

APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name Brian Malone
Address 2413 Eagle Dr
Holland, MI 49424

Company Sonseeker Pools
Phone [REDACTED]
Email [REDACTED]

Owner Information

Contact Name Christine Gethin
Address 10080 Hiawatha Dr
West Olive, MI 49460

Company CLG Holdings LLC
Phone [REDACTED]
Email [REDACTED]

Plan Preparer Information

Contact Name Bruce Zeinstra
Address 220 Hoover Blvd
Holland, MI 49423

Company Holland Engineering, Inc
Phone [REDACTED]
Email [REDACTED]

Property Information

Address or Location 4412 136th Ave
Parcel Number 70 - 16 - 05 - 300 - 023 Zoning District I-2
Present Use(s) manufacturing

Description of Special Use (attach additional pages as needed):
Sonseeker pools seeks to lease the property for contractor facility with outdoor storage.

The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval.

A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing device.

Site plans required for Special Use consideration **MUST** be submitted with this form. Applications submitted without the required site plans shall not be accepted. **The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.**

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

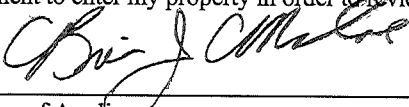
Property Owner's Certification

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

- ☐ Special Use – Earth-sheltered Building
- ☐ Special Use – Mineral Extraction
- ☐ Special Use – Wireless Communications

I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.



Signature of Applicant

Date

Christine Gethin

Signature of Owner

Date

Section 15.3 - General Standards of Approval.

A. Standards of Approval. The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:

1. The use will be harmonious and appropriate with the existing or intended character and land uses in the general vicinity.
2. The use will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools..
3. The use will not involve operations, materials and equipment that will be detrimental, hazardous, or disturbing to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
4. The use will be consistent with the intent and purposes of this ordinance and the Holland Charter Township Comprehensive Plan.
5. The use will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
6. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
7. There is need for the proposed use within the township, and the use will not be detrimental to the community.

B. Approval. If the Planning Commission finds that the standards in general have been met, in addition to confirming compliance with all other zoning requirements, the permit shall be issued.

