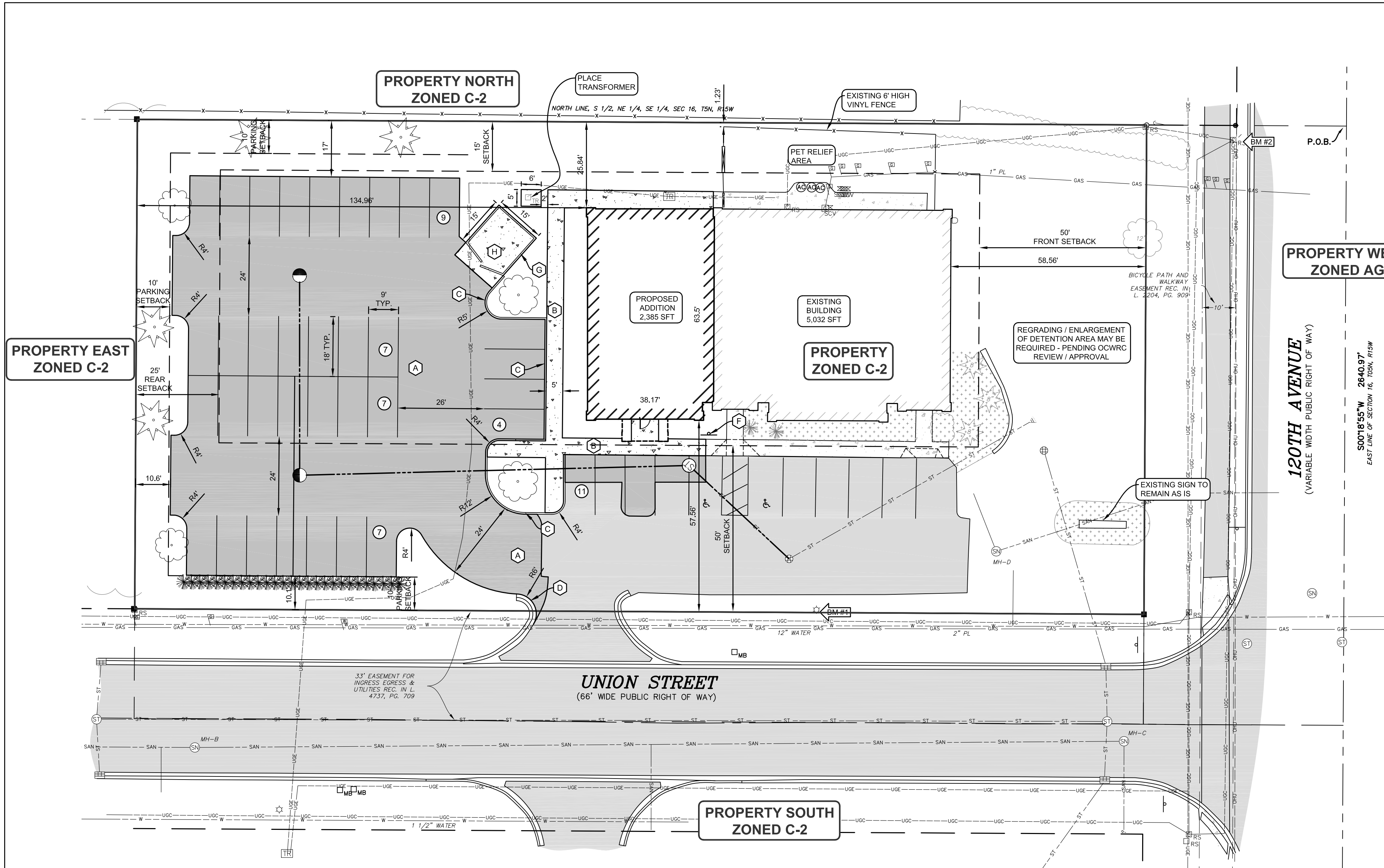
PARKING LOT (21 ADDITIONAL SPACES)	REQUIRED	PROVIDED
DECIDUOUS TREES	2 (1 PER 12 SPACES)	2
LANDSCAPED AREA	200 SQ FT (100 SQ FT PER 12 SPACES)	200 SQ FT
- SITE LIGHTING**  
PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT POLES AND WALL PACKS AT LOCATIONS SHOWN, LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- REFUSE MANAGEMENT**  
A NEW DUMPSTER ENCLOSURE IS PROPOSED, LOCATED AT THE NORTHWEST CORNER OF THE BUILDING. ENCLOSURE WILL COMPLY WITH SCREENING REQUIREMENTS.
- CONSTRUCTION SCHEDULE**  
CONSTRUCTION IS ANTICIPATED TO START IN SEPTEMBER, 2024 AND BE COMPLETED IN MARCH, 2025.

### LEGEND

BENCHMARK	EXISTING	PROPOSED
STORM SEWER MANHOLE		
CATCH BASIN		
FLARED END SECTION		
SANITARY SEWER MANHOLE		
CLEANOUT		
WELL HEAD		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
SPRINKLER CONTROL VALVE		
SPRINKLER HEAD		
VALVE (WATER & GAS)		
GAS METER		
UTILITY RISERS		
UTILITY POLE		
LIGHT POLE		
GUY ANCHOR		
TRANSFORMER		
HAND HOLE (ELECTRIC)		
ELECTRIC METER		
GROUND MOUNTED LIGHT		
SIGN		
SOIL BORING		
BOLLARD POST		
POST		
GATE		
FENCE LINE		
OVERHEAD UTILITIES		
UNDERGROUND ELECTRIC		
COMMUNICATIONS		
TELEPHONE		
FIBER OPTIC		
GAS LINE		
EXISTING WATER LINE		
PROPOSED WATER LINE		
EXISTING STORM SEWER		
PROPOSED STORM SEWER		
EXISTING SANITARY SEWER		
PROPOSED SANITARY SEWER		
BITUMINOUS SURFACE		
CONCRETE SURFACE		
GRAVEL SURFACE		
PROPOSED BITUMINOUS SURFACE		
PROPOSED CONCRETE SURFACE		
CONIFEROUS TREE		
DECIDUOUS TREE		
ORNAMENTAL BUSH		



ISSUED FOR  
APPROVAL



### GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

### LAYOUT NOTES:

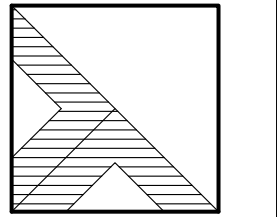
- CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.

### KEY NOTES:

- (A) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)
- (B) 4" CONC. SIDEWALK INTEGRAL CURB (SEE DETAIL)
- (C) 6" HEAD CURB (SEE DETAIL)
- (D) 24" CURB & GUTTER - MDOT F4 MODIFIED (SEE DETAIL)
- (E) 4" BLUE PVMT, MARKING & SYMBOL PER ADA STD. S, TYP (SEE DETAIL)
- (F) BARRIER FREE SIGN (SEE DETAIL)
- (G) DUMPSTER ENCLOSURE PER HCT REQUIREMENTS (SEE DETAIL)
- (H) DUMPSTER PAD (SEE DETAIL)



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Project Manager:  
JOHN TENPAS

Project #  
2410092.1A

Sheet Title:

STORM SEWER,  
GRADING AND  
SOIL EROSION  
CONTROL PLAN

Sheet #

C-102  
5 of 7

UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
- REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.

GRADING NOTES:

- ALL SURFACES SHALL BE GRADED TO PROVIDE SMOOTH CONTOURING AND POSITIVE SLOPE AWAY FROM BUILDINGS, WITH NO PONDING OF WATER.
- IN ALL AREAS OF NEW CONSTRUCTION, GRADING, OR MATERIAL STOCKPILE AREAS, STRIP AND STOCKPILE EXISTING TOPSOIL PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
- UNLESS OTHERWISE INDICATED, GRADES AND CONTOURS SHOWN REPRESENT FINISHED GRADE. AFTER PLACEMENT OF PAVEMENT, TOPSOIL, AND OTHER SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES, AND CLEAN-OUTS TO MEET FINISHED GRADE.

RESTORATION NOTES:

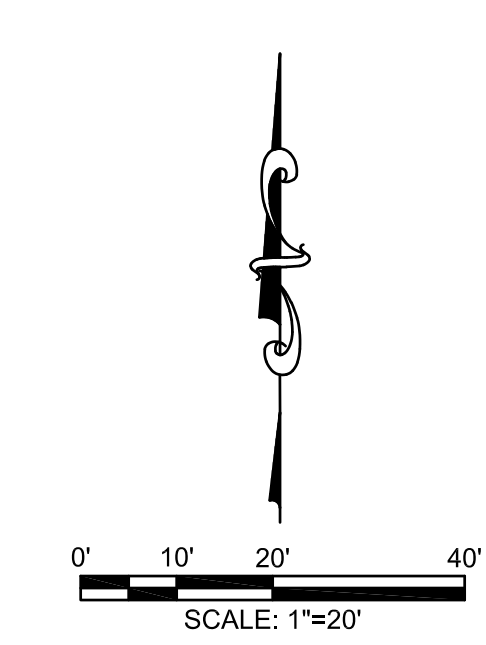
- EXISTING ONSITE TOPSOIL MAY BE USED IF APPROVED BY ENGINEER. IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL BE USED.
- RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND EROSION CONTROL BLANKET. NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE JFNEW STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT LEVEL.
- DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET. NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET. NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.

