



APPLICATION FOR AN AMENDMENT TO A PLANNED UNIT DEVELOPMENT FINAL DEVELOPMENT PLAN APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name Tom Vroon
Address 95 Crosswind Drive
Holland, MI 49424

Company T2 Properties
Phone [REDACTED]
Email [REDACTED]

Owner Information

Contact Name same
Address _____

Company _____
Phone _____
Email _____

Plan Preparer Information

Contact Name Bruce Zeinstra
Address 220 Hoover Blvd
Holland, MI 49423

Company Holland Engineering, Inc
Phone [REDACTED]
Email [REDACTED]

Property Information

PUD Project Name The Crossings PUD
Address or Location 11555 Crossings Ct and vacant lot 4 of the Crossings
Parcel Number 70 - 16 - 22 - 271 - 011 Zoning District PUD/C-2
Acreage of Parcel 2.8+/- (total PUD) Acreage to be Developed 1.25
Present Use (s) Existing PUD - office, personal service, personal storage, etc.

Description of Proposed Use (attach additional pages as needed):
Proposed use on lot 4 will be Contractors Facility and outdoor storage. Request to modify
the current PUD rear and side setbacks to C-2 standards and allow contractor facility and
outdoor storage on lot 4.

I hereby attest that I have read and understand the PUD application form, submittal procedures, and the general standards for approval, and that the information on the materials submitted are true and accurate, and I hereby agree to all the terms, standards, conditions and other Holland Charter Township requirements.

[Signature] 10/31/25
Signature of Applicant Date

[Signature] 10/31/25
Signature of Owner Date

DO NOT WRITE BELOW THIS LINE

Date Received _____ Amount of Fee Paid \$ _____ Check No. _____
Planning Commission 1st Discuss on ____/____/____ Planning Commission Action on ____/____/____
Application Accepted by _____

NARRATIVE STATEMENT - The Crossings PUD Amendment

Owners are requesting an amendment to The Crossing PUD to construct a 12,000 square foot building for up to 6 contractor facility spaces and Outdoor Storage area on Lot 4, which is part of the existing The Crossings PUD. The owners are both small business owners and intend to occupy 2 of the spaces (Holland Leatherworks and Vroon Construction). The remaining spaces will be marketed for sale.

The amendment requested is for:

1. Revert the building setbacks for Lot 4 back to the C-2 standards
2. Allow the uses of Contractor Facility and Outdoor Storage on Lot 4
3. Modify the parking calcs to be 1 space per 145 sf for Lots 2 & 3 and 1 space per 720 sf on Lot 4.

Standards for approval:

- A. Intent & Qualification: The PUD was approved in 2016 and allowed flexibility for mixed uses, parking, and front yard setbacks to promote and encourage businesses in the area. The PUD is consistent with the Holland Charter Township Comprehensive Plan. The PUD has an existing condominium project on Lots 2 and 3, but Lot 4 will be a separate condominium project. There is an existing share parking agreement, which will be updated upon the approval of this amendment. This PUD project was previously approved to have a mix of uses from the commercial and industrial zoning districts, quality architecture, and enhancement of the existing features and adjacent uses. Uses: The uses in the PUD will be a mix of Commercial and Industrial uses that are consistent with the zoning ordinance.
- B. Design: The PUD is and will be harmonious and appropriate with the existing character and land uses in the general vicinity.
- C. Character: The PUD will not change the essential character of the surrounding area.
- D. Impact: The PUD will not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, and welfare of the persons or property through the excessive production of traffic, noise, smoke, fumes, or glare.
- E. Public Service Capacity: The PUD will not place demands on the public services and facilities more than current or anticipated future capacity.
- F. Utilities: Underground utilities will be utilized in the PUD and the appurtenances to these systems will be screened or placed in inconspicuous locations.

Crossing Court Condominium Association

November 3, 2025

Corey Broersma
Community Development Director
Holland Charter Township
353 North 120th Avenue
Holland, MI 49424

RE: PUD Amendment for Crossings Court

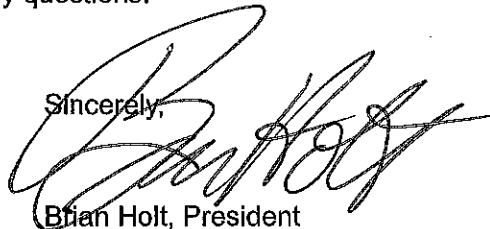
Dear Corey:

I am the President of the Crossing Court Condominium Association (the "Association"). We are writing in support of the proposed PUD Amendment for Crossings Court that is being proposed by T2 Properties, LLC and Tom Vroon. The Board for the Association has reviewed the proposed site plan, including the modified building envelope and building location, and modified parking areas, and do not have any objections to the request. We also do not have any objections to the proposed uses for the units in the new building.

There is an existing Easement Agreement for shared parking between the Association and the proposed new building, which will continue. If the PUD Amendment is approved, the Parking Easement will be amended to reflect the modified parking areas.

Please let us know if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian Holt", is written over the word "Sincerely," and the name "Brian Holt, President".

Brian Holt, President

CROSSINGS COURT
HOLLAND, MI 49424

PARCEL DESCRIPTION

PER CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 701260930CML
COMMITMENT DATE: JULY 29, 2025

PART OF LOTS 3 AND 4, THE CROSSINGS, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 42 OF PLATS, PAGE 59, OTTAWA COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 4; THENCE NORTHWESTERLY 76.65 FEET ALONG A 70.00 FOOT RADIUS CURVE TO THE LEFT, SAID CURVE HAVING A CENTRAL ANGLE OF 62 DEGREES 44 MINUTES 07 SECONDS, AND A CHORD THAT BEARS NORTH 48 DEGREES 34 MINUTES 43 SECONDS WEST 72.87 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF CROSSINGS COURT; THENCE NORTH 10 DEGREES 03 MINUTES 14 SECONDS EAST 23.41 FEET; THENCE NORTH 15 DEGREES 40 MINUTES 13 SECONDS WEST 141.65 FEET, PARALLEL WITH THE WEST LINE OF SAID LOT 3; THENCE NORTH 74 DEGREES 29 MINUTES 34 SECONDS EAST 281.26 FEET ALONG THE NORTH LINE OF SAID LOTS 3 AND 4; THENCE SOUTH 00 DEGREES 03 MINUTES 47 SECONDS WEST 226.48 FEET ALONG THE EAST LINE OF SAID LOT 4; THENCE SOUTH 72 DEGREES 47 MINUTES 15 SECONDS WEST 190.48 FEET ALONG THE SOUTH LINE OF SAID LOT 4 TO THE POINT OF BEGINNING.

SUBJECT TO THE FOLLOWING ITEMS PER SCHEDULE B, EXCEPTIONS OF
CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 701260930CML
COMMITMENT DATE: JULY 29, 2025

7 EASEMENT(S), IF ANY, OVER AND ACROSS THE LAND DESCRIBED IN SCHEDULE A, TOGETHER WITH ALL RIGHTS APPURTENANT TO THE EASEMENT(S), AS MORE DEFINED AND SET FORTH IN MICHIGAN PUBLIC ACT 235 OF 2022, MCLA 565-104.

THIS ITEM MAY AFFECT THE SUBJECT PARCEL AND IS SHOWN HEREON IN NOTE FORM ONLY.

9 RIGHTS OF THE PUBLIC TO ANY PORTION OF THE LAND LYING WITHIN THE BOUNDS OF ANY STREET, ROAD, ALLEY OR HIGHWAY.

THIS ITEM DOES NOT AFFECT THE SUBJECT PARCEL AND IS NOT SHOWN HEREON.

10 RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT.

THIS ITEM DOES AFFECT THE SUBJECT PARCEL AND IS SHOWN HEREON.

11 RIGHTS OF OTHERS IN AND TO THE USE OF THE DRAIN LOCATED OVER, ACROSS, IN OR UNDER THE LAND, AND THE RIGHTS TO ENTER THE LAND TO MAINTAIN THE SAME.

THIS ITEM DOES NOT AFFECT THE SUBJECT PARCEL AND IS NOT SHOWN HEREON.

12 RAILROAD LINE, SWITCH TRACKS, SPUR TRACKS, RAILWAY FACILITIES AND OTHER RELATED EASEMENTS, IF ANY, AND ALL RIGHTS THEREIN.

THIS ITEM MAY AFFECT THE SUBJECT PARCEL AND IS SHOWN HEREON IN NOTE FORM ONLY.

13 RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED TO CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY) RECORDING NO. LIBER 3441, PAGE 425

THIS ITEM DOES AFFECT THE SUBJECT PARCEL AND IS SHOWN HEREON.

14 RESTRICTIONS, TERMS, COVENANTS, AND CONDITIONS OF DECLARATION OF RESTRICTIONS AS SET FORTH BELOW.
RECORDING NO. LIBER 4371, PAGE 29

THIS ITEM DOES AFFECT THE SUBJECT PARCEL AND IS SHOWN HEREON IN NOTE FORM ONLY.

15 EASEMENTS, TERMS, COVENANTS, AND CONDITIONS OF AGREEMENT FOR THE ESTABLISHMENT OF A COUNTY DRAIN AND COUNTY DRAINAGE DISTRICT PURSUANT TO SECTION 433 OF ACT NO. 40 OF THE PUBLIC ACTS OF 1956, AS AMENDED AS SET FORTH BELOW. RECORDING NO. LIBER 4556, PAGE 447

THIS ITEM DOES NOT AFFECT THE SUBJECT PARCEL AND IS NOT SHOWN HEREON.

16 EASEMENTS, TERMS, COVENANTS, AND CONDITIONS OF DECLARATION AND GRANT OF EASEMENTS AS SET FORTH BELOW.
RECORDING NO. INSTRUMENT NO. 2016-0002276, AS AFFECTED BY THE FIRST AMENDED DECLARATION AND GRANT OF EASEMENTS RECORDED IN INSTRUMENT NO. 2016-0032637

THIS ITEM DOES AFFECT THE SUBJECT PARCEL AND IS SHOWN HEREON IN NOTE FORM ONLY.

SURVEYOR'S NOTES

1 THIS SURVEY WAS PREPARED FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.

2 BEARINGS ARE BASED ON A LOCAL COORDINATE SYSTEM AND THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 22 HAVING A BEARING OF SOUTH 89°46'59" WEST.

3 ELEVATIONS HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).

4 SOURCE BENCHMARK - NATIONAL GEODETIC SURVEY (NGS) BENCHMARK DESIGNATION: E 25
PID: NG0014
ELEVATION = 616.16' (NAVD 88)
(ADJUSTED TO NGVD 29 ELEVATIONS)

5 UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND OBSERVATIONS AND FIELD MARKING AS THE RESULT OF MULTIPLE MISS DIG TICKETS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA. THIS SURVEY SHOULD NOT BE RELIED UPON TO DEPICT THE LOCATION OF ALL UNDERGROUND UTILITIES.