Sonseeker narrative for 4412 136th Ave

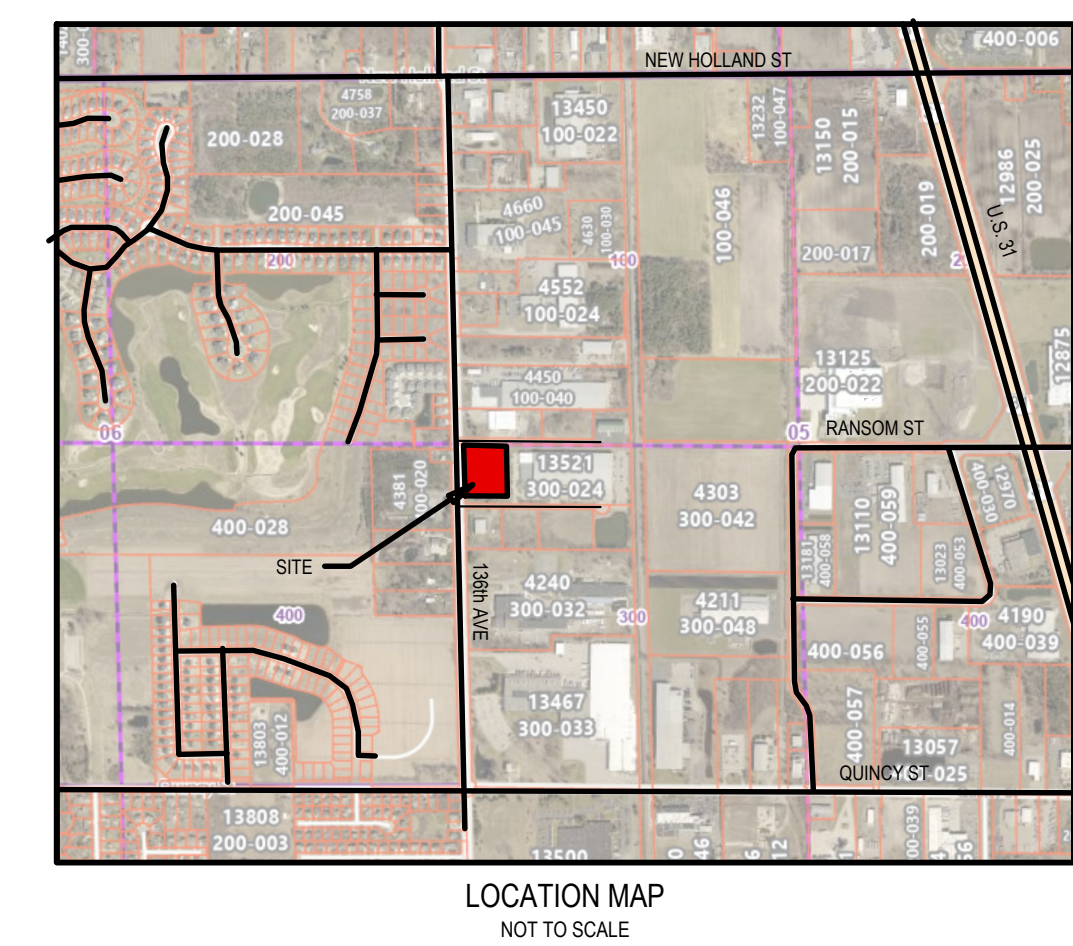
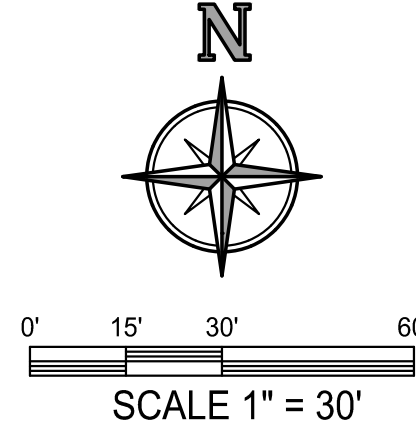
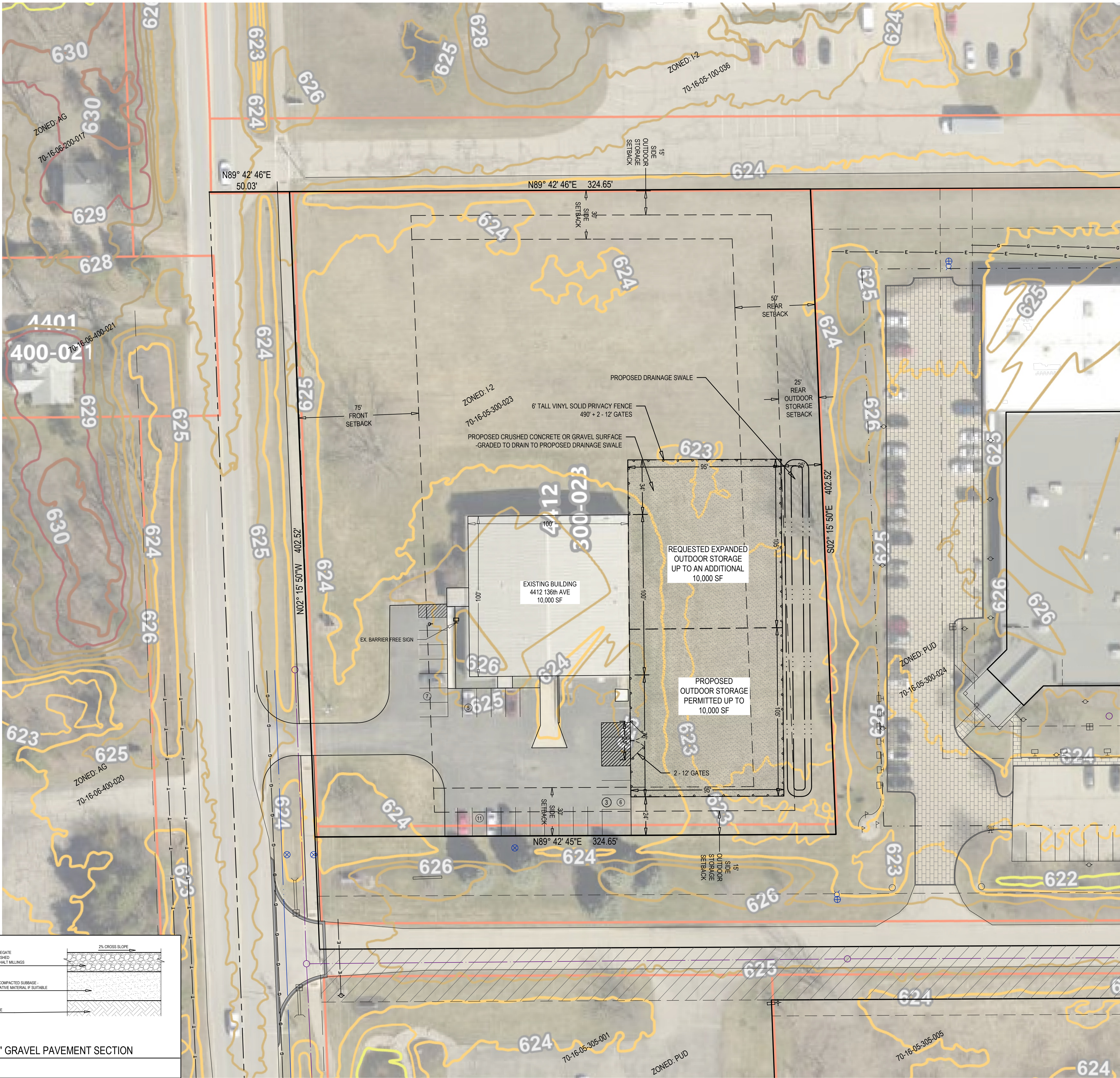
Contractor Facility Special Use