LEGEND

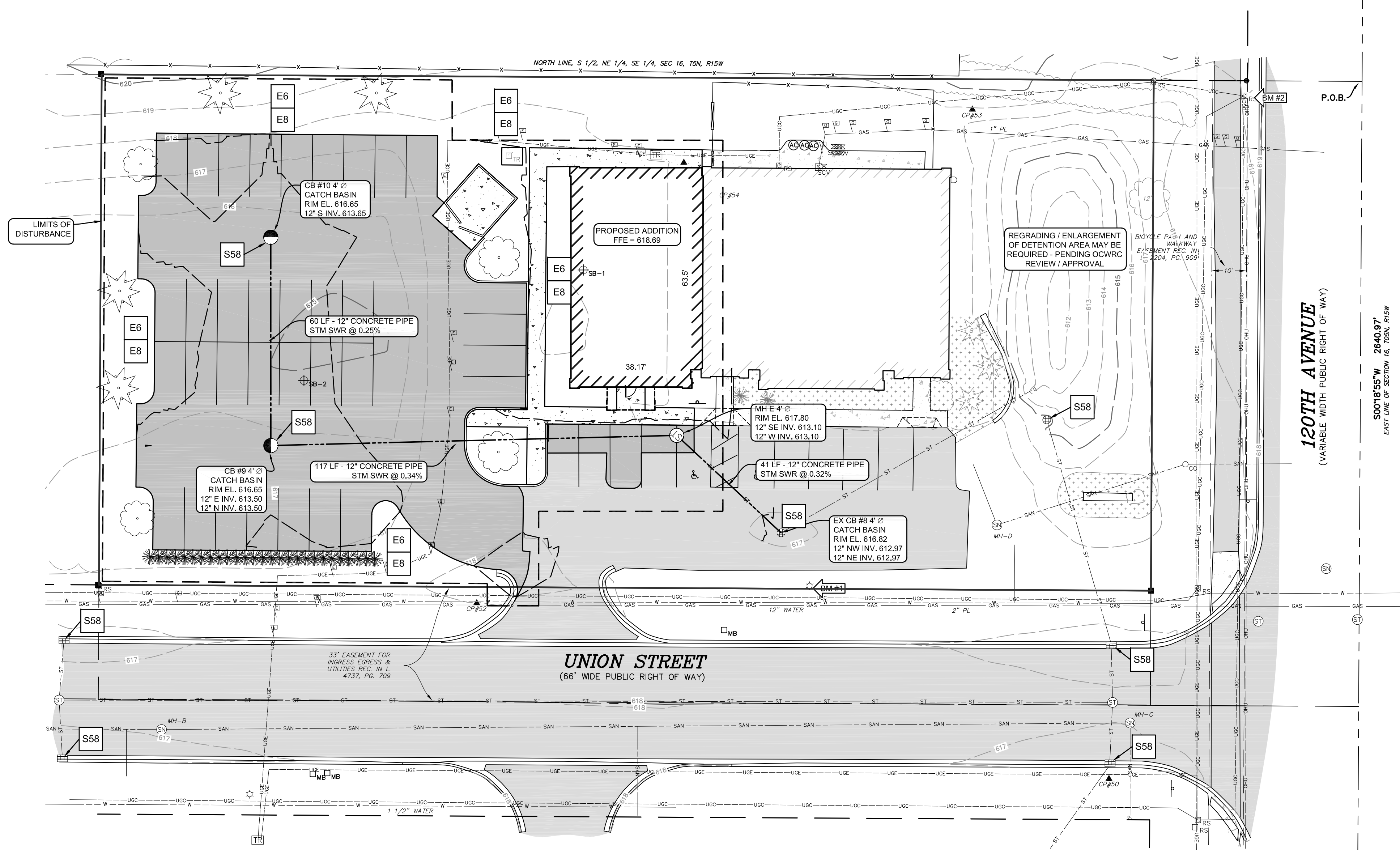
xxx.xx	FINISH GRADE ELEVATION
mc xxx.xx	MATCH EXISTING GRADE ELEVATION
to xxx.xx	FINISH GRADE ELEVATION AT BACK OF CURB
fl xxx.xx	FINISH GRADE ELEVATION AT FLOW LINE
tw xxx.xx	FINISH GRADE ELEVATION AT TOP OF WALL
bw xxx.xx	FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
---	PROPOSED SWALE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
627.00	MINIMUM OPENING ELEV. (M.O.E.)
623.60	MINIMUM BASEMENT ELEV. (M.B.E.)

LEGEND

BENCHMARK	EXISTING	PROPOSED
STORM SEWER MANHOLE		
CATCH BASIN		
FLARED END SECTION		
SANITARY SEWER MANHOLE		
CLEANOUT		
WELL HEAD		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
SPRINKLER CONTROL VALVE		
SPRINKLER HEAD		
VALVE (WATER & GAS)		
GAS METER		
UTILITY RISERS		
UTILITY POLE		
LIGHT POLE		
GUY ANCHOR		
TRANSFORMER		
HAND HOLE (ELECTRIC)		
ELECTRIC METER		
GROUND MOUNTED LIGHT		
SIGN		
SOIL BORING		
BOLLARD POST		
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GATE		
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UNDERGROUND ELECTRIC		
COMMUNICATIONS		
TELEPHONE		
FIBER OPTIC		
GAS LINE		
EXISTING WATER LINE		
PROPOSED WATER LINE		
EXISTING STORM SEWER		
PROPOSED STORM SEWER		
EXISTING SANITARY SEWER		
PROPOSED SANITARY SEWER		
BITUMINOUS SURFACE		
EXISTING CONCRETE SURFACE		
PROPOSED CONCRETE SURFACE		
EXISTING GRAVEL SURFACE		
PROPOSED GRAVEL SURFACE		
CONIFEROUS TREE		
DECIDUOUS TREE		
ORNAMENTAL BUSH		



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SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
- PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
- ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- TEMPORARY SEEDING SHALL CONSIST OF OATS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL RYEGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
- TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
- INSTALL INLET SEDIMENT TRAPS ("SILT SACK" OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
- CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
- PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES. ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT LADEN WATER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
- THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.

CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

**PAVING:**  
REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

**SEEDING:**  
INSPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.

REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.

IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS. AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.

TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

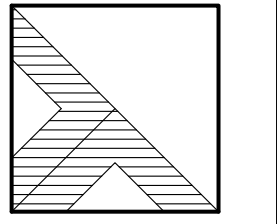
SESC SITE SUMMARY:

- NATIVE SITE SOIL IS CLASSIFIED AS SANDY LOAM PER USDA WEB SOIL SURVEY OR SOIL BORINGS.
- WETLANDS: THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS: THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY. PER FEMA FIRM MAP CN: 26139C0305E.
- AREA OF DISTURBANCE: 0.47 ACRES

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - FILL IN DATE											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SITE CLEARING AND INSTALL CONTROLS												
ROUGH GRADE SITE												
INSTALL UTILITIES												
BUILDING CONSTRUCTION												
FINAL GRADING												
PAVING												
SEEDING & STABILIZATION												



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Project Manager:  
JOHN TENPAS

Project #  
2410092.1A

Sheet Title:

LANDSCAPE PLAN

Sheet #

L-101

6 of 7

LANDSCAPING SUMMARY:  
LANDSCAPING PER HCT. ARTICLE 11

A. BUFFERS

BUFFER BETWEEN COMMERCIAL-IMPROVED AND COMMERCIAL-IMPROVED  
-TYPE D  
-10 FEET WIDE  
-NO SCREEN REQUIRED

	REQUIRED	PROVIDED
1. (173 FEET SECTION OF NORTH PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 173/60 =	2	2
2. (147 FEET SECTION OF WEST PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 147/60 =	2	2

B. PARKING LOT LANDSCAPING

1. SCREENING:  
63 LFT OF PARKING ADJACENT TO ROW  
1 SHRUB/2.5LFT = 26 SHRUBS  
PROVIDED = 26 SHRUBS

2. PARKING LOT CANOPY TREES:  
45 TOTAL PARKING SPACES  
1 TREE AND 100 SFT OF LANDSCAPED AREA PER 12 SPACES = 4 TREES + 400 SFT OF LANDSCAPED AREA  
PROVIDED = 4 TREES + 1,200 SFT OF LANDSCAPED AREA

LANDSCAPING NOTES:

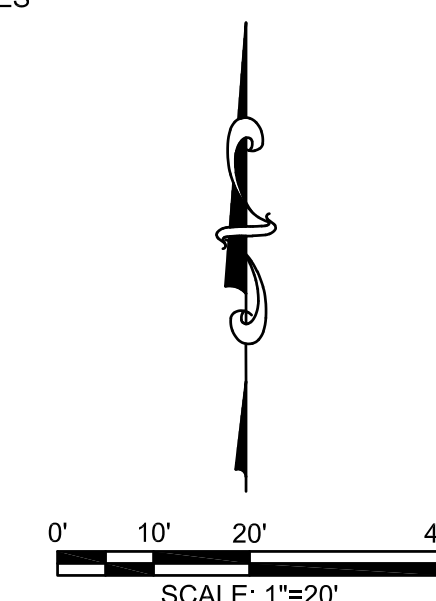
- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND LOCAL STANDARDS AND CODES.
- CALL "MISS DIG", 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY DIGGING.
- LANDSCAPE CONTRACTOR SHALL ENSURE PROPER WATERING OF PLANTED AND SEEDED AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS WITH SPRINKLER HEADS AND LINES. LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE REDO OF COMPLETED LANDSCAPE WORK, AND DAMAGE TO PLANT MATERIAL.
- ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN LAYOUT WORK.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN DIGGING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY TRENCHING AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS.
- PRIOR TO SPREADING THE TOPSOIL THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.
- CONTRACTOR SHALL NOTIFY ENGINEER IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE BORDER IS SPECIFIED.
- ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 3" LAYER OF LANDSCAPE MULCH.
- PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
- CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO BE SODDED.
- LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- SEED LAWN AREAS WITH COMMON SUNNY MIX GRASS SEED  
40% GINOME KENTUCKY BLUEGRASS  
20% PERENNIAL OR BOREAL KENTUCKY BLUEGRASS  
20% CREEPER CREEPING RED FESCUE  
20% PERENNIAL RYEGRASS  
SEED AT A RATE OF 5 LBS. PER 1,000 SFT.