NOTE: CONNECTIVITY AS SHOWN HEREON IS BASED UPON BEST AVAILABLE INFORMATION. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

6 PER THE FLOOD INSURANCE RATE MAP
CHARTER TOWNSHIP OF HOLLAND
OTTAWA COUNTY, MICHIGAN
MAP NUMBER: 26139C0312E
EFFECTIVE DATE: DECEMBER 16, 2011

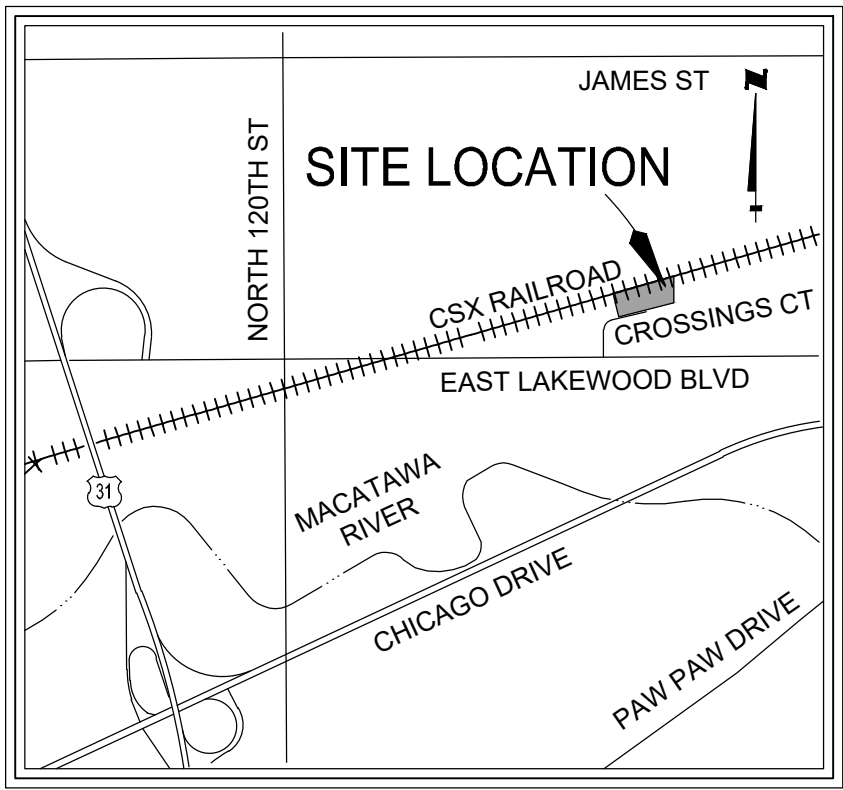
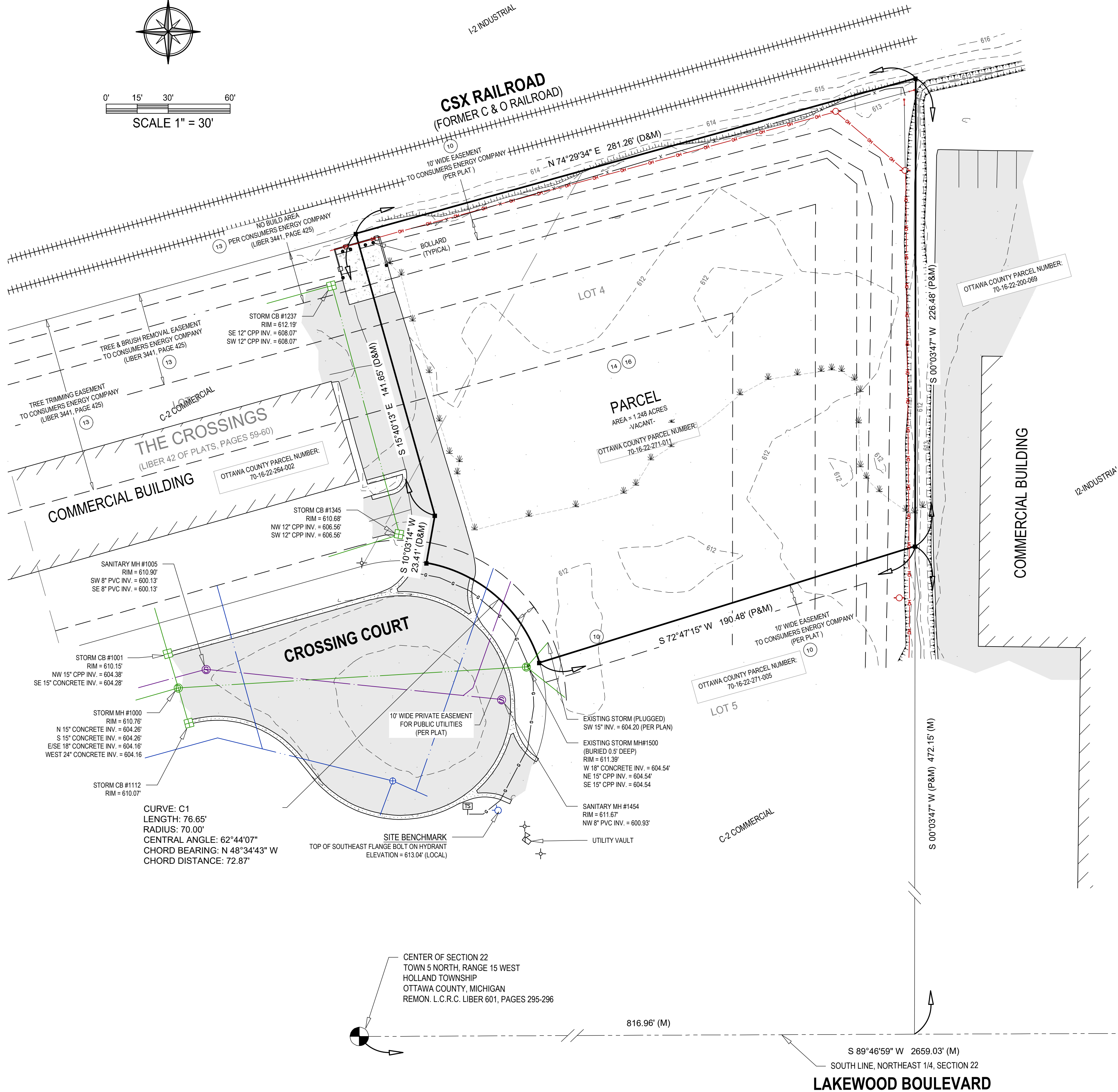
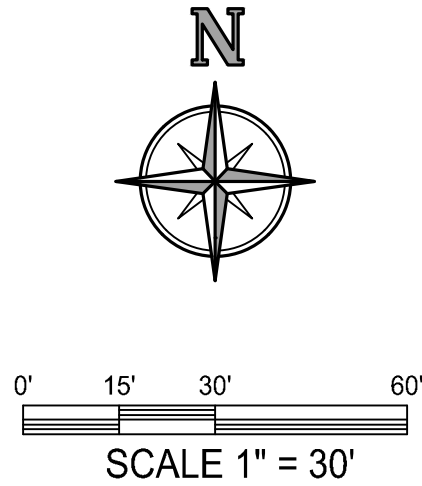
THE SUBJECT PARCEL LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AND IS NOT IN AN AREA OF FLOOD HAZARD.

DATE OF FIELD SURVEY: AUGUST 15, 2025.

I, MARK O. SCOVILL, A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT I HAVE SURVEYED THE PARCEL(S) OF LAND DESCRIBED AND DELINEATED HEREON; THAT THE SURVEY MAP IS A TRUE REPRESENTATION OF THE SURVEY AS PERFORMED BY ME; THAT SAID SURVEY WAS PERFORMED RESULTING WITH A RELATIVE POSITIONAL PRECISION AT EACH BOUNDARY CORNER SHOWN HEREON WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING. THIS SURVEY WAS MADE FROM THE ATTACHED LEGAL DESCRIPTION. THE DESCRIPTION WAS GIVEN TO US BY OTHERS, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY OTHERS, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

HOLLAND ENGINEERING, INC.
220 HOOVER BOULEVARD
HOLLAND, MICHIGAN 49423
(616) 392-5936

MARK O. SCOVILL
MICHIGAN PROFESSIONAL SURVEYOR #4001045504



LOCATION MAP
NOT TO SCALE

LEGEND

- SECTION CORNER
- FOUND CONCRETE MONUMENT
- STORM MANHOLE
- SANITARY MANHOLE
- UTILITY MANHOLE
- STORM CATCH BASIN
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- GUY ANCHOR
- TELEPHONE PEDESTAL
- ABOVE GROUND MARKER FOR UNDERGROUND UTILITY
- TEST STATION FOR UNDERGROUND UTILITY
- PARCEL LINE
- PLATTED LOT PARCEL LINE
- EASEMENT LINE
- FIELD/VEGETATION LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND STORM LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- OVERHEAD UTILITY LINE
- VINYL FENCE LINE
- WIRE FENCE LINE
- RAILROAD TRACKS
- MINOR CONTOUR
- MAJOR CONTOUR
- CONCRETE SURFACE
- ASPHALT SURFACE
- (D) - DESCRIBED DIMENSION
- (M) - MEASURED DIMENSION
- (P) - PLATTED DIMENSION
- INV. - INVERT
- ELEV. - ELEVATION
- PVC - POLY VINYL CHLORIDE
- CPP - CORRUGATED PLASTIC PIPE

HOLLAND
ENGINEERING

220 Hoover Boulevard
Holland, Michigan 49423-3766
www.hollandengineering.com
T 616-392-5936 F 616-392-2116

THE CROSSINGS COURT
PHASE 2
CROSSINGS COURT
HOLLAND, MICHIGAN 49424
PT. OF LOTS 3 & 4 OF THE CROSSINGS
PT. OF THE NE 1/4, SECT. 22, T5N, R15W
HOLLAND TWP., OTTAWA COUNTY, MI

ATTN: MR. TOM VROON
95 CROSSWIND DR.
HOLLAND, MI 49424

Issued for:

No.	Date	Description
A	08/29/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP
B	09/02/2025	CONCEPT
C	10/02/2025	SITE PLAN SUBMITTAL

Project Manager

RYAN T. YSELDYKE

Vertical Datum

Horz. Datum

NGVD '29

LOCAL

Drawn by

JOHN M. RANKIN

Checked by

Survey

Date

Civil

Struc.

L. A.

HEI Project Number

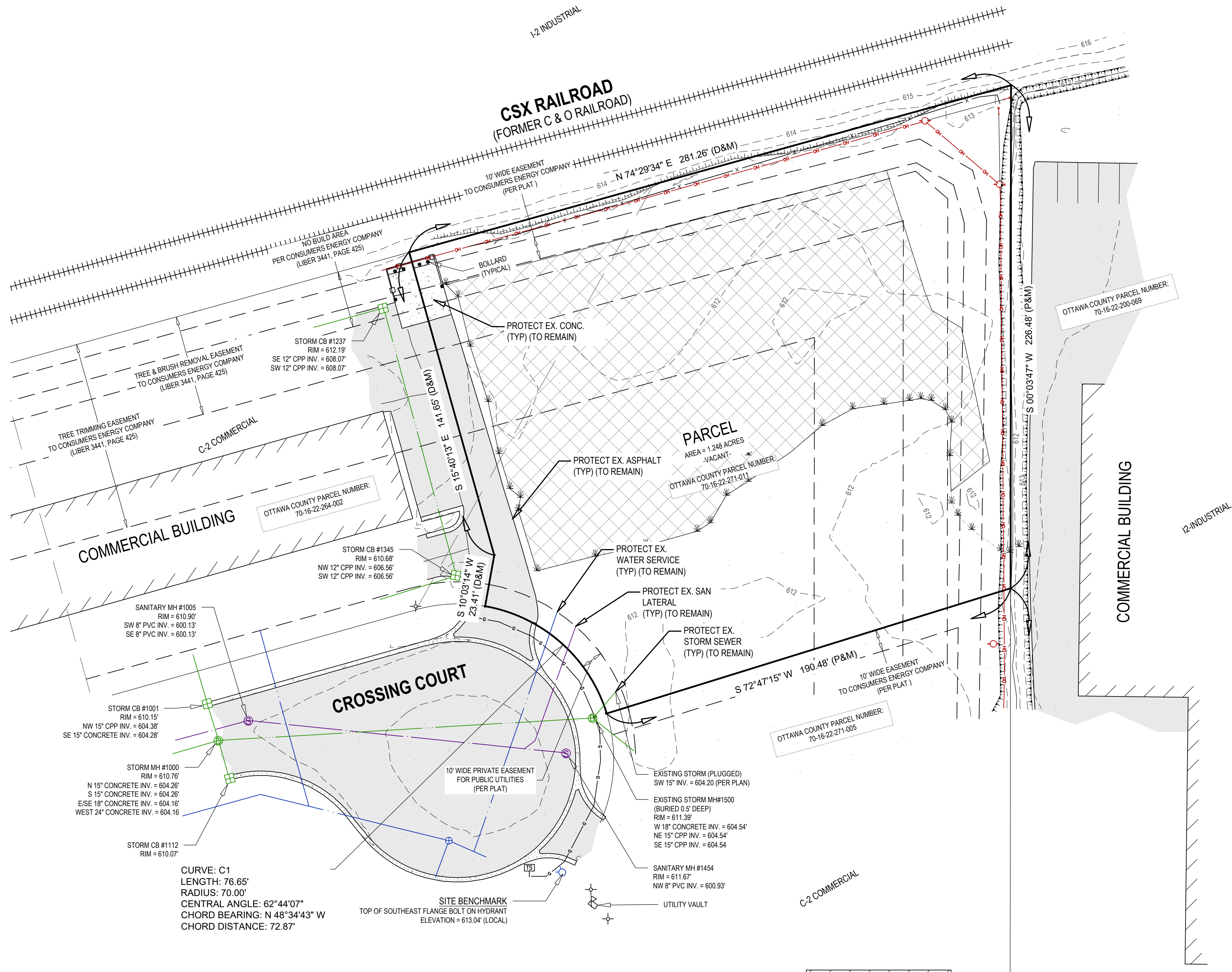
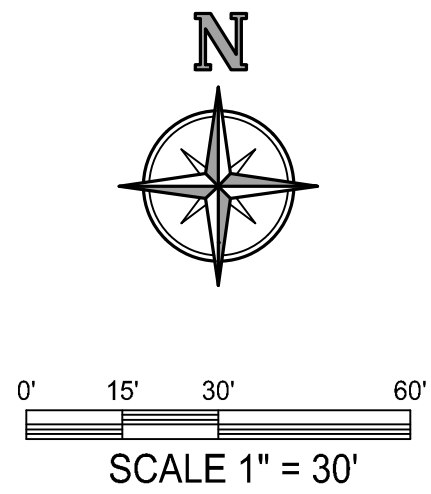
25-08-005

Sheet Title

EXISTING
CONDITIONS

Sheet No.