Sonseeker is pool masonry company who specializes in pool plaster, tiling, and remodeling. They are looking to relocate to the existing building at 4412 136th Avenue. The property is zoned I-2 and is surrounded by other industrial manufacturing facilities. The 10,000 sf building was previously used as manufacturing.

Sonseeker's use will fall under Contractor Facility, which is a Special Use in the I-2 zoning district. They will be storing products and supplies in the building with an office. They will need outdoor storage for equipment and materials. We have requested a variance from the ZBA to double the allowable outdoor storage.

General Standards of approval:

1. The Contractors Facility will be harmonious and appropriate with the existing character of the industrial and agricultural uses in the general vicinity.
2. The Contractors Facility will be served adequately by public services, facilities, and utilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools.
3. The Contractors Facility will not involve operations, materials and equipment that will be detrimental, hazardous, or disturbing to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
4. The Contractors Facility is consistent with the intent and purposes of this ordinance and the Holland Charter Township Comprehensive Plan.
5. The Contractors Facility will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
6. The Contractors Facility will not result in traffic congestion, nor will it have an adverse impact on roads, nor will it cause hazards.
7. The Contractors Facility is needed within the township and will not be detrimental to the community.



- ZONING: I-2
SETBACKS:
• FRONT: 75'
• SIDE: 30'
• REAR: 50'
- PARKING REQUIREMENTS:
• OFFICE: 1 SPACE PER 300SF
• WAREHOUSE: 1 SPACE PER 2,000 SF

PROPOSED USE IN EXISTING BUILDING: CONTRACTORS FACILITY (SPECIAL USE)
EXISTING BUILDING: 10,000 SF
PARKING REQUIRED:
• OFFICE: 2,000 SF / 300 = 6.6 ≈ 7 SPACES
• WAREHOUSE: 8,000 SF / 2,000 = 4 SPACES
• TOTAL REQUIRED: 11 SPACES
PARKING PROVIDED: 26 SPACES INCLUDING 1 BARRIER FREE SPACE

PROPOSED OUTDOOR STORAGE RELATED TO PRINCIPAL USE (PERMITTED):

SETBACKS:
• FRONT: 75'
• SIDE: 15'
• REAR: 25'

