

## APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · Fax: 616.396.2537

### Applicant Information

Contact Name Mark "Chip" McComb  
Address 2065 112th Avenue  
Holland, MI. 49424

Company CC Equities LLC  
Phone 616-566-7209  
Fax / Email chip@autoexchangeofholland.cor

### Owner Information

Contact Name Mark "Chip" McComb  
Address 2065 112th Avenue  
Holland, MI. 49424

Company CC Equities LLC  
Phone 616-566-7209  
Fax / Email chip@autoexchangeofholland.cor

### Plan Preparer Information

Contact Name John Tenpas, P.E.  
Address 12330 James St., Suite H80  
Holland, MI 49424

Company Driesenga & Associates  
Phone 616-396-0255  
Fax / Email john@tdriesenga.com

### Property Information

Address or Location 2065 112th Avenue, Holland Township  
Parcel Number 70 - 16 - 22 - 200 - 055 Zoning District C-2, Commercial  
Present Use(s) Auto Sales

Description of Special Use (attach additional pages as needed): Expanding display area and storage parking for existing auto sales use.

The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval.

A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing device.

Site plans required for Special Use consideration **MUST** be submitted with this form. Applications submitted without the required site plans shall not be accepted. **The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.**

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

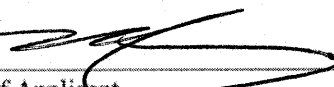
**Property Owner's Certification**

I, the undersigned owner of the above-described property, certify that I understand conditions and restrictions may be placed upon this special use approval as deemed necessary by the Holland Charter Township Planning Commission and hereby agree to conform to and abide by any and all such conditions and restrictions.

I, acknowledge there are Specific Special Land Use Approval Standards in addition to those outlined in Section 15.3 (below) that apply to the following uses and by selecting a use below further acknowledge they have reviewed the associated standards and have addressed each of them in this submittal:

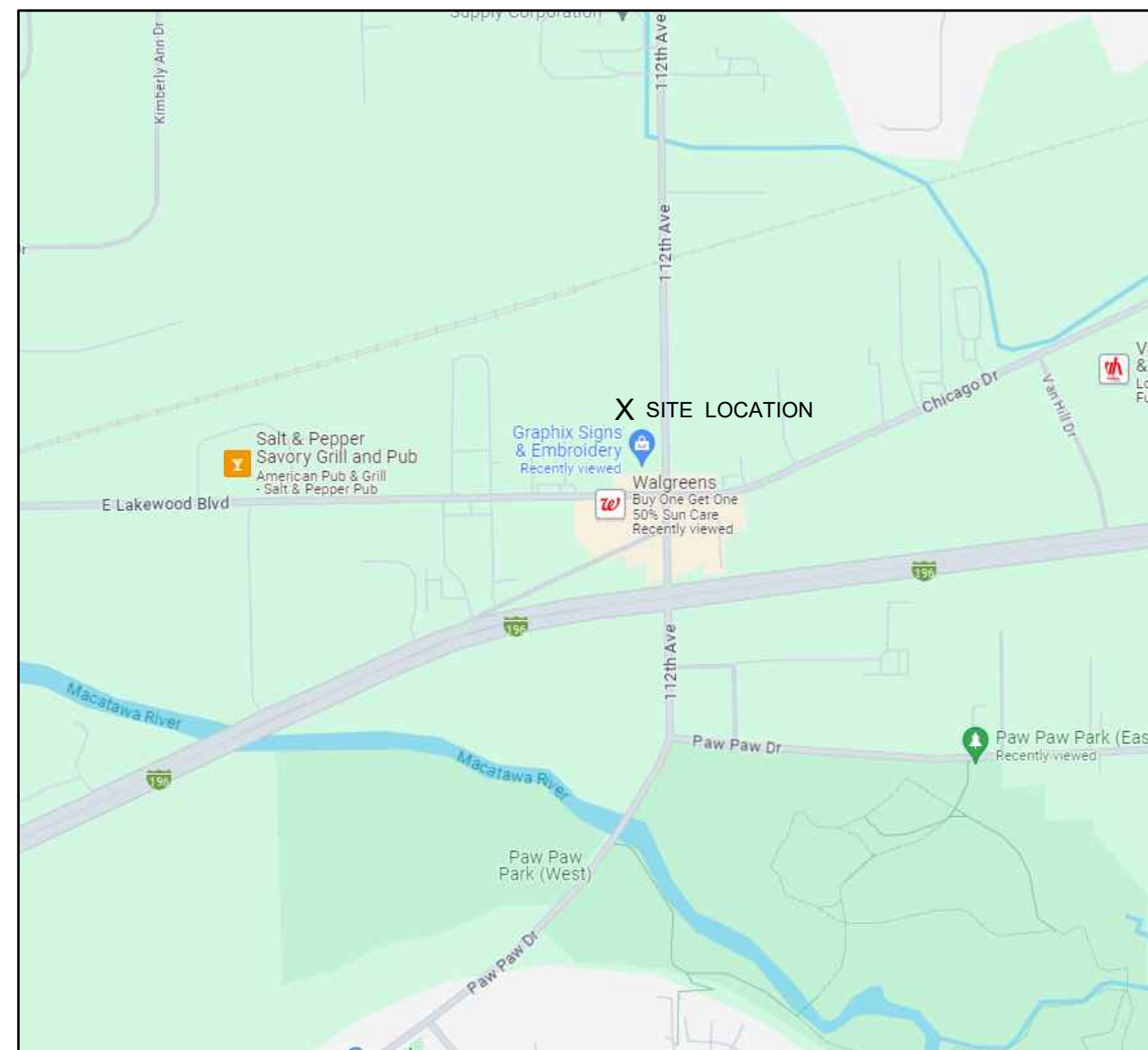
- Special Use – Earth-sheltered Building
- Special Use – Mineral Extraction
- Special Use – Wireless Communications