V-101



DEMO LEGEND

- x x x x x UTILITY REMOVAL
- X TREE REMOVAL
- TALL GRASS REMOVAL
- CONCRETE / ASPHALT REMOVAL

- CIVIL DEMOLITION NOTES:
- SEE BOUNDARY AND TOPOGRAPHIC SURVEY SHEET FOR PROPERTY, EASEMENT, BENCHMARK, ETC. INFORMATION.
 - LOCATION OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON SURFACE EVIDENCE AND RECORD INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
 - DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER. THE PAVED ROADWAY SHALL BE SWEEPED CLEAN AS NEEDED, BUT AT LEAST ONCE A WEEK.
 - CONTRACTOR SHALL PROVIDE BARRIERS, AS NECESSARY, TO PREVENT PEDESTRIAN AND VEHICULAR TRAFFIC FROM ENTERING THE CONSTRUCTION SITE.
 - CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
 - REMOVAL ITEMS ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO VERIFY THE EXTENT OF WORK REQUIRED.
 - REMOVE ALL STRUCTURES, CONCRETE CURB, CONCRETE PAVING, ASPHALT PAVING, TREES, STUMPS, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN THE LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
 - ALL UTILITY LINES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND APPURTENANCES. CONTRACTOR SHALL CONFIRM UTILITY LINES REMOVED WILL NOT IMPACT UTILITIES TO REMAIN.
 - ALL REMOVALS OF PAVEMENT, CONCRETE CURB AND GUTTER, ETC. SHALL BE PERFORMED TO THE NEXT JOINT BEYOND THE LIMITS OF REMOVAL. ALL REMOVALS SHALL BE PERFORMED BY SAWCUTTING.
 - PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
 - ALL TREE STUMPS SHALL BE REMOVED TO BELOW GRADE BY EITHER GRINDING OR COMPLETE REMOVAL IN ALL CASES NO WOODCHIPS AND/OR STUMPS SHALL BE LEFT IN PLACE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITIES REMOVALS WITH PROPERTY OWNER AND UTILITY PROVIDER.
 - ALL WORK IN ROAD RIGHTS OF WAY SHALL BE COMPLETED IN ACCORDANCE WITH MDOT, OTTAWA COUNTY COUNTY ROAD COMMISSION, AND HOLLAND TOWNSHIP.
 - THERE ARE EXISTING WETLAND AREAS ON THE PROPERTY. THESE WETLAND AREAS SHALL NOT BE DISTURBED. SHOULD DISTURBANCE TO THE WETLAND AREAS BECOME NECESSARY, CONTRACTOR SHALL ACQUIRE A PERMIT FROM THE EGLE PRIOR TO ANY DISTURBANCE.
 - THE PROPERTY IS ENCUMBERED BY A 100-YEAR FLOODPLAIN. CONTRACTOR SHALL NOT DISTURB THE FLOODPLAIN AREA UNLESS A EGLE / USACE JOINT PERMIT HAS BEEN ACQUIRED FOR THE DISTURBANCE.
 - SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

The Surveyor's / Engineer's liability for any errors or omissions in this drawing is limited to the amount of the fee paid for the service, but not limited to those arising out of the negligence, gross misconduct, or willful misrepresentation of the Surveyor's / Engineer's.

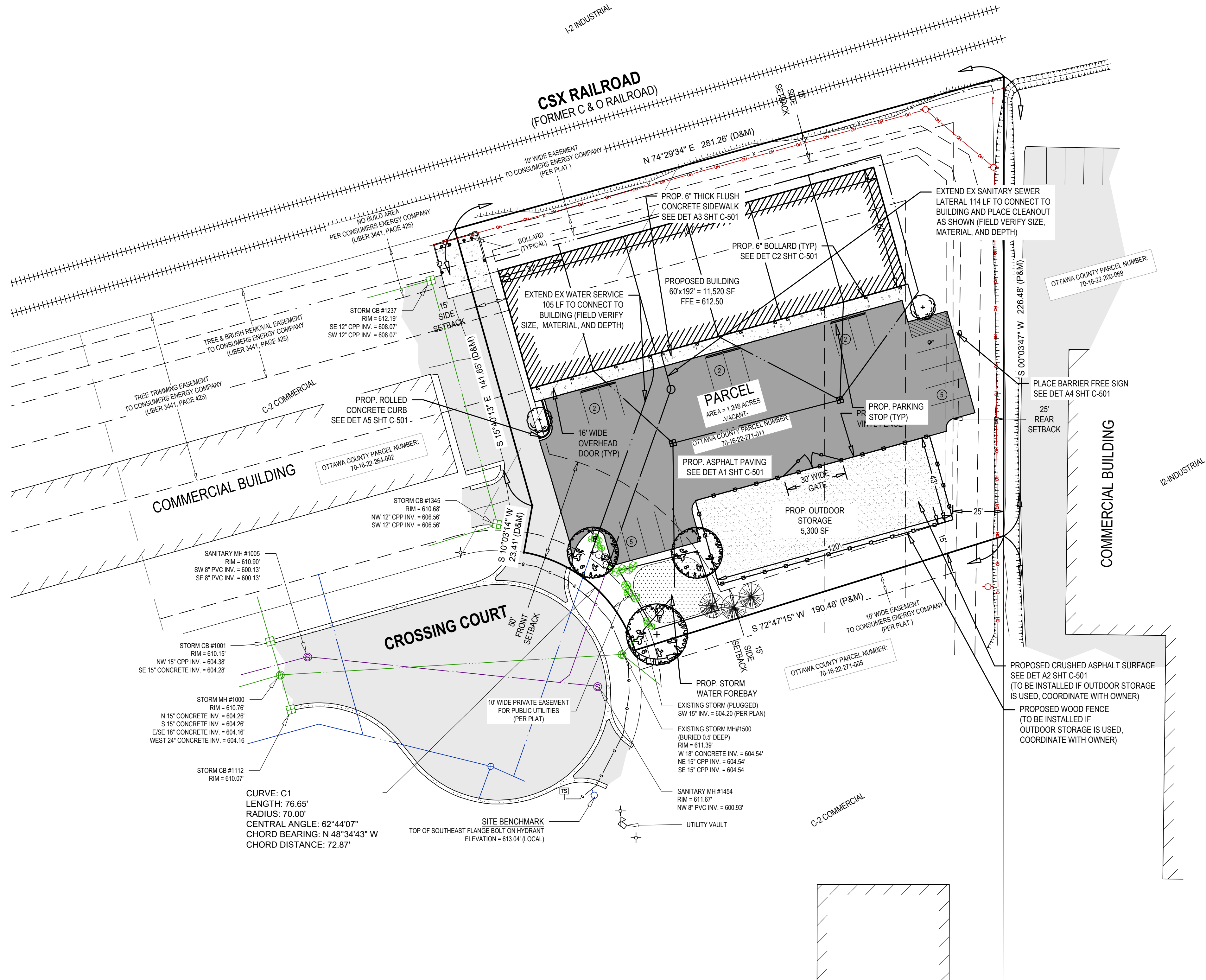
THE CROSSINGS COURT PHASE 2

CROSSINGS COURT
HOLLAND, MICHIGAN 49424
PT. OF LOTS 3 & 4 OF THE CROSSINGS
PT. OF THE NE 1/4, SECT. 22, T5N, R15W
HOLLAND TWP., OTTAWA COUNTY, MI

Issued for:			No.
Date	Description		
08/29/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP	A	
09/09/2025	CONCEPT	B	
10/02/2025	SITE PLAN SUBMITTAL	C	

Project Manager		RYAN T. YSSELDYKE	
Vertical Datum		Horz. Datum	
NGVD '29		LOCAL	
Drawn by			
PETER BULTEN, P.E.			
Checked by		Date	
Survey	.	.	
Civil	.	.	
Struc.	.	.	
L. A.	.	.	
HEI Project Number			
25-08-005			
Sheet Title			
CIVIL DEMOLITION			
Sheet No.			
CD-101			

ATTN: MR. TOM VROON
95 CROSSWIND DR.
HOLLAND, MI 49424



ZONING: C-2 COMMERCIAL
SETBACKS:

- FRONT: 50'
- SIDE: 15' OR 50' ABUTTING RESIDENTIAL
- REAR: 25' OR 50' ABUTTING RESIDENTIAL

MAX BUILDING COVERAGE: 25%
MAX BUILDING HEIGHT: 35' / 50' WITH INCREASE SETBACK

- PARKING REQUIREMENTS: 9'x18' WITH 24' AISLE
- OFFICE: 1 SPACE PER 300 SF
 - 1 SPACE PER UNIT X 6 UNITS = 6 SPACES
 - WAREHOUSE: 1 SPACE PER 2,000 SF
 - 1,700 SF / 2,000 = 1 SPACE EPR UNIT X 6 UNITS = 6 SPACES

OUTDOOR STORAGE:
SETBACKS:

- FRONT: 50'
- SIDE: 15' TO NON-RESIDENTIAL
- REAR: 25' TO NON-RESIDENTIAL

SCREENING: ENCLOSED BY A 6' HIGH OPAQUE PRIVACY FENCE OR COMPARABLE EVERGREEN VEGETATIVE SCREEN, BERM, OR COMBINATION.
SURFACE OF STORAGE AREA SHALL BE ASPHALT OR CONCRETE; OR ALTERNATIVE MATERIAL SUCH AS GRAVEL OR CRUSHED ROCK THAT IS PROPERLY DRAINED, MINIMAL DUST, MAINTAIN CHARECTER OF DEVELOPMENT, AND MAINTAINED FREE OF WEEDS AND GRASS.

DEVELOPMENT SUMMARY:

LOT AREA: 1.248 ACRES (54,383 SF)
PROPOSED BUILDING: 60' x 192' = 11,520 SF
BUILDING COVERAGE: 11,520 / 54,383 = 21.2%

PARKING PROVIDED:
16 SPACES INCLUDING 1 BARRIER FREE SPACE

STORAGE AREA:

- PROPOSED 6' TALL SOLID VINYL FENCE
- PROPOSED SURFACE TO BE CRUSHED ASPHALT MILLINGS

LAYOUT & UTILITY NOTES:

1. SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
3. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
4. CONTRACTOR SHALL CONTACT ENGINEER IF ANY DISCREPANCIES ARE DETERMINED BETWEEN SITE LAYOUT DIMENSIONS AND ACTUAL SITE CONDITIONS.
5. COORDINATE ALL UTILITY CONSTRUCTION WITH UTILITY PROVIDER, AS REQUIRED.
6. CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
7. ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE HOLLAND CHARTER TOWNSHIP WATER AND SEWER STANDARDS & SPECIFICATIONS.
8. ALL WATERMAIN, WATER SERVICES, AND FIRE PROTECTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE HOLLAND CHARTER TOWNSHIP WATER AND SEWER STANDARDS & SPECIFICATIONS.
9. ALL WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM THE OTTAWA COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
10. COORDINATE ALL SIGNAGE REMOVAL AND RELOCATION WITHIN THE RIGHT-OF-WAY WITH OTTAWA COUNTY ROAD COMMISSION.
11. SITE CONTRACTOR RESPONSIBLE TO CONNECT EXISTING AND PROPOSED BUILDING TO WATER SERVICE AND SANITARY SEWER LATERAL, REFER TO PLUMBING PLANS FOR CONNECTION LOCATION AND DETAILS.
12. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS. BUILDING SHALL BE STAKED BASED ON FOUNDATION PLAN. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE DISCREPANCIES BETWEEN THE BUILDING AND SITE DRAWINGS.
13. ONSITE LIGHTING SHALL DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AS REQUIRED PER THE HOLLAND CHARTER TOWNSHIP ZONING ORDINANCE.
14. SITE SIGNAGE SHALL MEET THE STANDARDS AND REQUIREMENTS OF THE HOLLAND CHARTER TOWNSHIP ZONING ORDINANCE. A SIGN PERMIT SHALL BE ACQUIRED PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL BE RESPONSIBLE TO MEETING THE STANDARDS AND REQUIREMENTS OF THE LOCAL NOISE ORDINANCE FOR ALL CONSTRUCTION PRACTICES.
16. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

The Surveyor's
Engineers liability for any
errors or omissions in this
drawing shall be limited to the
amount of the fee paid for the
service fee.

Surveyors / Engineers
arising out of the
negligence, gross
misconduct, warranties or
misrepresentations shall
not be limited to the
amount to greater than
the service fee.