SCREENING: SHALL BE ENCLOSED AND SCREENED BY BUILDINGS, 6' SOLID FENCE, OR COMPARABLE EVERGREEN VEGETATIVE SCREEN, BERM, OR COMBINATION.
STORAGE AREA SURFACE: SHALL BE PAVED WITH ASPHALT OR CONCRETE*
*ALTERNATIVE MATERIALS: SUBJECT TO APPROVAL BY THE ZONING ADMINISTRATOR, MAY BE A PERVIOUS SURFACE OF EQUAL DURABILITY. GRAVEL, CRUSHED ROCK, AND OTHER ALTERNATIVE SURFACES MAY ALSO BE PERMITTED IF THEY MEET THE FOLLOWING:
• PROPERLY DRAINED
• DURABLE STATE THAT MINIMIZES DUST
• MAINTAIN CHARACTER AND QUALITY OF NEARBY DEVELOPMENT
• MAINTAINED FREE OF WEEDS AND VEGETATION AT ALL TIMES.

MAXIMUM AREA: AREA SHALL NOT EXCEED THE AREA OF PRINCIPAL BUILDING.

OUTDOOR SOTRAGE WILL BE SCREENED BY EXISTING BUILDING AND PROPOSED 6' SOLID VINYL PRIVACY FENCE.
REQUESTING VARIANCE FROM ZBA TO DOUBLE THE OUTDOOR STORAGE AREA TO 20,000 SF.
REQUESTING USE OF ALTERNATIVE MATERIAL, CRUSHED CONCRETE OR GRAVEL, FOR THE OUTDOOR STORAGE SURFACE.



TRI-MAX II VINYL PRIVACY FENCE

LEGAL DESCRIPTION FOR PARCEL 70-16-05-300-023:
PART OF SW 1/4 OF SECTION 5, T5N, R15W, COMMENCING NORTH 89° 42' 46" EAST 50.03 FEET FROM WEST 1/4 CORNER, THENCE NORTH 89° 42' 46" EAST 324.65 FEET, THENCE SOUTH 02° 15' 50" EAST 402.52 FEET, THENCE SOUTH 89° 42' 46" WEST 324.65 FEET, THENCE NORTH 02° 15' 50" WEST 402.52 FEET TO THE POINT OF BEGINNING.

LAYOUT & UTILITY NOTES:
1. THE INFORMATION CONTAINED ON THIS SHEET IS BASED ON A 2006 SURVEY BY HEI AND AN AERIAL PHOTO FROM OTTAWA COUNTY GIS. THE INFORMATION CONTAINED HERE ON IS NOT INTENDED FOR CONSTRUCTION AND ONLY PROVIDED ENOUGH INFORMATION FOR THE LAYOUT OF THE PROPOSED IMPROVEMENTS. ADDITIONAL GRADING AND DETAILS WILL BE NEEDED FOR CONSTRUCTION.
2. ONSITE LIGHTING SHALL DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AS REQUIRED PER THE HOLLAND CHARTER TOWNSHIP ZONING ORDINANCE.

The Surveyor's / Engineer's liability for any errors or omissions in this document shall be limited to those arising out of the Surveyor's / Engineer's negligence, gross misconduct, or willful misrepresentation. The Surveyor's / Engineer's liability shall not be limited to the amount of the service fee.

SONSEEKER POOLS

ATTN: MR. BRIAN MALONE
2413 EAGLE DR
HOLLAND, MICHIGAN 49424

SONSEEKER POOLS

4412 136th AVE
HOLLAND, MI 49424
PT. OF THE SW 1/4 SEC. 5 T5N, R15W
HOLLAND TWP, OTTAWA CO, MICHIGAN

Issued for:	No.	Date	Description	A	B	C
		10/21/2025	ZBA VARIANCE SUBMITTAL			
		10/23/2025	OWNER CHANGE			
		11/04/2025	SPECIAL USE SUBMITTAL			

Project Manager BRUCE ZEINSTR, LLA	
Vertical Datum	Horz. Datum
Drawn by BRUCE ZEINSTR, LLA	
Checked by	Date
Survey	
Civil	
Struc.	
L. A.	
HEI Project Number 25-10-023	
Sheet Title SITE LAYOUT PLAN	
Sheet No. C-100	