I further agree to authorize members of the Planning Commission and representatives from the Holland Charter Township Building Department to enter my property in order to review the particulars of my request.

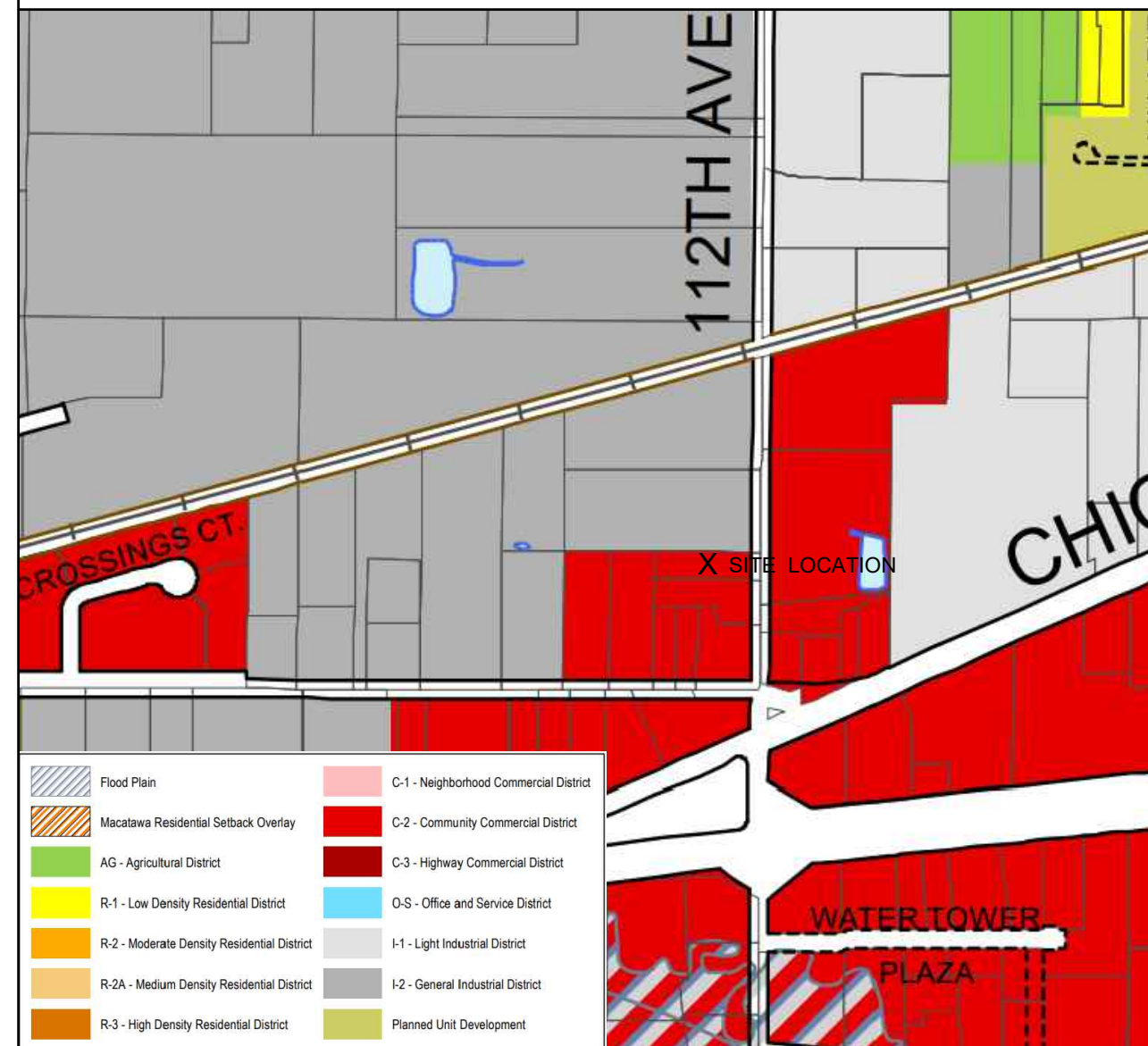
 1/8/25  
Signature of Applicant                      Date                      Signature of Owner                      1/8/25  
Date