LANDSCAPING KEY:

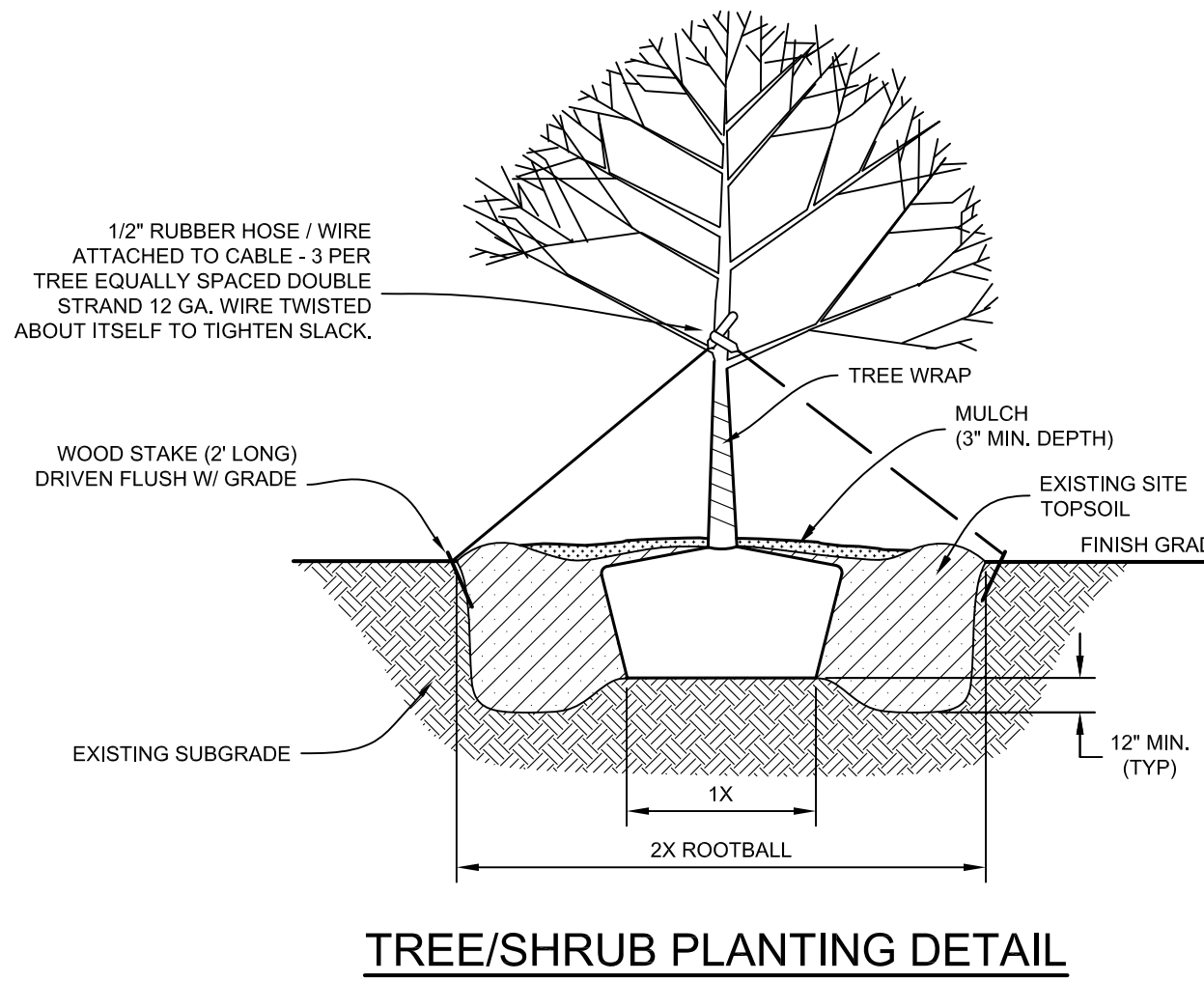
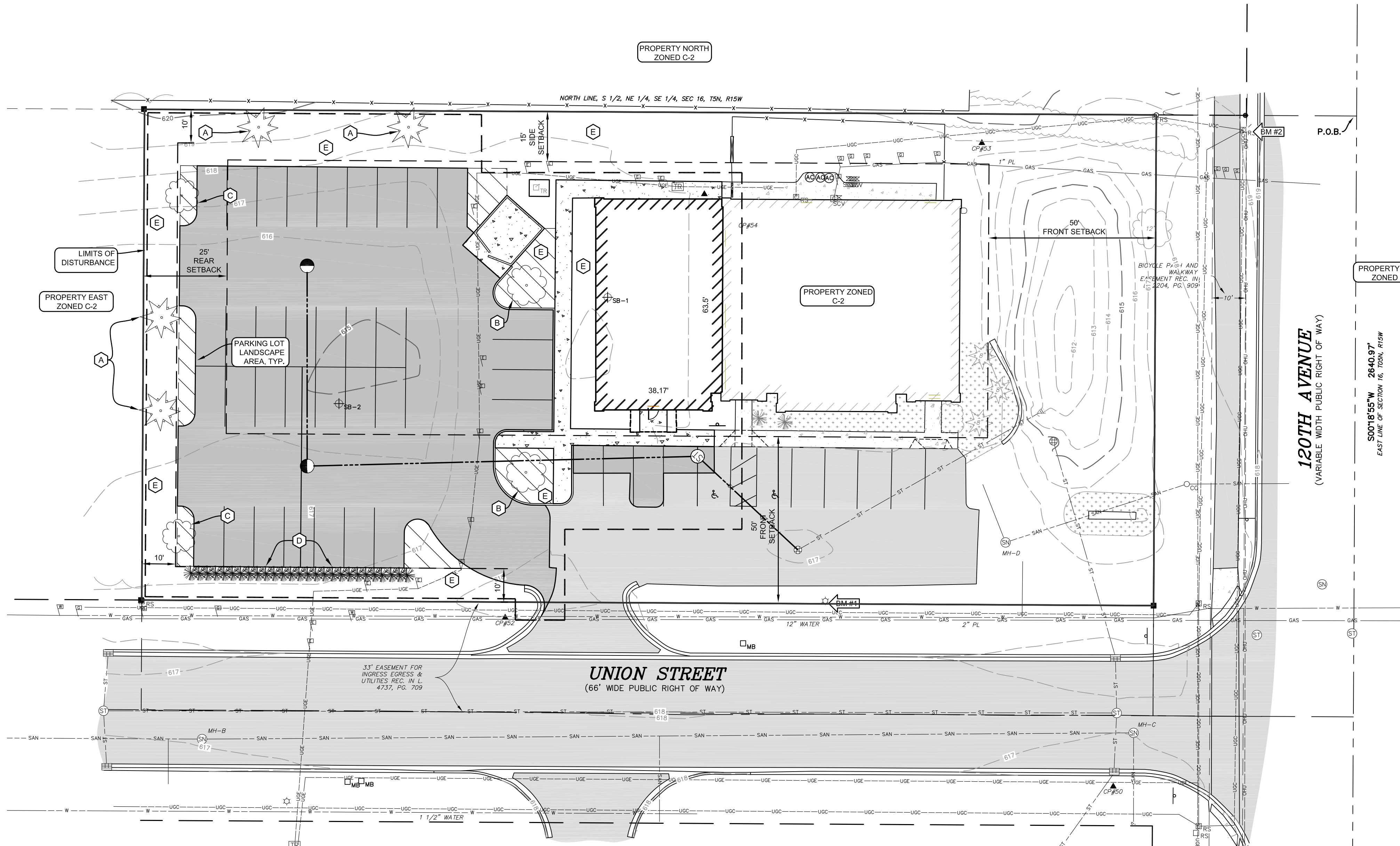
- (A) WHITE SPRUCE, PICEA GLAUCA, 6' HT (4 EA)
- (B) COMMON HORNBEAM, CARPINUS BETULUS 'FRANS FONTAINE', 2 1/2" CAL. (2 EA)
- (C) CRIMSON KING MAPLE, ACER PLATANOIDES 'CRIMSON KING', 2 1/2" CAL (2 EA)
- (D) GREEN VELVET BOXWOOD, BUXUS 'GREEN VELVET', 24" HT (26 EA @ 2.5' O.C.)
- (E) LAWN AREA PER LANDSCAPING NOTES

LEGEND

EXISTING	PROPOSED
BENCHMARK	BENCHMARK
STORM SEWER MANHOLE	STORM SEWER MANHOLE
CATCH BASIN	CATCH BASIN
FLARED END SECTION	FLARED END SECTION
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
CLEANOUT	CLEANOUT
WELL HEAD	WELL HEAD
FIRE HYDRANT	FIRE HYDRANT
FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE	SPRINKLER CONTROL VALVE
SPRINKLER HEAD	SPRINKLER HEAD
VALVE (WATER & GAS)	VALVE (WATER & GAS)
GAS METER	GAS METER
UTILITY RISERS	UTILITY RISERS
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
GUY ANCHOR	GUY ANCHOR
TRANSFORMER	TRANSFORMER
HAND HOLE (ELECTRIC)	HAND HOLE (ELECTRIC)
ELECTRIC METER	ELECTRIC METER
GROUND MOUNTED LIGHT	GROUND MOUNTED LIGHT
SIGN	SIGN
SOIL BORING	SOIL BORING
BOLLARD POST	BOLLARD POST
POST	POST
GATE	GATE
FENCE LINE	FENCE LINE
OVERHEAD UTILITIES	OVERHEAD UTILITIES
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
COMMUNICATIONS	COMMUNICATIONS
TELEPHONE	TELEPHONE
FIBER OPTIC	FIBER OPTIC
GAS LINE	GAS LINE
EXISTING WATER LINE	EXISTING WATER LINE
PROPOSED WATER LINE	PROPOSED WATER LINE
EXISTING STORM SEWER	EXISTING STORM SEWER
PROPOSED STORM SEWER	PROPOSED STORM SEWER
EXISTING SANITARY SEWER	EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER	PROPOSED SANITARY SEWER
BITUMINOUS SURFACE	BITUMINOUS SURFACE
EXISTING CONCRETE SURFACE	EXISTING CONCRETE SURFACE
GRAVEL SURFACE	GRAVEL SURFACE
PROPOSED CONCRETE SURFACE	PROPOSED CONCRETE SURFACE
CONIFEROUS TREE	CONIFEROUS TREE
DECIDUOUS TREE	DECIDUOUS TREE
ORNAMENTAL BUSH	ORNAMENTAL BUSH