VROON CONSTRUCTION

ATTN: MR. TOM VROON
95 CROSSWIND DR.
HOLLAND, MI 49424

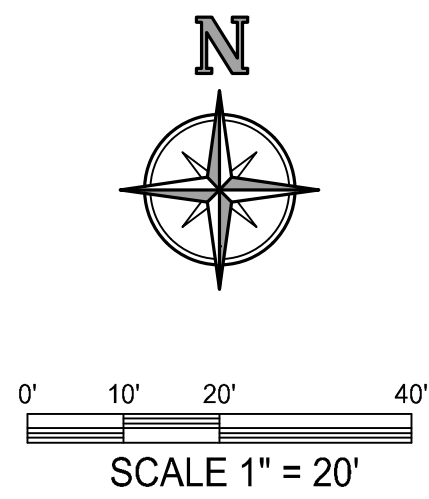
**THE CROSSINGS COURT
PHASE 2**

CROSSINGS COURT
HOLLAND, MICHIGAN 49424

PT. OF LOTS 3 & 4 OF THE CROSSINGS
PT. OF THE NE 1/4, SECT. 22, T5N, R15W
HOLLAND TWP. OTTAWA COUNTY, MI

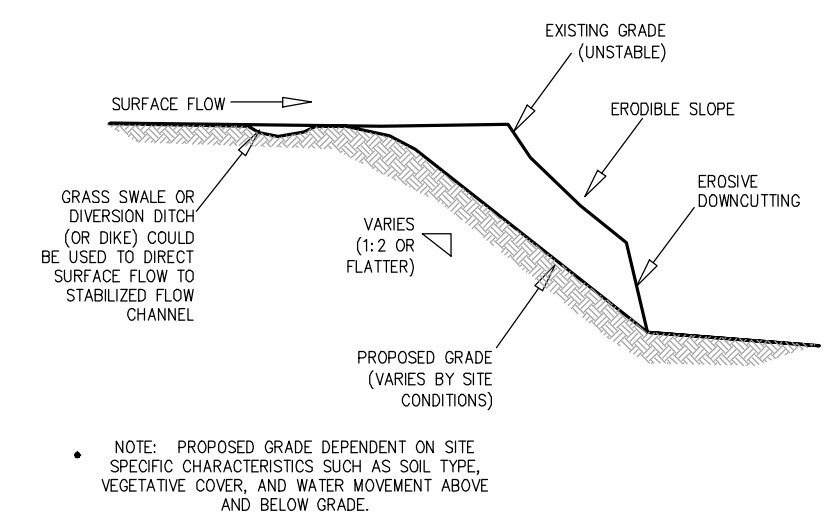
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08/29/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP	A
09/09/2025	CONCEPT	B
10/02/2025	SITE PLAN SUBMITTAL	C

Project Manager		RYAN T. YSSELDYKE	
Vertical Datum	Horz. Datum	LOCAL	
Drawn by		BRUCE ZEINSTR, LLA	
Checked by	Date		
Survey			
Civil			
Struc.			
L. A.			
HEI Project Number		25-08-005	
Sheet Title		SITE LAYOUT PLAN	
Sheet No.		C-101	

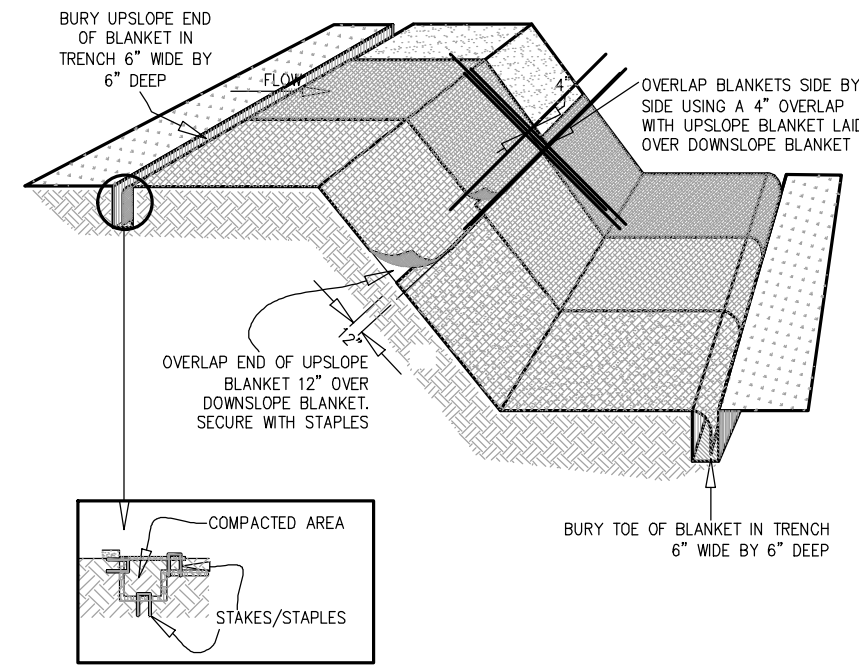


S.E.S.C. LEGEND MICHIGAN UNIFIED KEYING SYSTEM

E1	SELECTIVE GRADING AND SHAPING		To reduce steep slopes and erosive velocities.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
E9	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

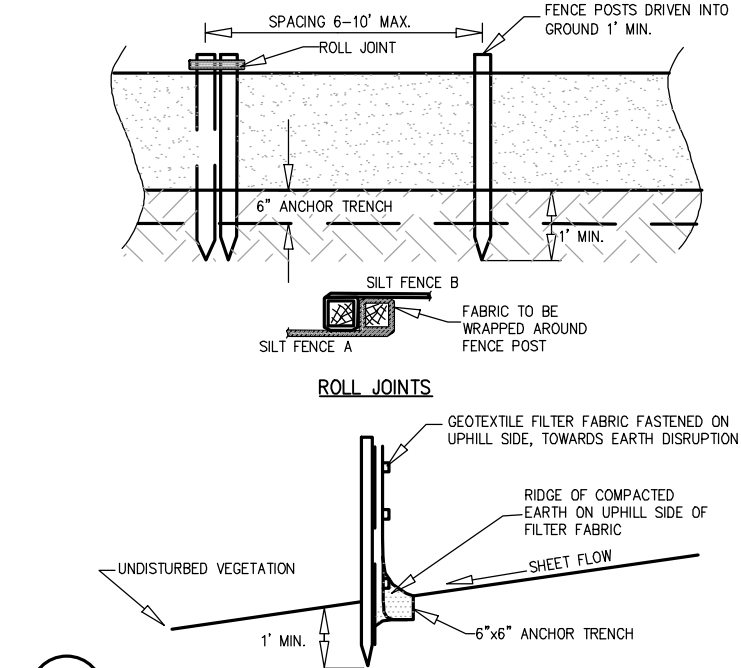


E1 SELECTIVE GRADING AND SHAPING

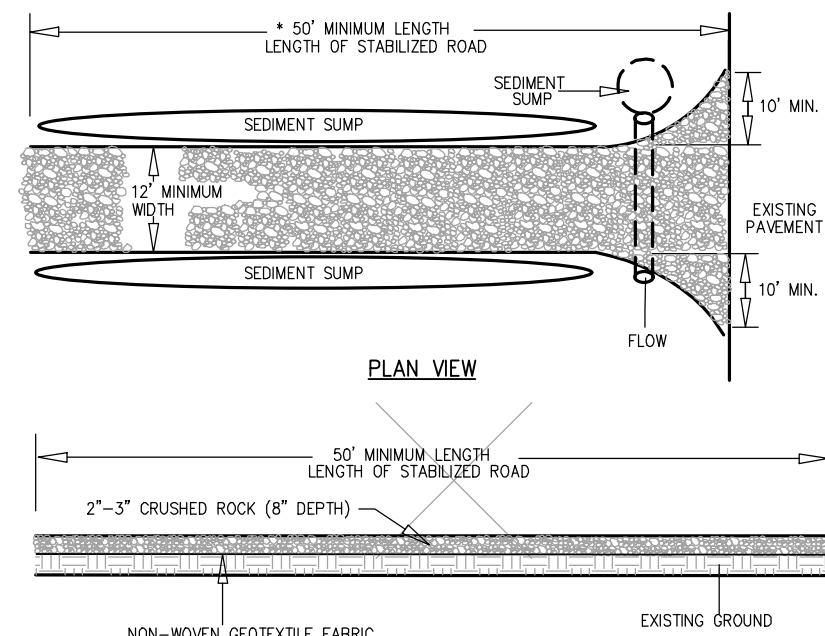


- NOTES:
1. PLACE MULCH BLANKET PARALLEL TO FLOW AND ANCHOR SECURELY.
 2. WHEN BLANKETS ARE USED IN FLOWING DITCH, BLANKETS SHOULD NOT OVERLAP IN DITCH CENTER PARALLEL TO FLOW.
 3. STAPLES INSTALLED/SECURED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 4. WHERE POSSIBLE, CONSTRUCT WITH BIODEGRADABLE MATERIAL.

E9 MULCH BLANKETS



S51 SILT FENCE



- NOTES:
1. Establish stabilized construction entrance prior to the initiation of site construction activities.
 2. Core should be taken to prevent material movement into adjacent wetlands/waterbodies.
 3. Core should be taken to maintain existing roadside drainage via culvert installation, with sediment sump placed downflow of culvert.

S53 STABILIZED CONSTRUCTION ACCESS

GRADING & STORM SEWER NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
2. SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
3. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
4. CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
5. ALL WORK WITHIN THE RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM OTTAWA COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
6. STORM WATER MANAGEMENT SYSTEM AND GRADING SHALL BE IN ACCORDANCE WITH THE OTTAWA COUNTY WATER RESOURCE COMMISSION STORM WATER ORDINANCE.
7. SITE CONTRACTOR RESPONSIBLE TO CONNECT STORM / ROOF WATER TO STORM DRAIN AS SHOWN. REFER TO PLUMBING PLANS FOR CONNECTION TO THE BUILDING AND DETAILS.
8. SITE SHALL BE GRADED WITH SMOOTH CONTOURS IN ALL AREAS OF DISTURBANCE AND GRADED TO SLOPE AWAY FROM THE EXISTING AND PROPOSED BUILDINGS AND SIDEWALKS.
9. ALL STORM SEWER PIPING SHALL BE ADS N-12, HANCOR H-10 OR APPROVED EQUIVALENT POLYETHYLENE (PE) PLASTIC PIPE AND FITTINGS, UNLESS OTHERWISE NOTED. WHERE SPECIFIED IN THE PLANS, CONCRETE CLASS IV PIPE WITH RUBBER GASKETS IS REQUIRED.
10. ALL STORM PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF TABLES 1102.4, 1102.5 AND 1102.7 OF THE 2012 MICHIGAN PLUMBING CODE.
11. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

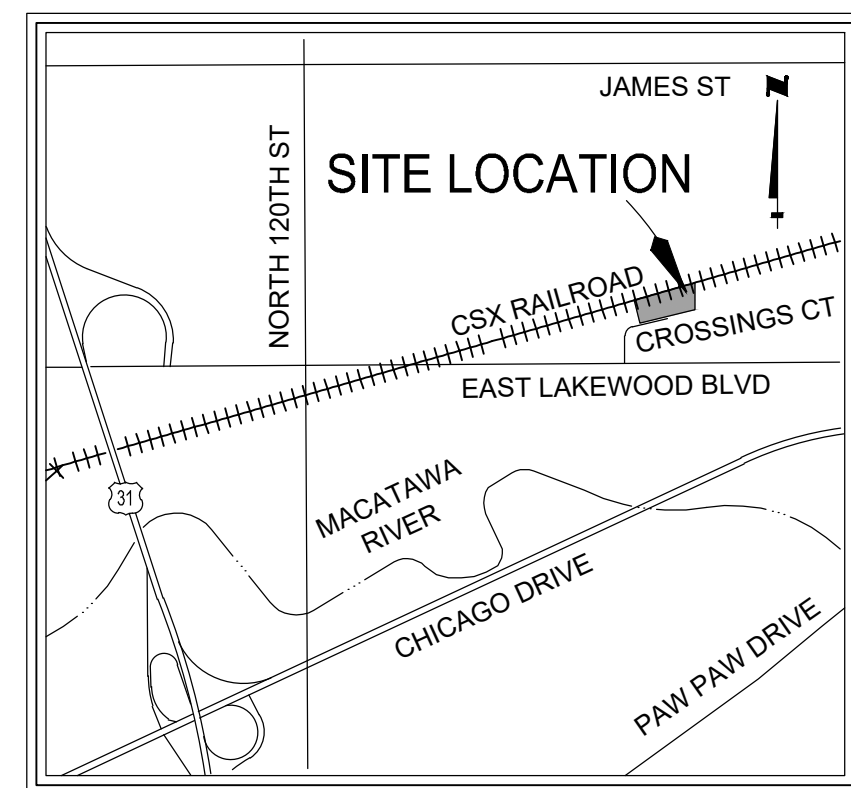
SESC NOTES:

1. CONTRACTOR SHALL OBTAIN ALL STATE AND LOCAL PERMITS AS NECESSARY FOR CONSTRUCTION.
2. SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
3. CONTRACTOR IS RESPONSIBLE TO ACQUIRE THE OTTAWA COUNTY WATER RESOURCE COMMISSION SOIL EROSION AND SEDIMENTATION CONTROL PERMIT AND THE NPDES NOTICE OF COVERAGE AND COMPLY WITH ALL PERMIT REQUIREMENTS AND WITH ALL STANDARDS AND REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION.
4. BEST MANAGEMENT PRACTICES SHALL BE UTILIZED DURING AND AFTER CONSTRUCTION FOR TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
5. CONTRACTOR SHALL PROVIDE A CERTIFIED STORM WATER OPERATOR FROM CONSTRUCTION COMMENCEMENT THROUGH FINAL SITE STABILIZATION.
6. THE TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH THE SOLE REQUIREMENTS.
7. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOLLAND CHARTER TOWNSHIP AND OTTAWA COUNTY ROAD COMMISSION STANDARDS AND SPECIFICATIONS.
9. SOIL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO EARTH MOVING OR GROUND DISTURBANCE AND REMAIN IN PLACE UNTIL FINAL RESTORATION HAS BEEN ESTABLISHED.
10. ALL FOREIGN MATERIAL OR DEBRIS FROM JOB SITE WHICH IS DEPOSITED ON PAVED ROADWAY SHALL BE REMOVED IMMEDIATELY.
11. THE PAVED ROADWAY SHALL BE SWEEPED CLEAN AS NEEDED, BUT AT LEAST ONCE A WEEK.
12. SOIL EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE OWNER UPON COMPLETION.
13. CONTRACTOR SHALL PHASE THE PLACEMENT OF THE SOIL EROSION CONTROL MEASURES AS NECESSARY FOR THE SITE IMPROVEMENTS WITHIN THE LIMITATIONS OF THE ACQUIRED SOIL EROSION CONTROL PERMIT.
14. STOCKPILE AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SEED IN ACCORDANCE WITH THE OTTAWA COUNTY WATER RESOURCE COMMISSION SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS. ALL EXCESS SPOILS SHALL BE REMOVED FROM SITE.
15. ALL EXCESS SPOILS SHALL BE HAULED OFFSITE AND LEGALLY PLACED ONSITE.
16. THERE SHALL BE NO EARTH MOVEMENT OR DISTURBANCE OUTSIDE THE LIMITS OF DISTURBANCE WITHOUT PRIOR AUTHORIZATION FROM THE OTTAWA COUNTY WATER RESOURCE COMMISSION.
17. THE MINIMUM AMOUNT OF SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE SHOWN THE DRAWINGS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL MEASURES, MAINTENANCE, AND/OR STABILIZATION MEASURES AS NECESSARY FOR CONSTRUCTION ACTIVITIES.
18. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

PROPOSED CONSTRUCTION SCHEDULE

ACTIVITY	2025-2026					
	NOV	DEC	JAN	MAR	APR	MAY
INSTALL CONTROLS						
CLEARING						
GRADE						
BUILDING						
UTILITIES						
PAVING						
RESTORE						

*NOTE: CONSTRUCTION SCHEDULE MAY VARY BASED ON CONTRACTOR'S SCHEDULE. CONTRACTOR SHALL UPDATE THE **OCWRC** IF CONSTRUCTION SCHEDULE VARIES FROM ABOVE.



LOCATION MAP
NOT TO SCALE

HOLLAND
ENGINEERING

The Surveyor's / Engineer's liability for any errors or omissions, but not limited to those arising out of the Surveyor's / Engineer's negligence, gross misconduct, warranties or misrepresentations shall amount to greater than the service fee.

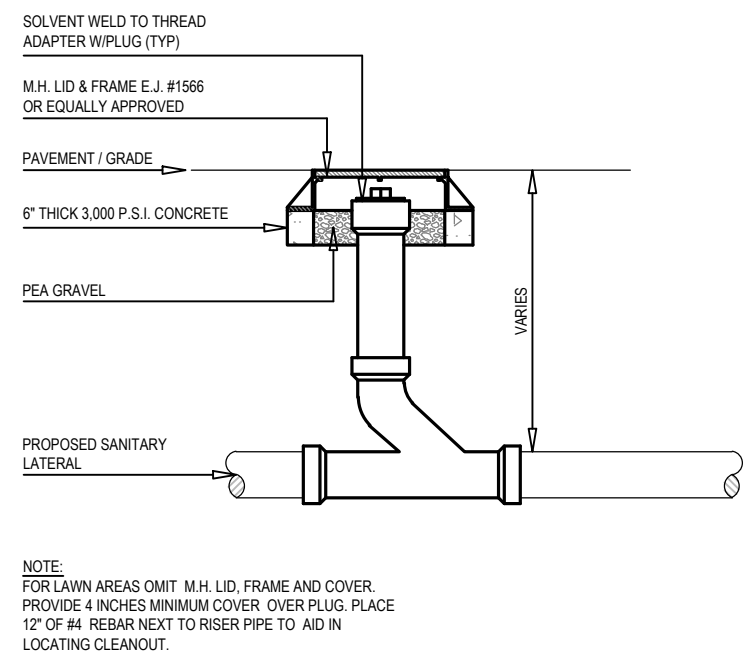
THE CROSSINGS COURT
PHASE 2
CROSSINGS COURT
HOLLAND, MICHIGAN 49424

PT. OF LOTS 3 & 4 OF THE CROSSINGS
PT. OF THE NE 1/4, SECT. 22, T5N, R15W
HOLLAND TWP., OTTAWA COUNTY, MI

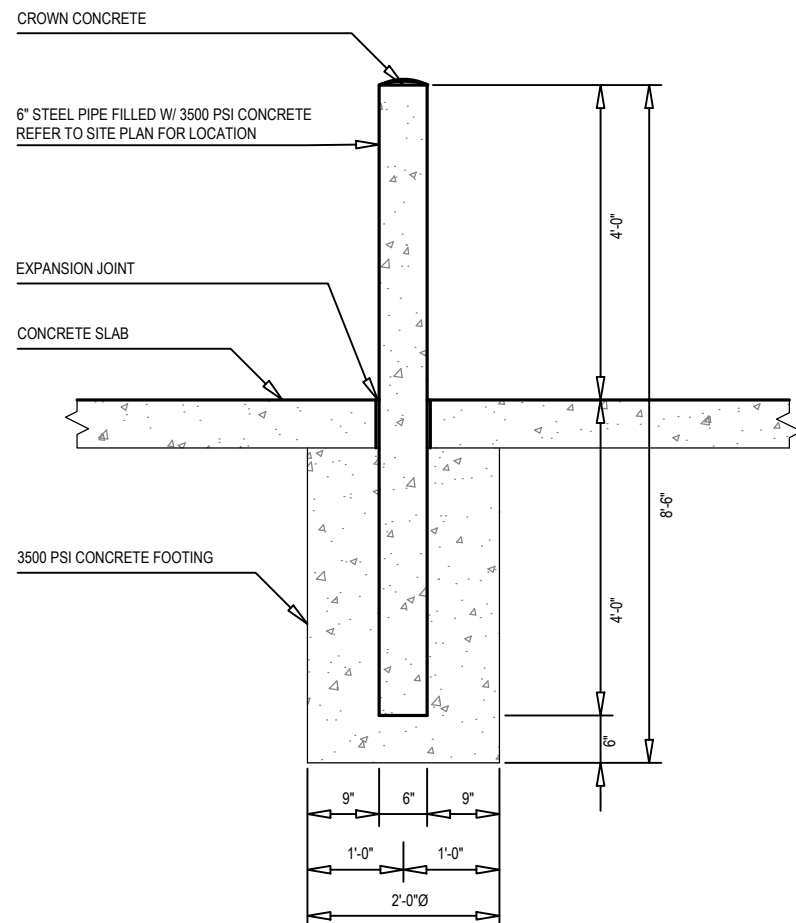
Issued for:

Date	Description	No.
08/29/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP	A
09/09/2025	CONCEPT	B
10/02/2025	SITE PLAN SUBMITTAL	C

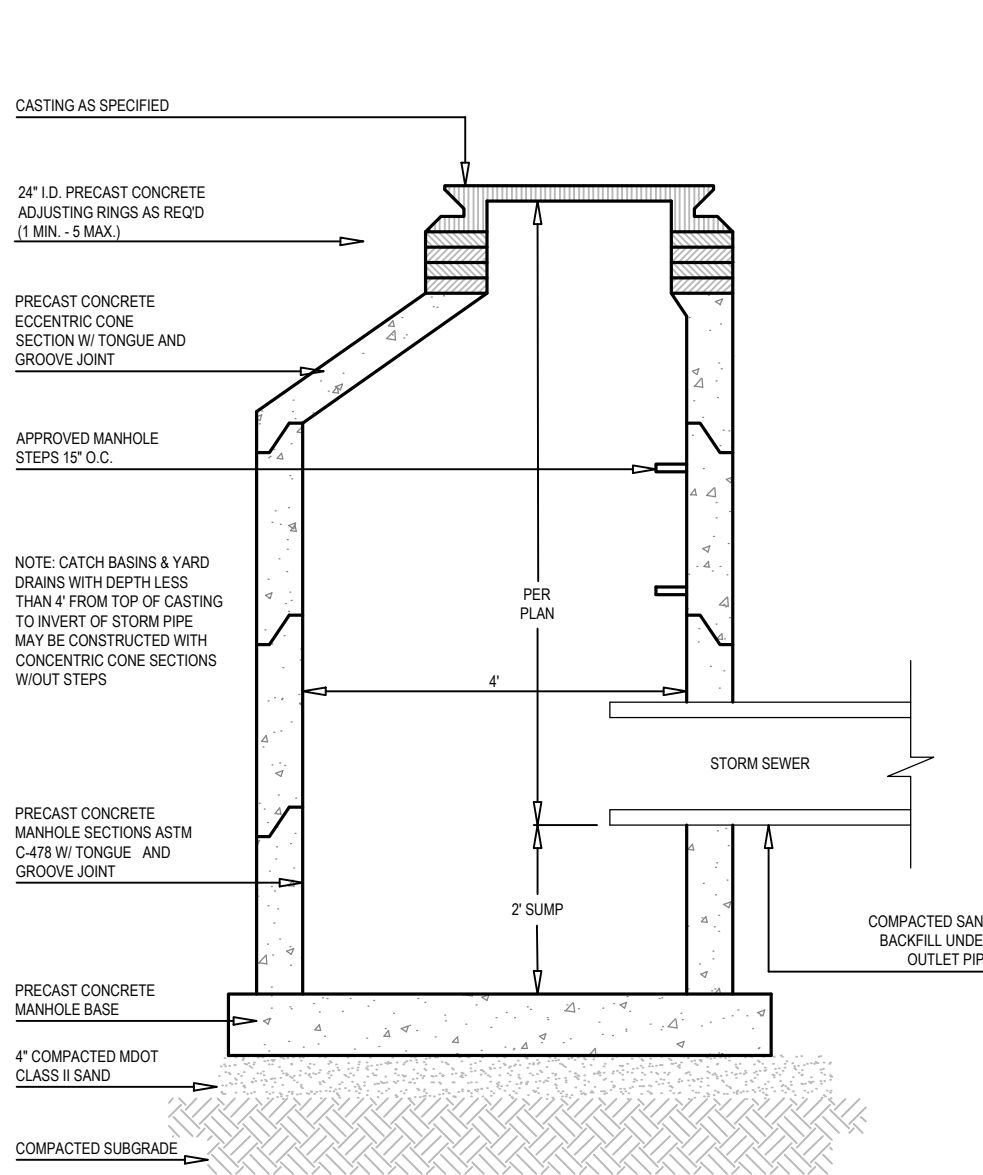
Project Manager		RYAN T. YSELDYKE	
Vertical Datum	Horz. Datum	LOCAL	
Drawn by		PETER BULTEN, P.E.	
Checked by	Date		
Survey			
Civil			
Struc.			
L. A.			
HEI Project Number		25-08-005	
Sheet Title		GRADING STORM & SESC PLAN	
Sheet No.		C-201	