*Section 15.3 - General Standards of Approval.* The Planning Commission shall review the particular circumstances and facts applicable to each proposed special land use with respect to the following standards:

1. The use is designed and constructed, and will be operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity; will be compatible with adjacent uses of land; and will not change the essential character of the area in which it is proposed.
2. The use is, or as a result of the special land use approval, will be served adequately by public services and facilities, including, but not limited to, streets, police and fire protection, drainage structures, refuse disposal, water and sewer facilities, and schools.
3. The use will not involve activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare due to traffic, noise, smoke, fumes, glare, vibration, or odors.
4. The special land use will be consistent with the intent and purposes of this ordinance and the most recent updates to the Holland Charter Township Comprehensive Plan.
5. It will not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole.
6. It will not create excessive additional requirements at public cost for infrastructure and will not be detrimental to the economic welfare of the community.
7. It will ensure that the environment shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal and topographic modifications, which result in maximum harmony with adjacent areas.
8. It shall conform with all specific requirements applicable to the proposed use, as applicable.
9. The use will not result in traffic congestion, nor have an adverse impact on roads, nor cause hazards.
10. There is need for the proposed use within the township.



LOCATION MAP - NO SCALE



ZONING MAP - NO SCALE



AERIAL - NO SCALE

File Name: C:\Users\jason.abney\OneDrive\Documents\Projects\2024\2410770.1A\Map\2410770.1A - SITE.dwg    Last Saved: 1/7/2025 1:52:51 PM



Know what's below.  
Call before you dig.

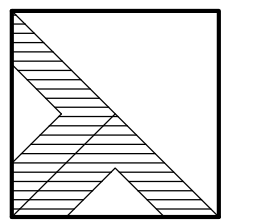
# CC EQUITIES C/O AUTO EXCHANGE OF HOLLAND, LLC AUTO EXCHANGE OF HOLLAND

2065 112TH AVENUE  
SECTION 22, T05N, R15W  
HOLLAND, MICHIGAN 49424

## SHEET INDEX

G-001	TITLE SHEET
V-101	EXISTING TOPOGRAPHIC PLAN
CD-101	CIVIL DEMOLITION PLAN
C-101	SITE PLAN
C-102	STORM SEWER, GRADING AND SOIL EROSION CONTROL PLAN
C-501	DETAILS
L-100	LANDSCAPING PLAN
EX-1	WATERSHED EXHIBIT

<b>SITE ADDRESS</b>
AUTO EXCHANGE OF HOLLAND 2065 112TH AVENUE HOLLAND, MI 49424
<b>OWNER</b>
CC EQUITIES C/O AUTO EXCHANGE OF HOLLAND, LLC 2065 112TH AVENUE HOLLAND, MI 49424 (616) 566-7209 MARK McCOMB chip@autoexchangeofholland.com
<b>CIVIL ENGINEER</b>
DRIESENKA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE H80 HOLLAND, MICHIGAN 49424 (616) 396-0255 JOHN TENPAS, P.E. johnt@driesenga.com



**DRIESENKA & ASSOCIATES, INC.**

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Grand Rapids, MI  
616-249-3800  
Kalamazoo, MI  
269-544-1455  
Lansing, MI  
517-889-6210  
Ypsilanti, MI  
734-368-9483

**AUTO EXCHANGE OF HOLLAND**  
 2065 112TH AVENUE  
 SECTION 22, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
 -FOR-  
**CC EQUITIES C/O AUTO EXCHANGE OF HOLLAND, LLC**  
 2065 112TH AVENUE, HOLLAND, MI 49424

**ISSUED FOR:**

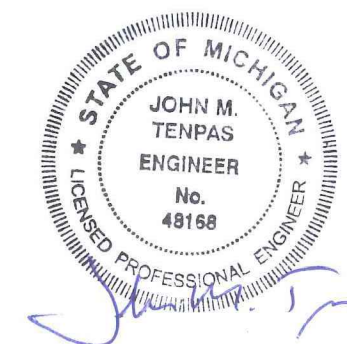
1	OWNER REVIEW	12-22-2024	D: AA C: TLH
2	TOWNSHIP REVIEW	01-07-2024	D: AA C: TLH