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APPROVAL

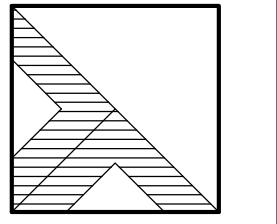


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SECTION 16, T05N, R15W, HOLLAND TWP., OTTAWA CO.  
**MIDWEST CONSTRUCTION GROUP**  
8516 HOMESTEAD DRIVE, SUITE 102, ZEELAND, MI 49464

ISSUED FOR:

1	ISSUED FOR REVIEW 04-26-2024 D. JTC C. J.M.P
2	TWP. SITE PLAN REVIEW 07-19-2024 D. WKT C. J.M.P
3	TWP. SITE PLAN REVIEW 09-10-2024 D. WKT C. J.M.P
3	SITE PLAN REVISION 09-30-2024 D. WKT C. J.M.P

Project Manager:

**JOHN TENPAS**

Project #

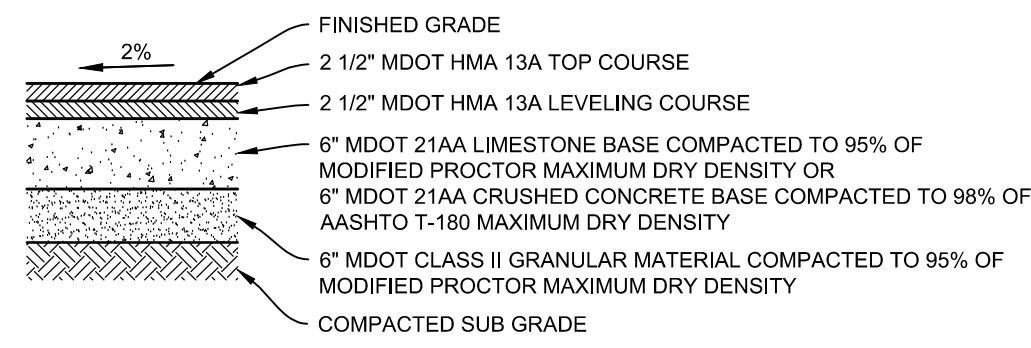
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Sheet Title:

**DETAILS**

Sheet #

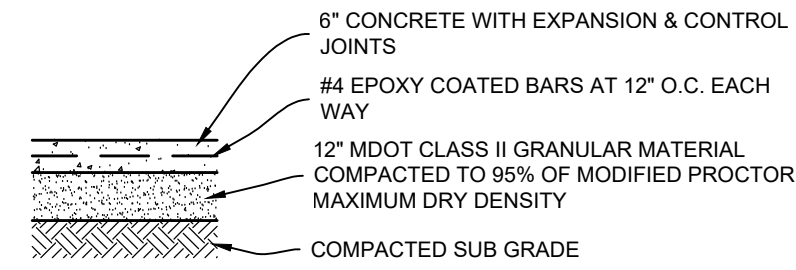
**C-501**  
7 of 7



\*NOTE: HMA SHALL MEET CURRENT MDOT STANDARDS AND SPECIFICATIONS, AND BE COMPACTED TO 92-96% OF THEORETICAL MAXIMUM DENSITY (TMD)

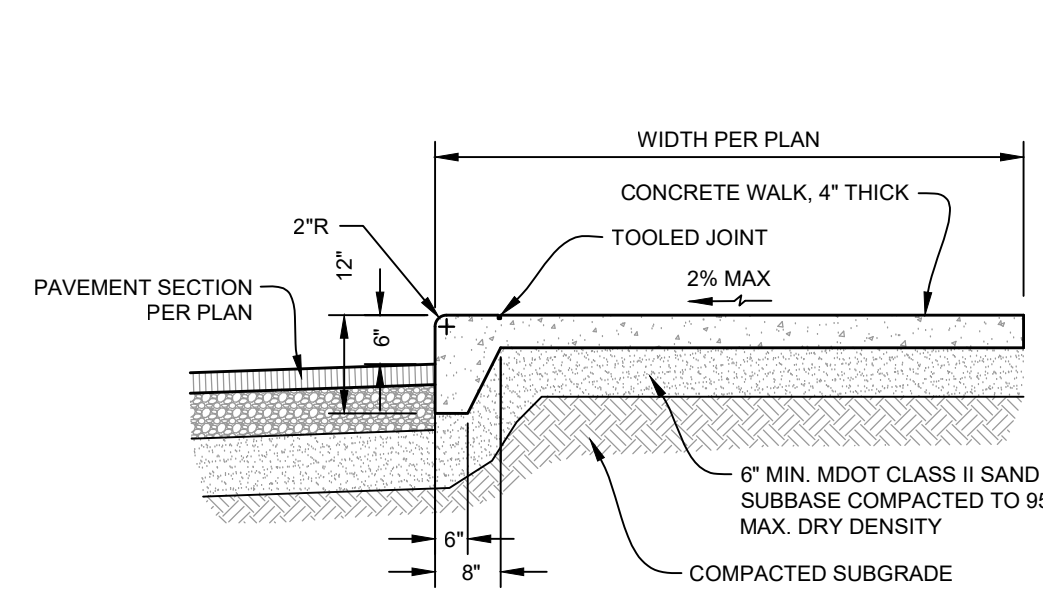
**ASPHALT SIDEWALK**

NO SCALE



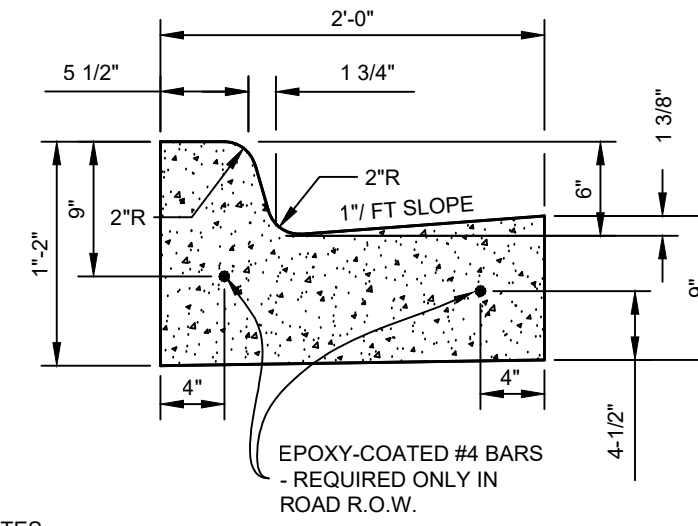
**6" REINFORCED CONCRETE PAVEMENT**

NO SCALE



**SIDEWALK WITH INTEGRAL CURB**

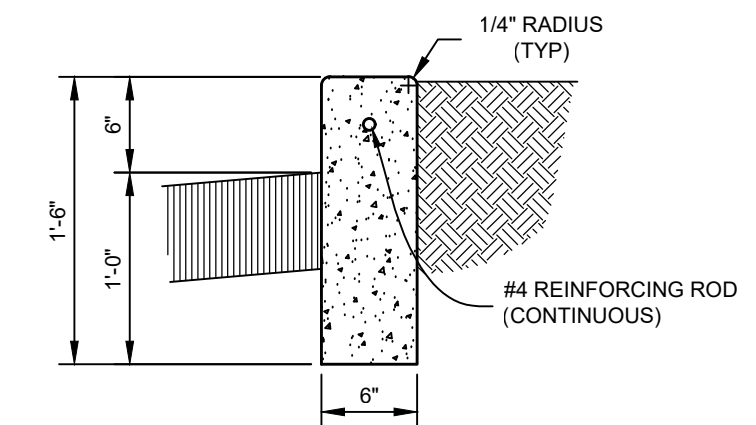
NO SCALE



NOTES:  
1. CONTRACTION JOINTS SHALL BE PLACED EVERY 10'.  
2. PLACE EXPANSION JOINTS AT 350' MIN. AND ALL RADIUS POINTS.  
3. CONCRETE SHALL CONFORM TO MDOT SPEC. 802.

**24" CURB & GUTTER - MDOT F4**

NO SCALE

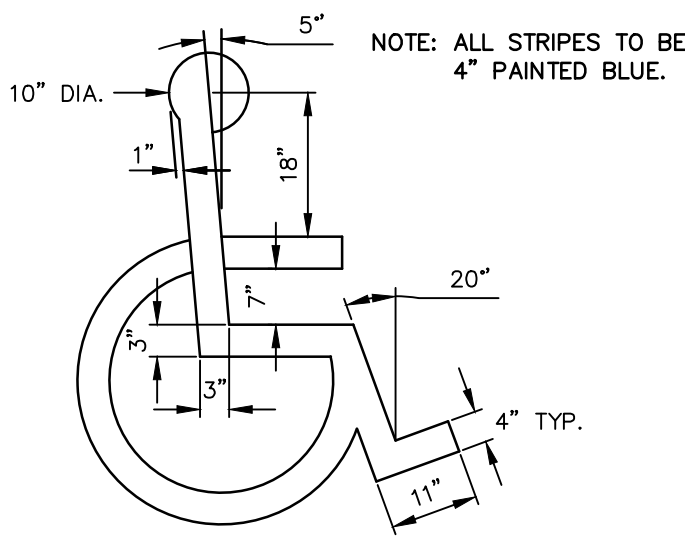


NOTE:  
ALL CONCRETE CURBS TO HAVE EXPANSION JOINTS OR SAW CUTS NOT MORE THAN 20' APART.