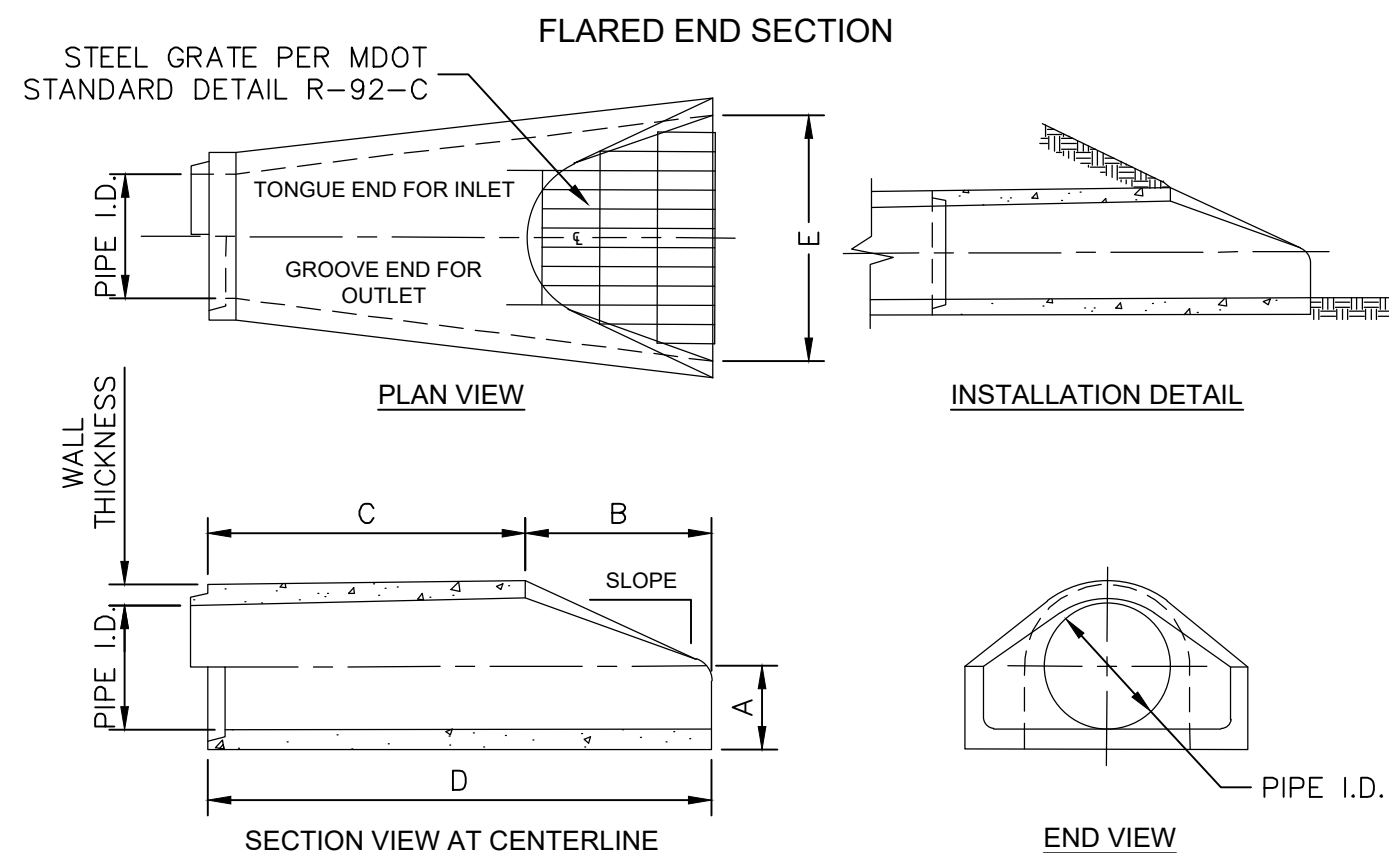
C1 SANITARY LATERAL CLEANOUT



C2 6" DIAMETER BOLLARD DETAIL

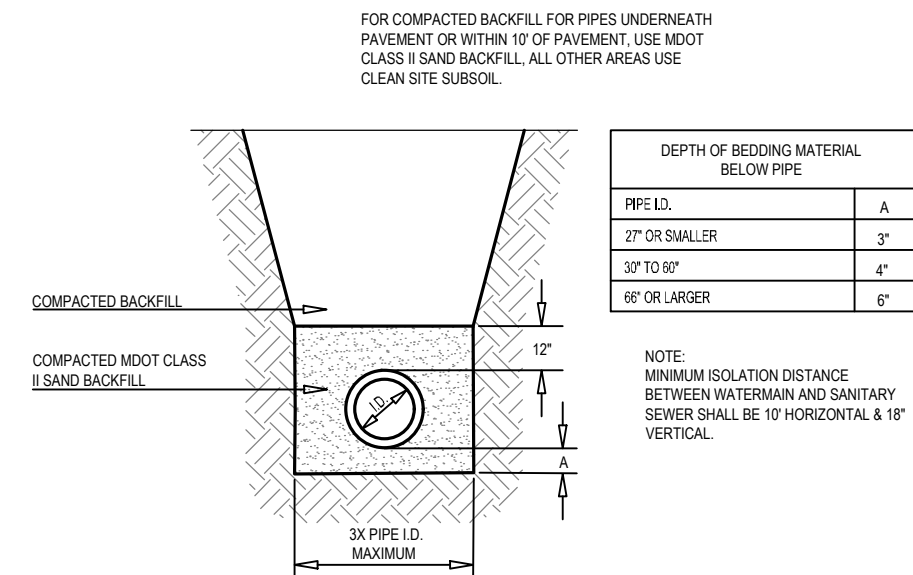


B1 4' DIA. CATCH BASIN

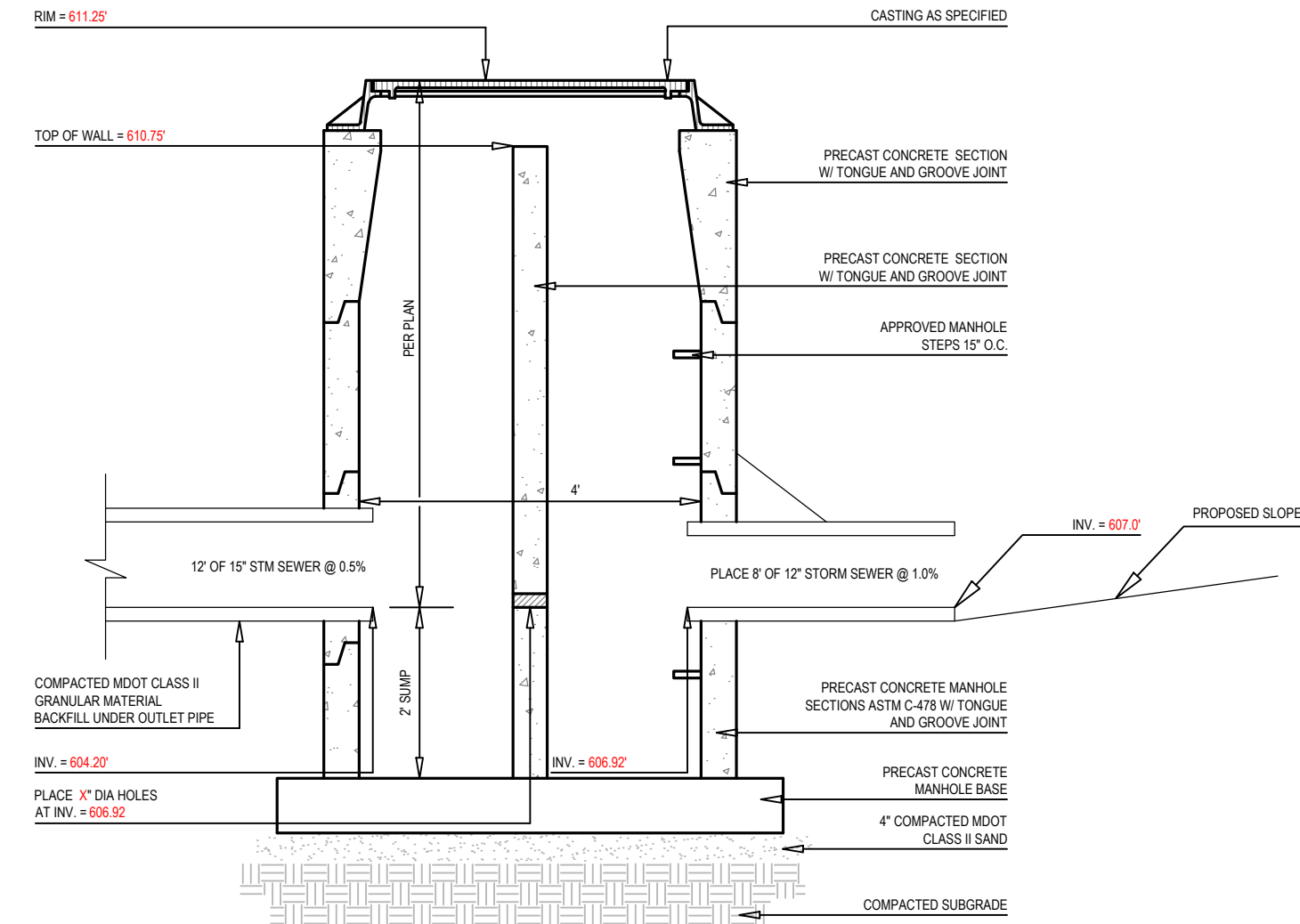


PIPE INNER DIAMETER (INCHES)	WALL THICKNESS (INCHES)	A (INCHES)	B (INCHES)	C (INCHES)	D (INCHES)	E (INCHES)	SLOPE
12	2	4	24	48 7/8	72 7/8	30	3:1
15	2 1/4	6	27	45	73	30	3:1
18	2 1/2	9	27	45	73	36	3:1
24	3	9 1/2	45 1/2	30	73 1/2	48	3:1
30	3 1/2	12	54	19 3/4	73 3/4	60	3:1

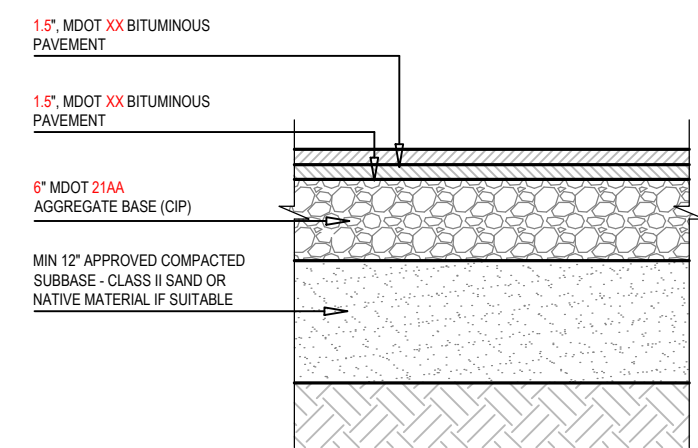
- NOTES:
- PRODUCED TO MEET ASTM SPECIFICATIONS.
 - CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR DETAILS NOT LISTED.
 - ALL CONCRETE FLARED END SECTIONS SHALL INCLUDE A STEEL GRATE PER MDOT STANDARD DETAIL R-92-C.