**6" HEAD CURB**

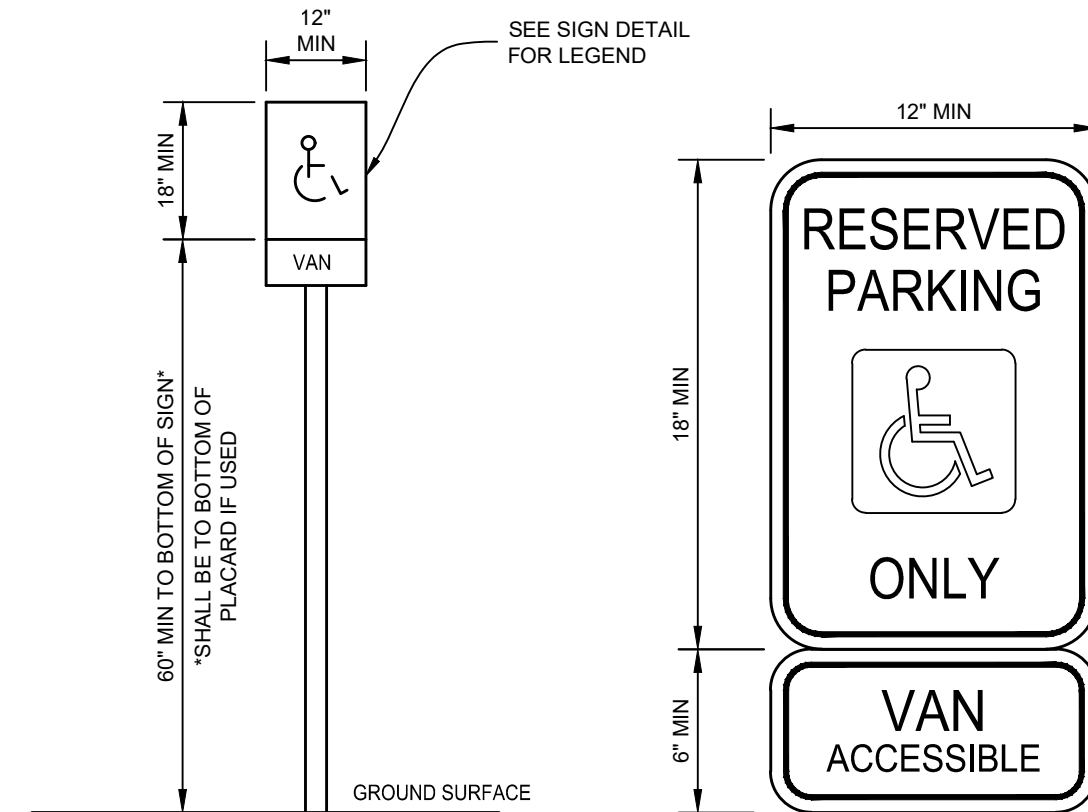
NO SCALE

- NOTE:
1. ALL FACILITIES FOR THE DISABLED SHALL CONFORM WITH THE AMERICANS WITH DISABILITIES ACT AND ALL REVISIONS.
  2. THE CHARACTERS AND THE BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT CHARACTERS ON DARK BACKGROUND ARE PREFERRED.
  3. CONTRAST LEVELS OF SYMBOLS TO BACKGROUND TO BE A MINIMUM OF 70%.
  4. CONTRACTOR SHALL VERIFY THAT THE SYMBOL SHOWN MEETS THE CURRENT STANDARDS FOR THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE IN COMPLIANCE WITH ICC/ANSI FIGURE 703.7.2.1.



**BARRIER FREE SYMBOL**

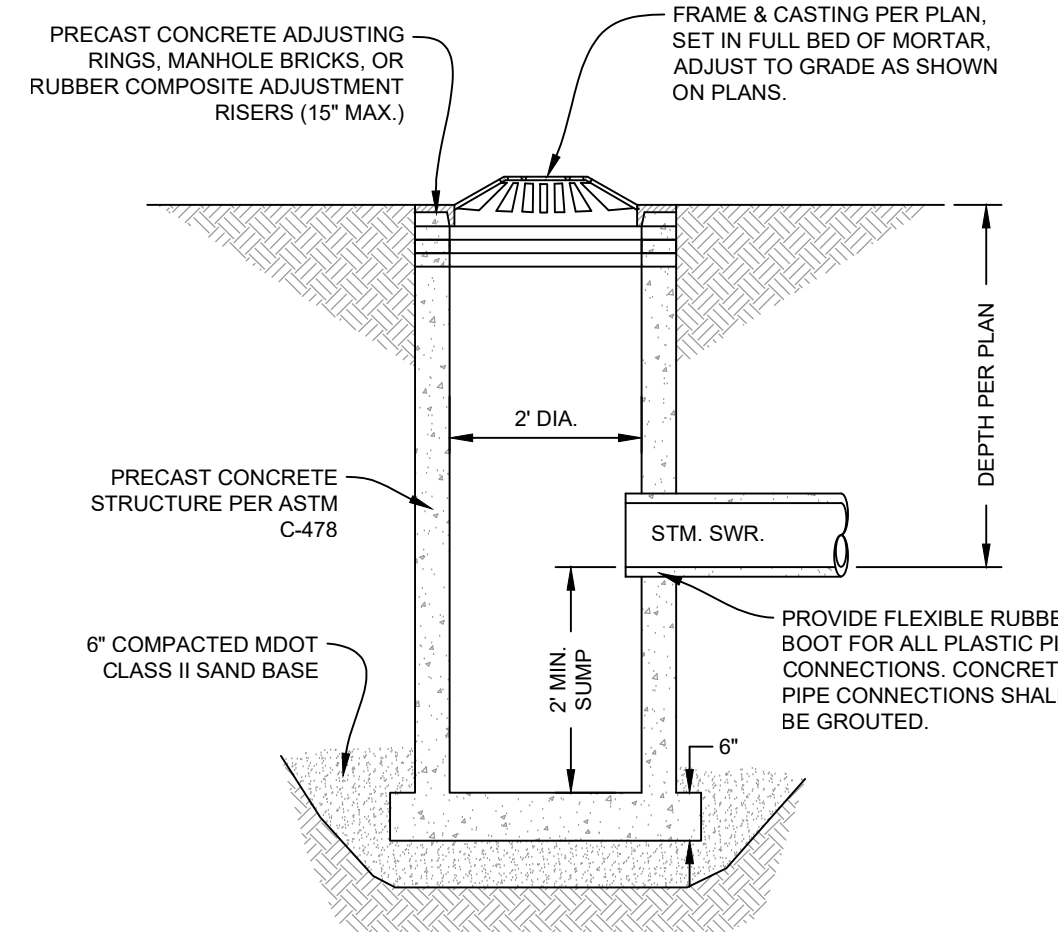
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**BARRIER FREE SIGN**

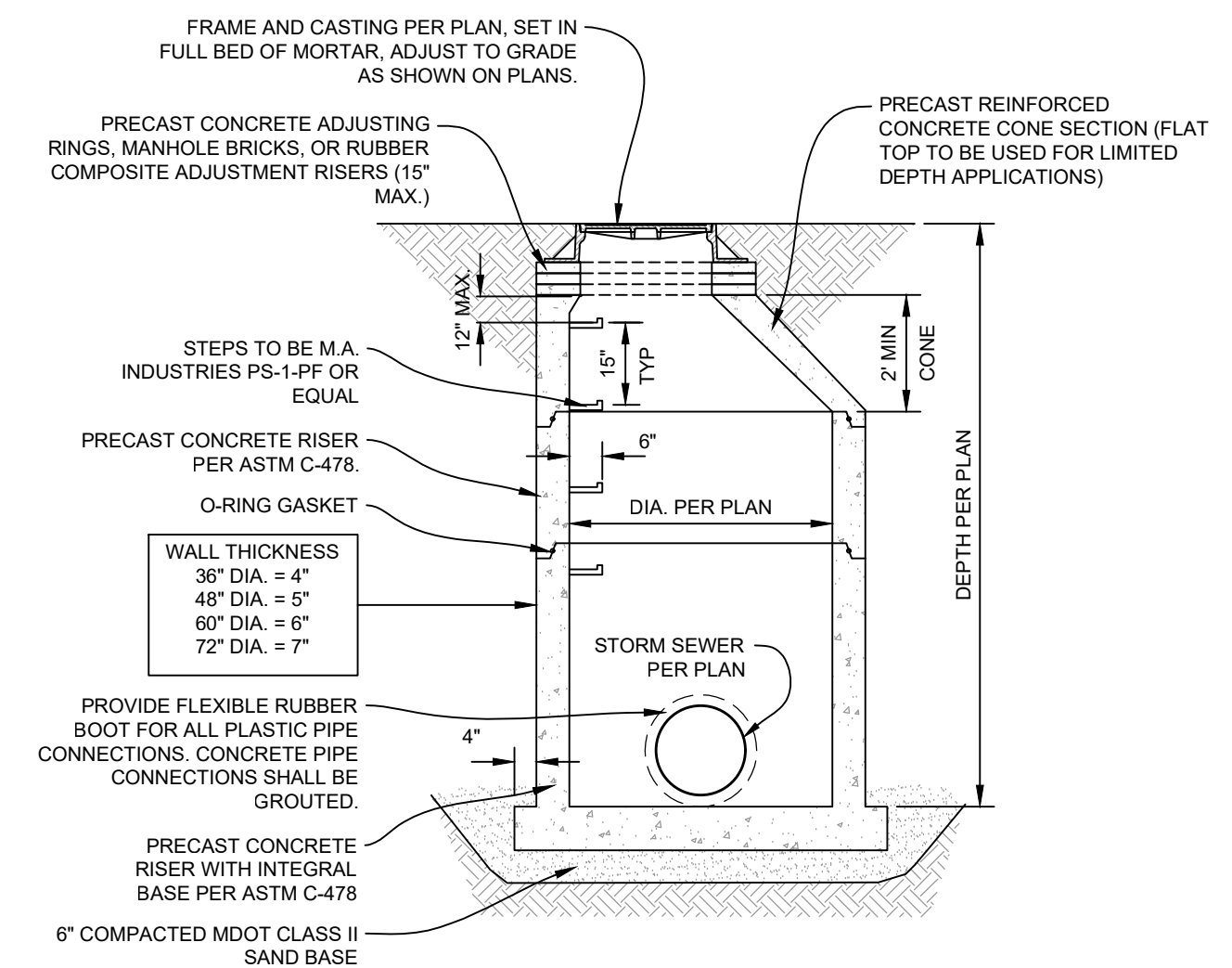
NO SCALE

VAN ACCESSIBLE SPACES SHALL BE IDENTIFIED WITH "VAN ACCESSIBLE" PLACARD



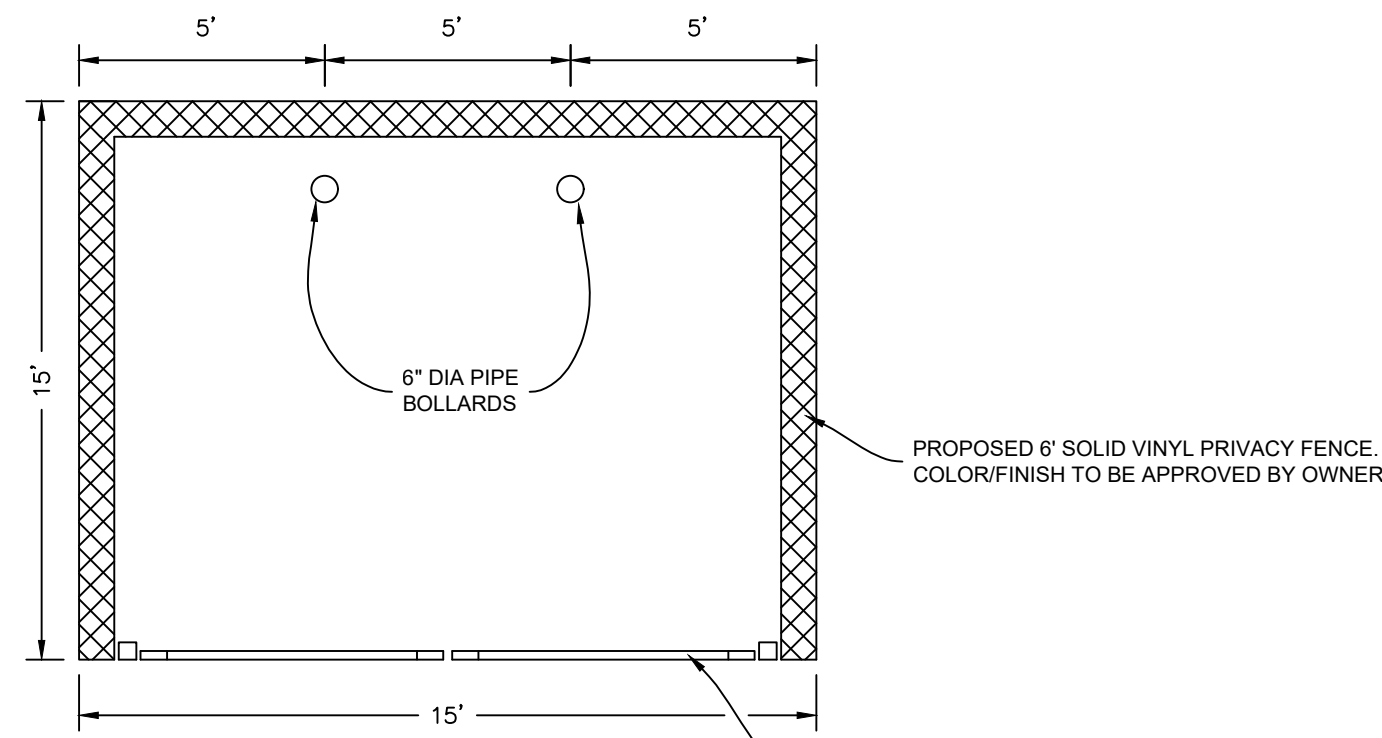
**24" CATCH BASIN**

NO SCALE



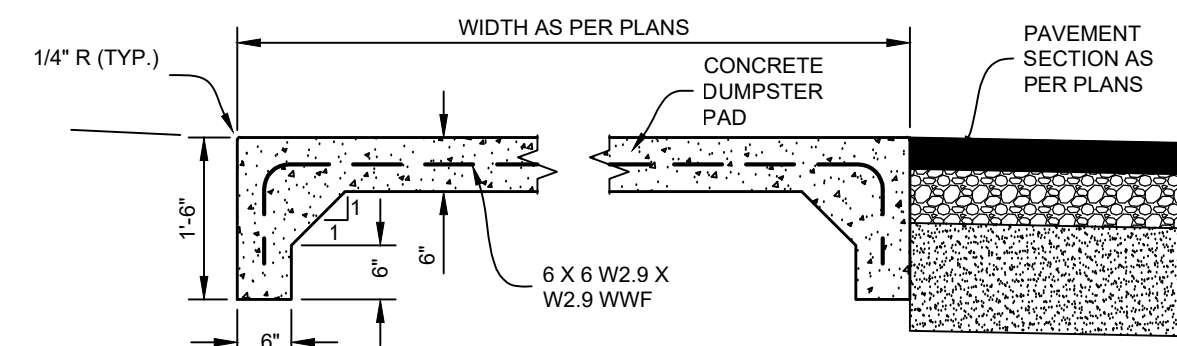
**STORM MANHOLE**

NO SCALE



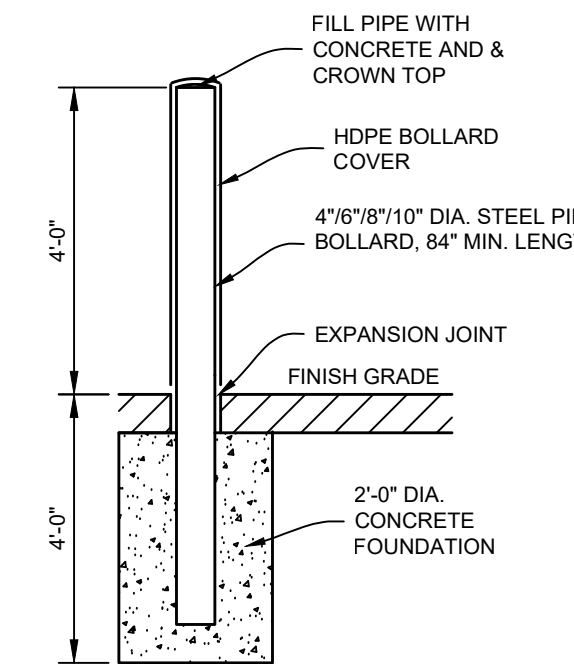
**DUMPSTER ENCLOSURE**

NO SCALE



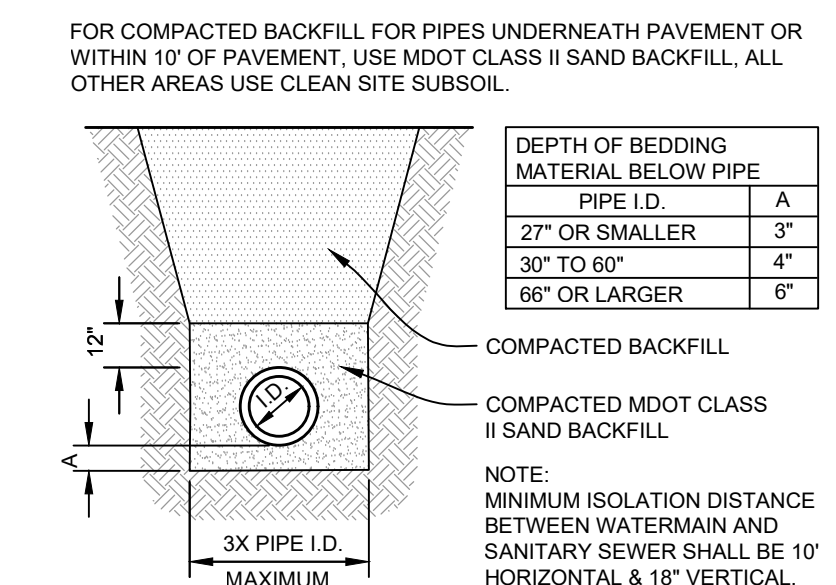
**CONCRETE DUMPSTER PAD SECTION**

NO SCALE



**STEEL BOLLARD**

NO SCALE



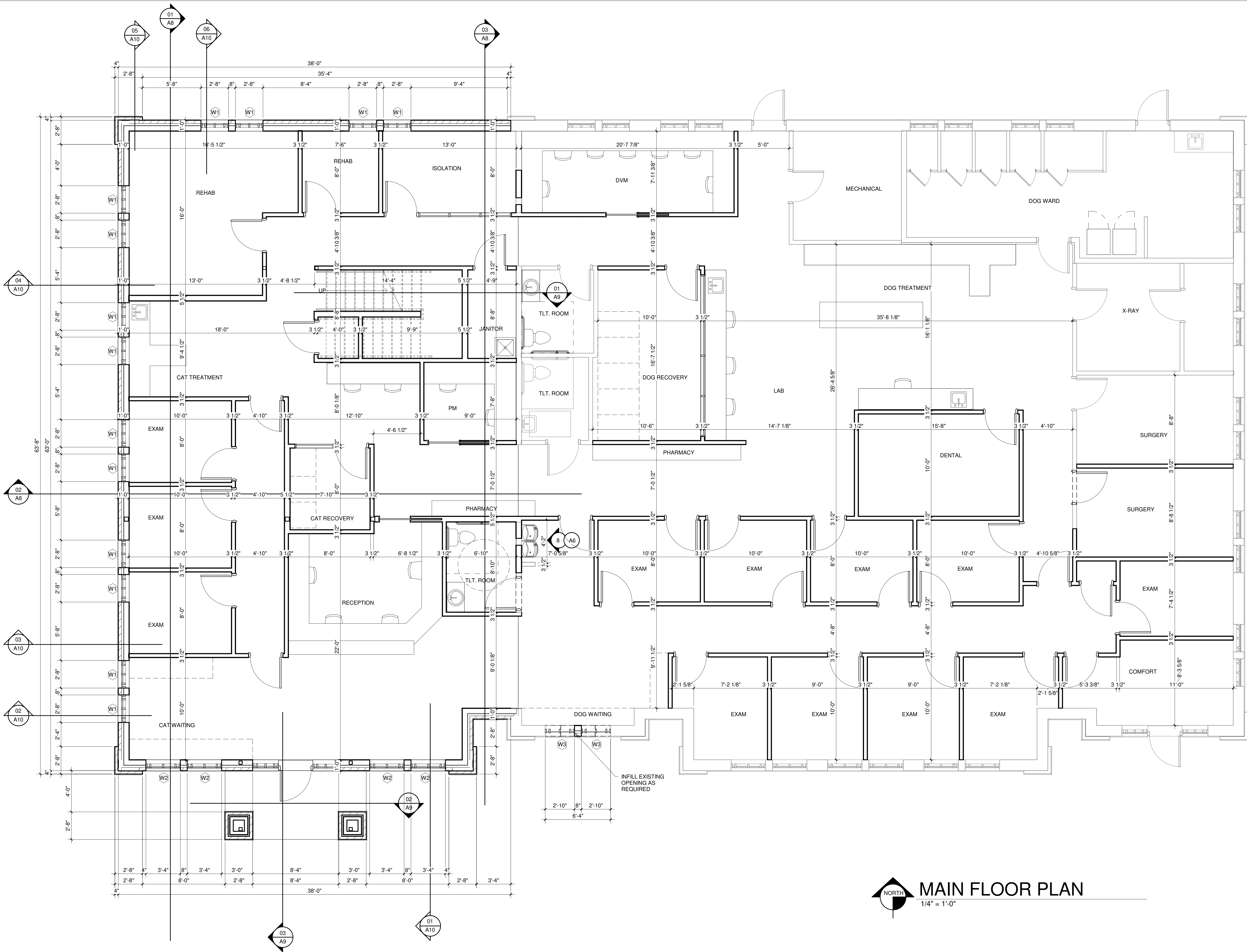
**CLASS B PIPE BEDDING**

NO SCALE