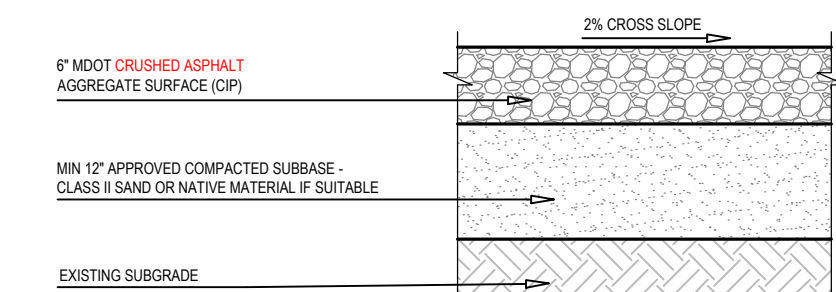
B3 CLASS B PIPE BEDDING



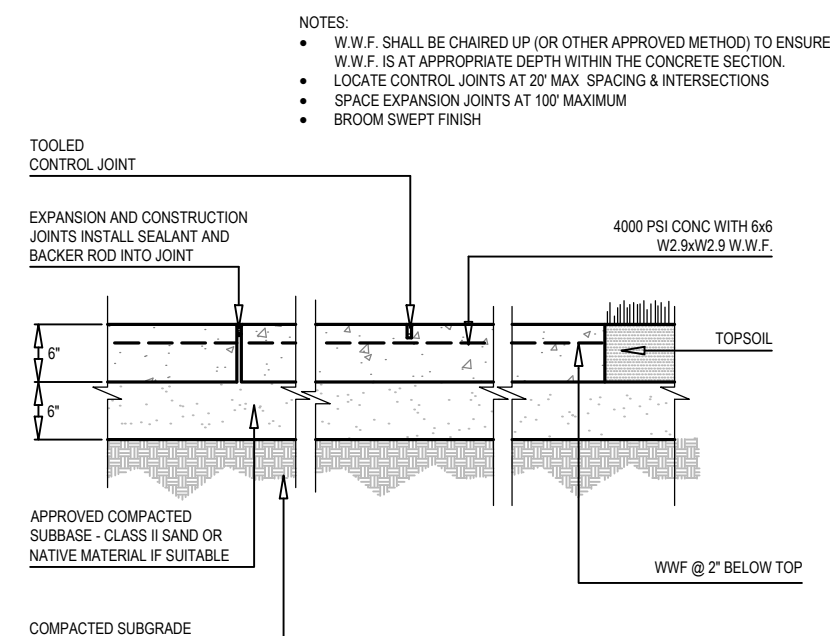
B4 4' DIA. OUTLET CONTROL OUTLET W/ WEIR WALL



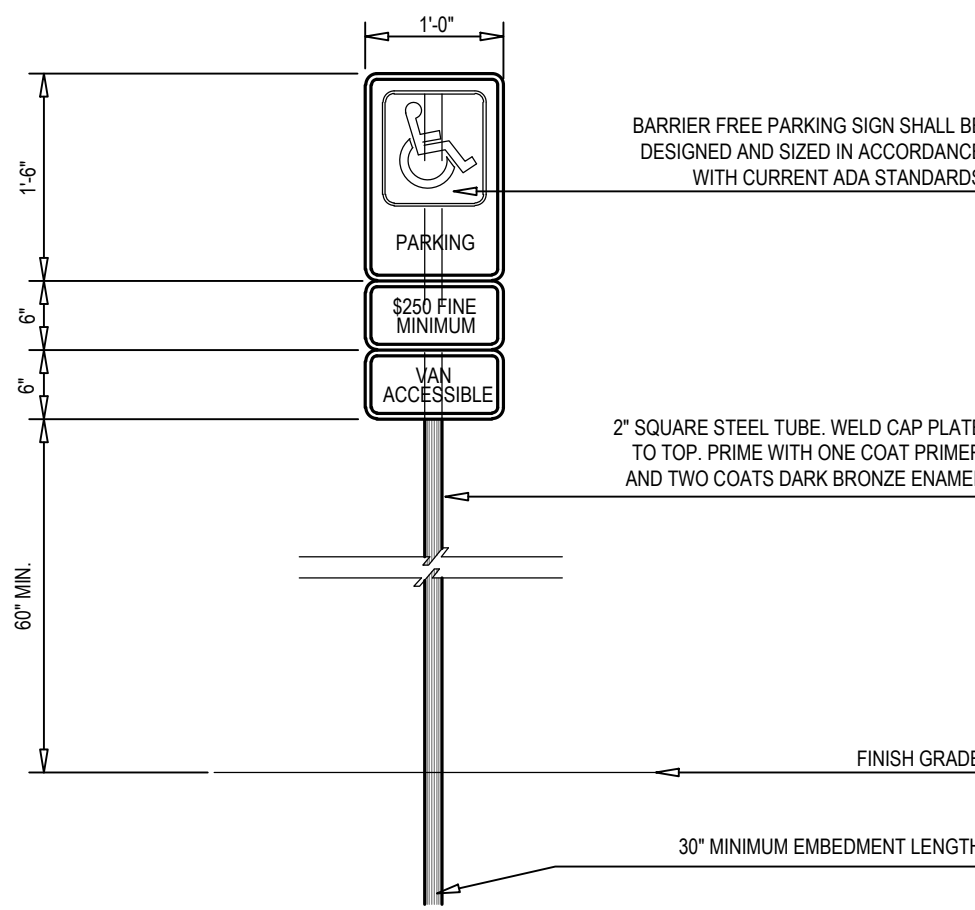
A1 PARKING LOT BITUMINOUS PAVEMENT SECTION



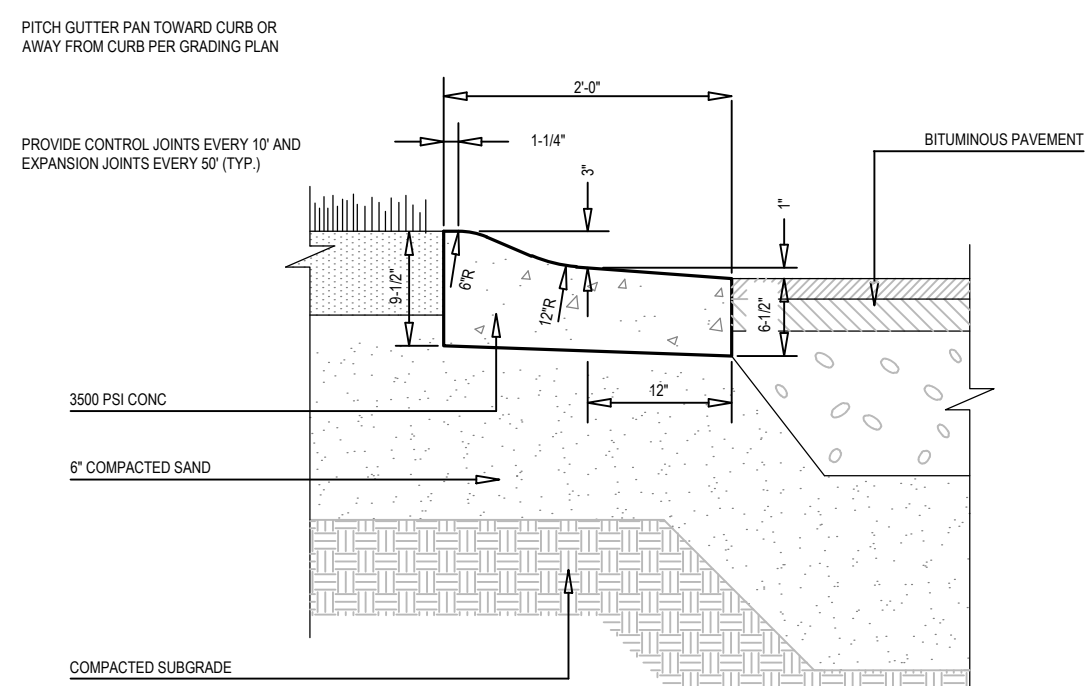
A2 6" CRUSHED ASPHALT SECTION



A3 6" CONCRETE PAVEMENT



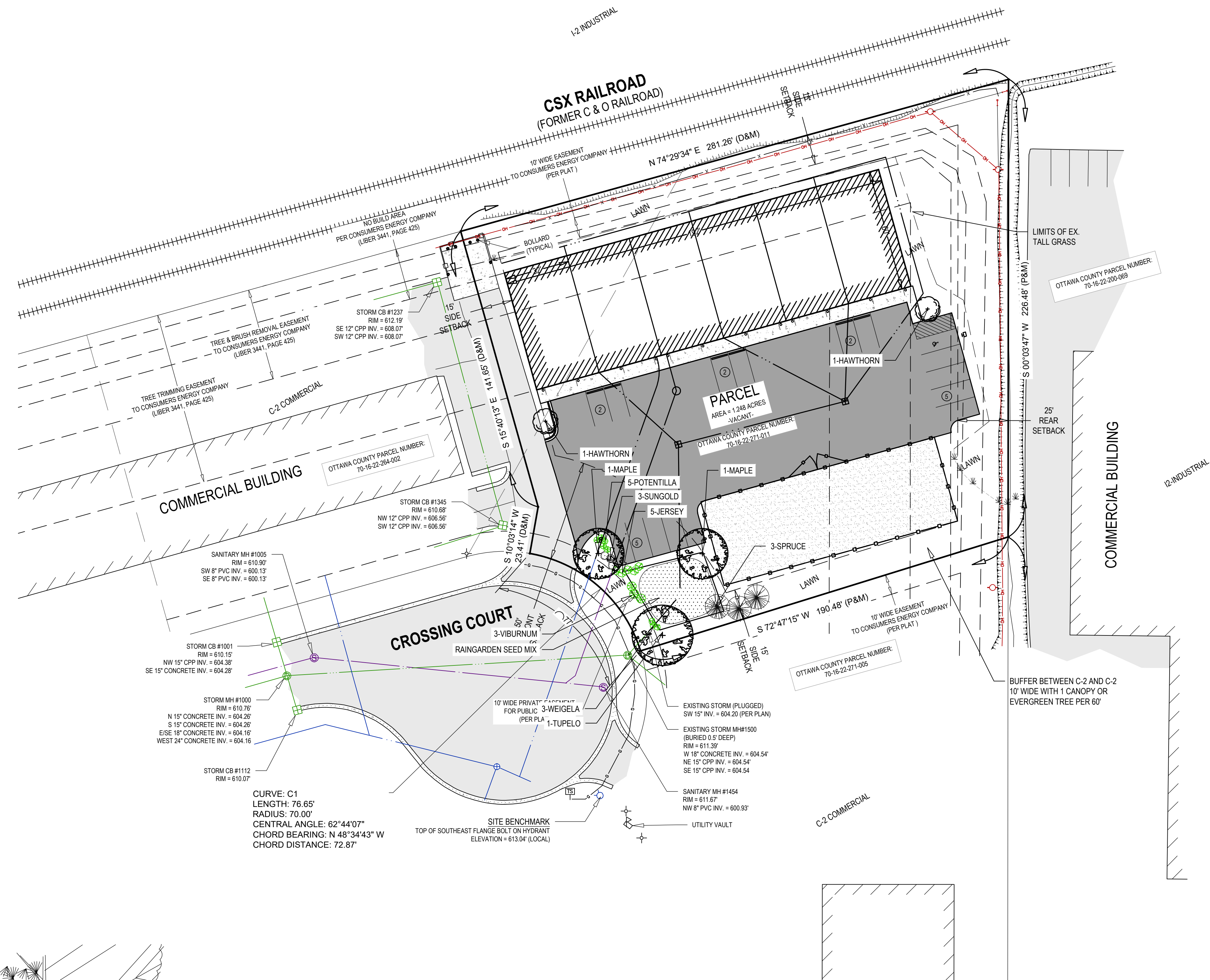
A4 BARRIER FREE PARKING SIGN



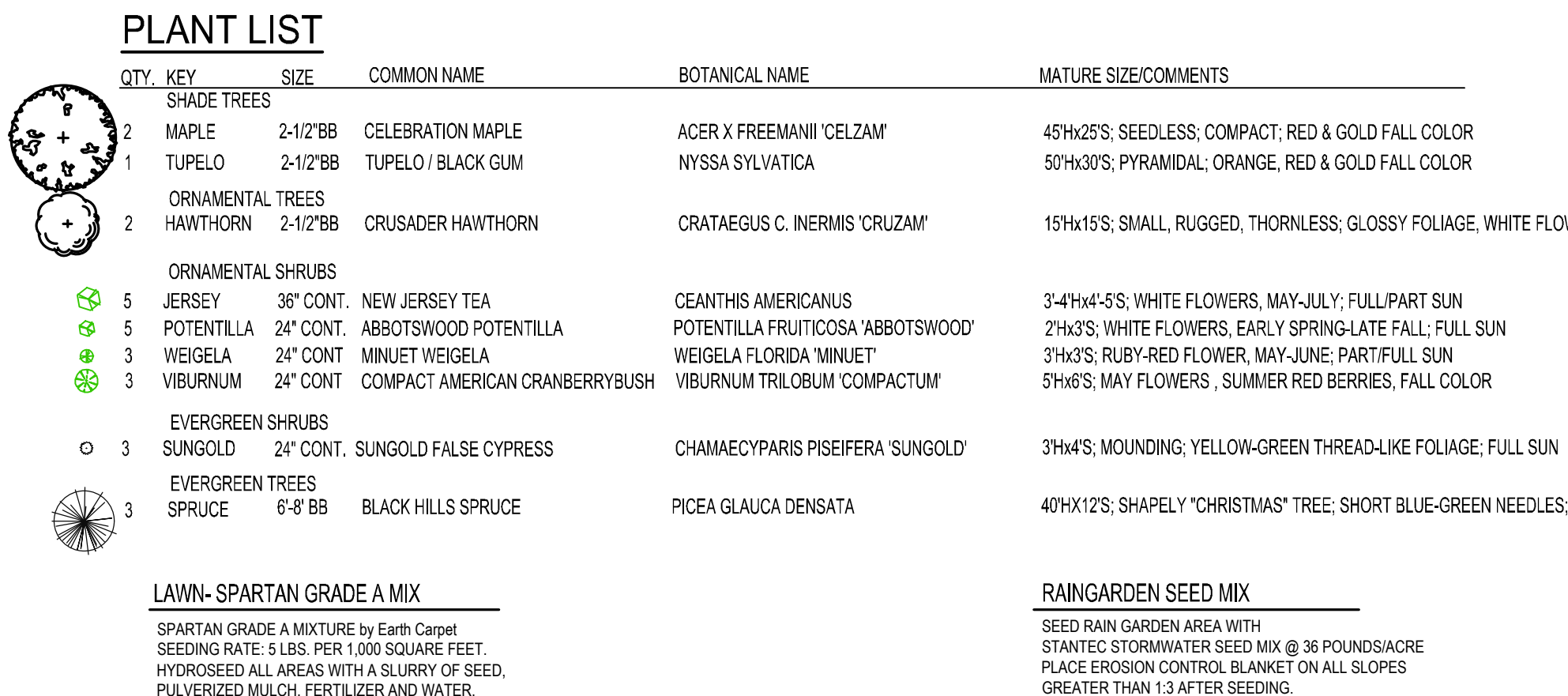
A5 24" CONC ROLLED CURB DETAIL (PITCH OUT) W/O REBAR