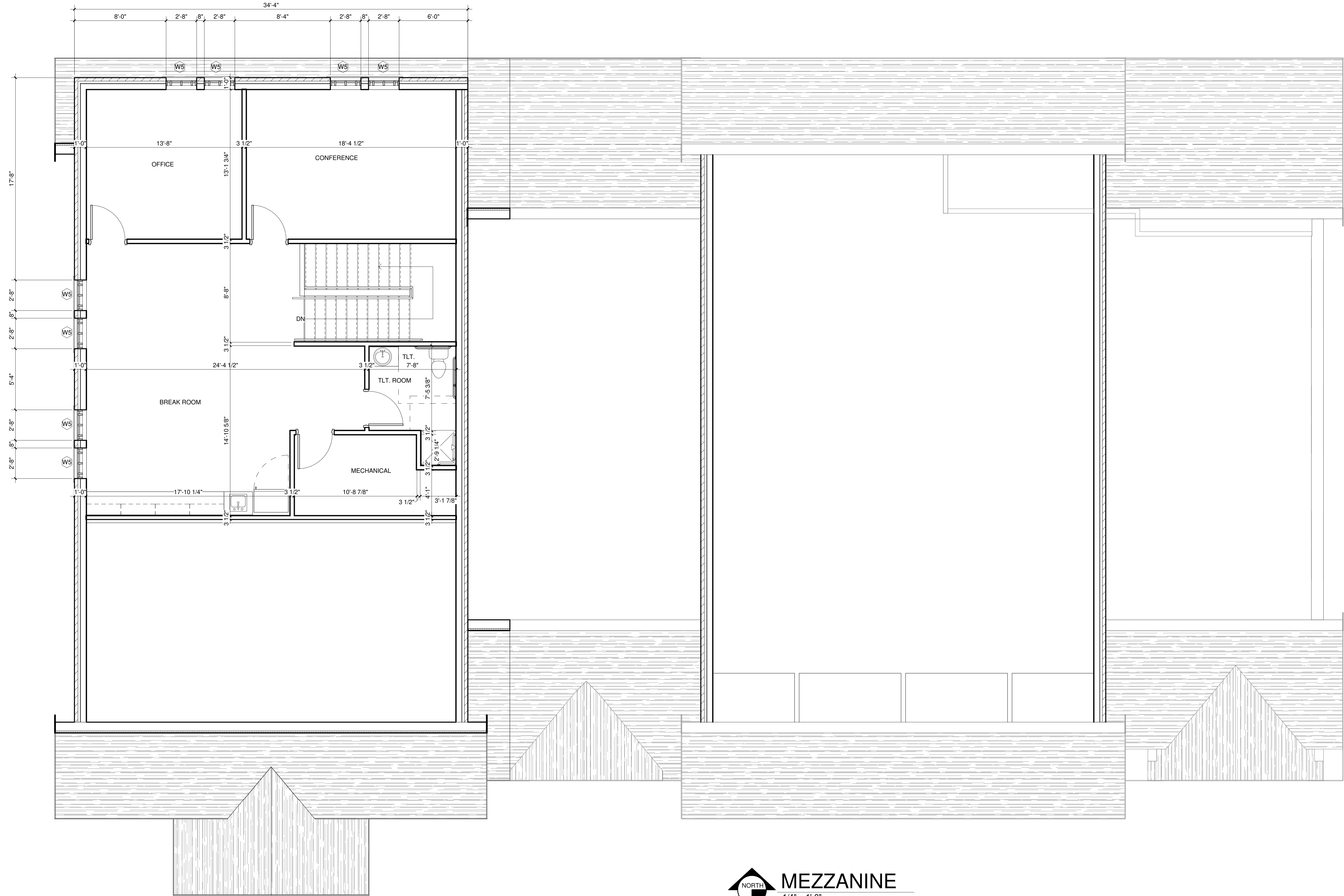


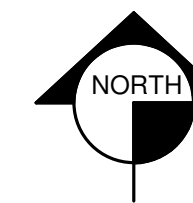
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**MAIN FLOOR PLAN**  
1/4" = 1'-0"



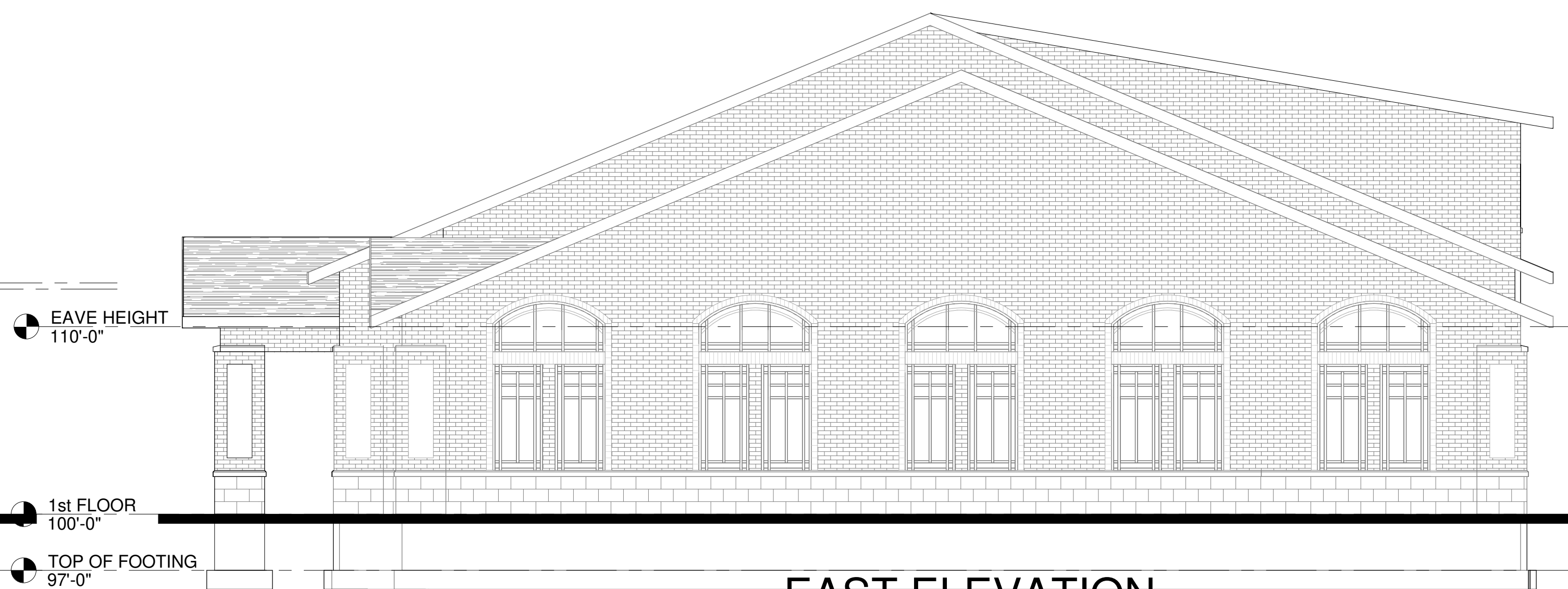

**MEZZANINE**  
 1/4" = 1'-0"



**NORTH ELEVATION**  
 3/16" = 1'-0"



**WEST ELEVATION**  
 3/16" = 1'-0"



**EAST ELEVATION**  
 3/16" = 1'-0"



**SOUTH ELEVATION**  
 3/16" = 1'-0"

**PHOTOMETRIC EVALUATION  
 NOT FOR CONSTRUCTION**  
 Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.  
 This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

**OTTAWA ANIMAL HOSPITAL**  
 ADDRESS

SALES

T MCBRIDE

DATE

7.16.2024

DESIGNER

J YONKERS

REVISIONS

DATE	NAME
XX	XX













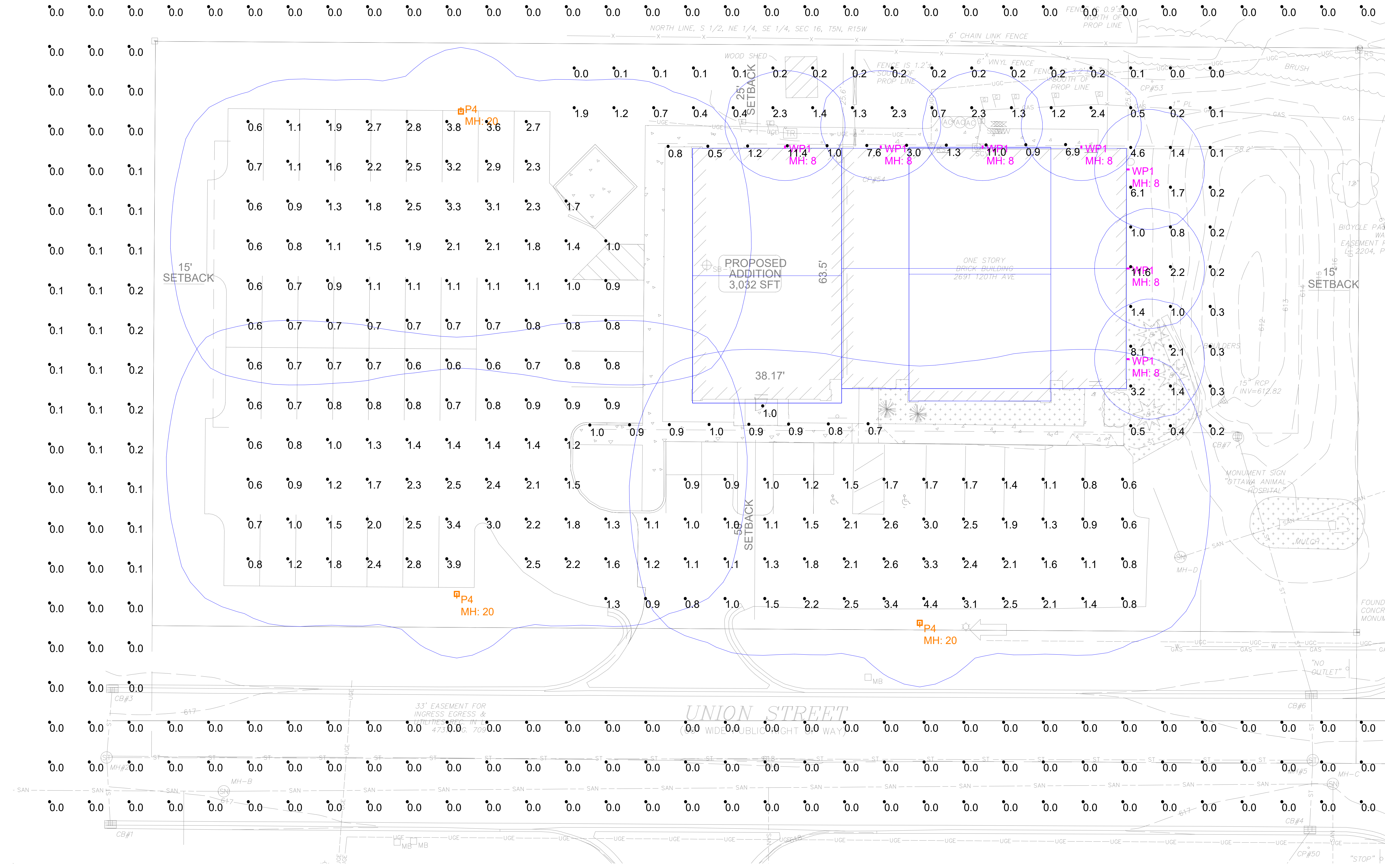










**PHOTOMETRIC PLAN**

SCALE: NTS

SHEET

**1**

Luminaire Schedule

Scenario: GEN

SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS
	7	WP1	Single	0.921	COOPER - LUMARK	XTOR1B	8	WALL	85.4	1418
	3	P4	Single	0.921	COOPER - LUMARK	PRV-PA2B-730-U-T4W-HSS	20	POLE	453	12816

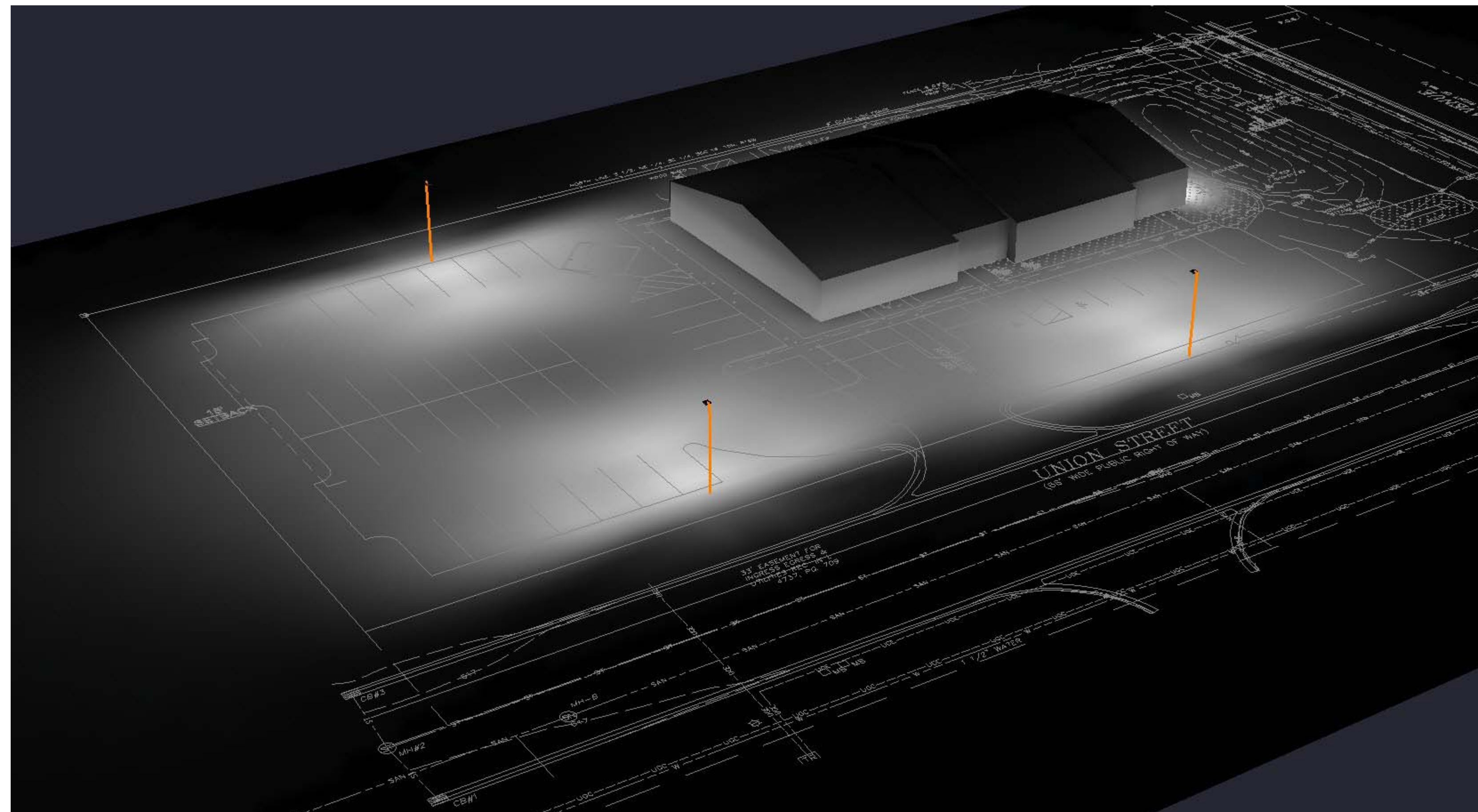
Calculation Summary

Scenario: GEN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTRY	Illuminance	Fc	1.00	1.0	1.0	1.00	1.00
EXTERIOR	Illuminance	Fc	1.24	11.6	0.0	N.A.	N.A.
LIGHT TRESPASS	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.52	4.4	0.6	2.53	7.33
SIDEWALK	Illuminance	Fc	2.77	11.4	0.5	5.54	22.80

NOTES:

- CALC AT GRADE
- ALL FIXTURES ARE 3000K



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DESIGNED FOR:

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ADDRESS

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T MCBRIDE

DATE

7.16.2024

DESIGNER

J YONKERS

REVISIONS

DATE	NAME
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2

**SCHEDULES**

SCALE: NTS