Issued for:		No.	Date	
Description	Map	A	B	C
08/29/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP			
09/09/2025	CONCEPT			
10/02/2025	SITE PLAN SUBMITTAL			

Project Manager		RYAN T. YSELDYKE	
Vertical Datum	Horz. Datum	LOCAL	
Drawn by		PETER BULTEN, P.E.	
Checked by	Date		
Civil			
Struc.			
L. A.			
HEI Project Number		25-08-005	
Sheet Title		GENERAL DETAILS	
Sheet No.		C-501	



1. LANDSCAPE REQUIREMENTS FOR PROPOSED IMPROVEMENT AREA ONLY:
 - 1.1. FRONT YARD LANDSCAPING: 1 TREE + 3 SHRUBS PER 40', PLACED BETWEEN ROW AND PARKING.
 - 1.1.1. REQUIRED: 70' / 40' = 1.75 = 2 TREES + 6 SHRUBS
 - 1.1.1.1. PROVIDED: 2 CANOPY TREES + 6 SHRUBS
 - 1.1.2. BUFFER ZONE D BETWEEN C-2 ZONES: 10' WIDE BUFFER WITH 1 CANOPY OR 1 EVERGREEN PER 60'
 - 1.2.1. REQUIRED SOUTH PROPERTY LINE: 190' / 60' = 3.16 = 3 CANOPY OR EVERGREEN TREES
 - 1.2.1.1. PROVIDED: 3 PROPOSED EVERGREEN TREES
 - 1.1.3. PARKING LOT CANOPY TREES: 1 TREE + 100 SF PER 12 SPACES; 1/2 OF TREES SHALL BE PLACED IN THE INTERIOR OF THE PARKING AREA.
 - 1.3.1. REQUIRED: 16 PROPOSED SPACES / 12 = 1.3 = 2 TREES
 - 1.3.1.1. PROVIDED: 1 CANOPY TREE + 2 ORNAMENTAL TREES (DUE TO ISLAND SIZE AND CONSUMERS CONSUMERS TREE TRIMMING EASEMENT).
 - 1.4. SCREENING: SCREEN PARKING AND DUMPSITE:
 - 1.4.1. SCREEN PARKING FROM ROW AND ABUTTING AGRICULTURE AND RESIDENTIAL DISTRICTS WITH HEDGEROW OR WALL.
 - 1.4.1.1. PROPOSED: 13 SHRUBS ALONG PARKING
 - 1.4.2. DUMPSITE SHALL HAVE ENCLOSURE CONSTRUCTED OF MASONRY, CONCRETE, METAL, TREATED WOOD, OR SIMILAR; PARKING SHALL BE SCREENED BY WALL OR HEDGEROW 30' TALL.
 - 1.4.1.1. PROPOSED: EXISTING DUMPSITE ENCLOSURE
 - 1.5. ALL TREES AND SHRUBS SHALL BE PLANTED A MINIMUM OF 4' AWAY FROM PAVEMENT.
 - 1.6. TREES ADJACENT TO PARKING LOTS AND DRIVES SHALL HAVE BRANCHES TRIMMED TO A MINIMUM HEIGHT OF 14'.
 - 1.7. ALL LAWN AND PLANTING AREAS SHALL BE MAINTAINED IN SUCH WAY TO KEEP VEGETATION IN A HEALTHY AND GROWING MANNER.
 - 1.8. ALL LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. TREES AND OTHER VEGETATION THAT DIE SHALL BE PROMPTLY REPLACED WITH IN KIND VEGETATION.
 - 1.9. CONTRACTOR SHALL PROVIDE SPECIFIED TREES, SHRUBS, GROUND COVERS AND OTHER PLANT MATERIAL THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK," PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - 1.10. SEED SHALL BE PLACED OVER 6" TOPSOIL IN ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION EXCEPT AS NOTED ON THE PLANS. SOD SHALL BE PLACED IN ALL AREAS AS SHOWN ON THE PLANS OVER 4" TOPSOIL.
 - 1.11. PLANTING SOIL CONSISTING OF 1/3 TOPSOIL, 1/3 PEAT MOSS AND 1/3 SAND SHALL BE PLACED IN ALL GROUND COVER AND FLOWER BEDS; DEPTH SHALL BE NOT LESS THAN 8"
 - 1.12. FOLLOWING CONSTRUCTION, RESTORE ALL DISTURBED AREAS WITH EARTH CARPET SPARTAN GRADE "A" SEED MIX, UNLESS OTHERWISE NOTED.





PARKING:
LOTS 2 AND 3:

- 100 EXISTING SPACES INCLUDING 4 BARRIER FREE
- 16 FLUTE SPACES
- TOTAL PARKING: 116 SPACES
- 16,800 SF / 116 = 1 SPACE PER 145 SF

LOT 4:

- OFFICE: 1 SPACE PER 300 SF
 - 1 SPACE PER UNIT X 6 UNITS = 6 SPACES
- WAREHOUSE: 1 SPACE PER 2,000 SF
 - 1,700 SF / 2,000 = 1 SPACE EPR UNIT X 6 UNITS = 6 SPACES
- REQUIRED PARKING: 12 SPACES
- PROPOSED: 16 SPACES INCLUDING 1 BARRIER FREE SPACE
 - 1 SPACE PER 720 SF

Project Information

Governing Codes:

- Michigan Building Code 2021:
- Incorporating the 2021 International Building Code
- Michigan Plumbing Code 2021
- Michigan Mechanical Code 2021
- Michigan Electrical Code 2023
- ICC/ANSI A117.1-2017

Code of Ordinances: Holland Charter Township, MI

Enforcing Agency: Holland Charter Township
353 120th Ave., Holland, MI 49324

SITE ADDRESS: Crossings Court
Holland, MI 49424

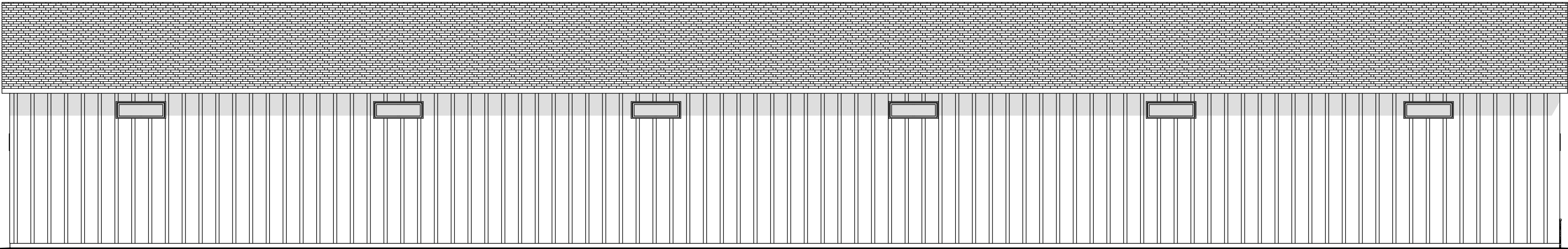
Parcel No.: 70-16-22-271-011

Property Description:
THAT PART OF LOTS 3 & 4 LYING E OF A LINE COM
N 74D 29M 34S E 192 FT FROM NW COR OF LOT 3,
TH S 15D 40M 13S E 141.65 FT, TH S 10D 03M 14S W
23.41 FT TO N LI OF CROSSINGS CT AND END OF
SD LINE. THE CROSSINGS

Zoning: C-2, Community Commercial District

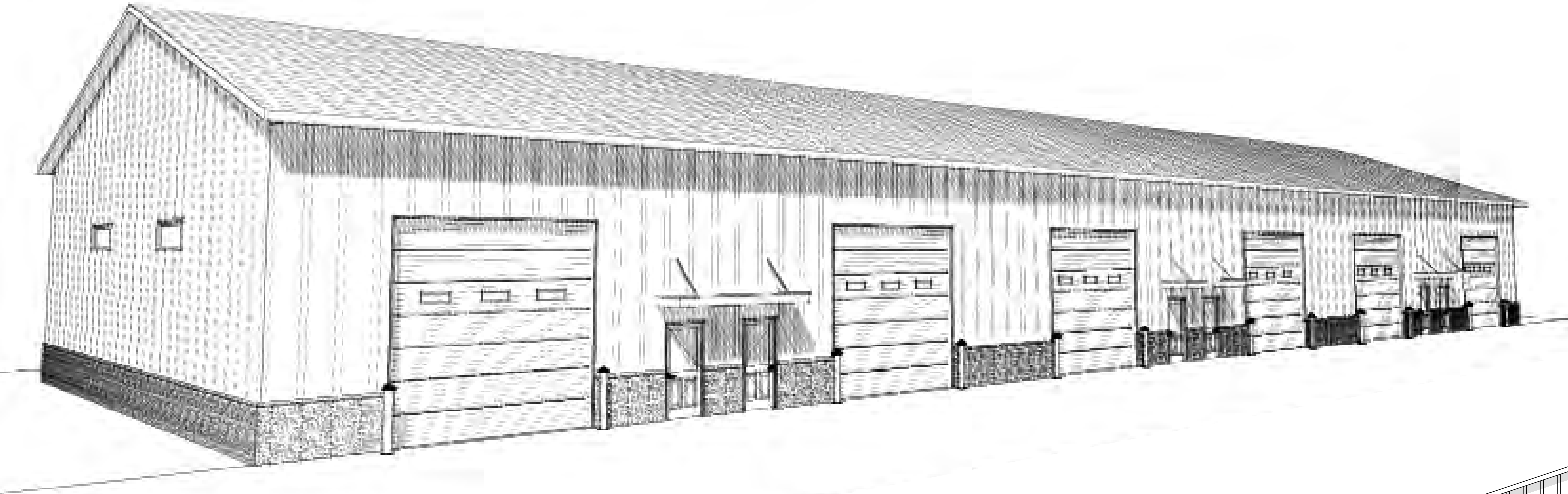
Building Construction Type: 5B

Use Group: S-1 Moderate-Hazard Storage



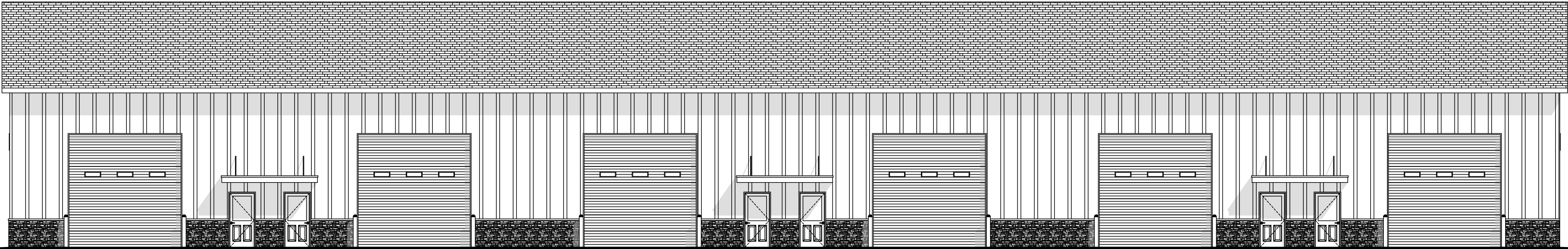
North Elevation

SCALE: 1/8" = 1'-0"



West Elevation

SCALE: 1/8" = 1'-0"



South Elevation

SCALE: 1/8" = 1'-0"



GEN 1

Architectural Group

3818 Perry Street, Zeeland, MI 49424 • Ph: 616.531.3671 • gen1-architectural.com

"The Crossings"

Crossings Court, Holland, MI 49424

Exterior Elevations

Architectural Plan

Scale: 1/8" = 1'-0" | October 02, 2025

A