Project Manager:  
**JOHN TENPAS**  
Project #  
2410770.1A  
Sheet Title:

**TITLE SHEET**

Sheet #

**G-001**  
1 of 7



**ISSUED FOR  
APPROVAL**

# TOPOGRAPHIC / BOUNDARY SURVEY

## SCHEDULE "A" LEGAL DESCRIPTION FROM: TRANSNATION TITLE AGENCY OF MICHIGAN LAKESHORE DIVISION FILE NO.: 447258LKS (EFFECTIVE DATE: OCTOBER 10, 2024)

PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE EAST LINE OF SECTION 22, DISTANT NORTH 00 DEGREES 15 MINUTES 22 SECONDS EAST 398.85 FEET FROM THE EAST 1/4 CORNER OF SECTION 22 AND PROCEEDING THENCE SOUTH 89 DEGREES 58 MINUTES 14 SECONDS WEST 383.00 FEET PARALLEL WITH THE EAST AND WEST 1/4 LINE OF SECTION 22, THENCE NORTH 00 DEGREES 15 MINUTES 02 SECONDS EAST 101.15 FEET, THENCE NORTH 89 DEGREES 58 MINUTES 14 SECONDS EAST 383.00 FEET, THENCE ALONG THE EAST LINE OF SECTION 22, "SOUTH 00 DEGREES 15 MINUTES 02 SECONDS EAST 101.15 FEET TO THE POINT OF BEGINNING.

\*POSSIBLE TYPOGRAPHICAL ERROR: SOUTH 00 DEGREES 15 MINUTES 02 SECONDS EAST SHOULD BE SOUTH 00 DEGREES 15 MINUTES 02 SECONDS WEST, FURTHER RESEARCH RECOMMENDED.

## SCHEDULE B-II MATTERS CONCERNING THE PROPERTY FROM: TRANSNATION TITLE AGENCY OF MICHIGAN LAKESHORE DIVISION FILE NO.: 447258LKS (EFFECTIVE DATE: OCTOBER 10, 2024)

RIGHT(S) OF WAY AND/OR EASEMENT(S) AND THE RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY) LIBER: 270, PAGE: 215. (BLANKET EASEMENT OVER ENTIRE PARCEL, ROUTE SHOWN ON DRAWING)

### SURVEY CONTROL

GROUND COORDINATES AS DERIVED FROM THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FEET. SURVEY DATA AND CONTROL HAVE BEEN PROJECTED TO THE GROUND AT EAST 1/4 COR (GRID TO GROUND SCALE FACTOR: 1:1.0001157176)

POINT NUMBER	NORTHING (GROUND)	EASTING (GROUND)	ELEVATION (NAVD 88)
51	480522.9573	12669092.3183	605.19'
53	480559.2613	12669465.4939	606.72'
54	480545.2355	12669165.6066	605.27'
55	480694.2433	12669273.9281	611.46'

### STORM STRUCTURE DATA

CB #1 - 2"Ø CONCRETE RIM 606.70  
INV (S) 6" PVC=605.50  
SUMP=605.50

CB #2 - 2"Ø CONCRETE RIM 606.40  
INV (NW) 6" PVC=604.83  
INV (N) 15" PVC=604.80  
SUMP=604.42

CB #3 - 4"Ø CONCRETE RIM 605.57  
INV (W) 6" PVC=603.02  
INV (N) 15" CPE=602.47  
INV (E) 12" RCP=602.17  
SUMP=600.22

MH #4  
RIM 606.37  
UNABLE TO OPEN

CB #5 - 1"Ø CLAY RIM 606.58  
INV (S) 3" PVC=605.73  
SUMP=605.38

### SANITARY STRUCTURE DATA

MH-A - 4"Ø CONCRETE RIM 612.77  
INV (N) 15" PVC=590.82  
INV (S) 15" PVC=590.80

MH-B - 4"Ø CONCRETE RIM 612.77  
INV (N) 15" PVC=591.37  
INV (S) 15" PVC=591.32

### SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 261300316E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 16, 2011. ZONE "X" AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE FIELD WORK WAS COMPLETED ON OCTOBER 18, 2024.

### BENCHMARK DATA

NAVD '88 AS DERIVED FROM PREVIOUS DRIESENGA & ASSOCIATES PROJECT NO. 2410360.5A DATED 05/28/2024.

BM #1 EL= 605.99' (NAVD 88)  
SET COTTON SPINDLE IN NORTH SIDE OF UTILITY POLE, LOCATED 25'± WEST OF THE CENTERLINE OF 112TH AVENUE AND 15'± NORTH OF THE CENTERLINE OF THE NORTH DRIVEWAY ENTRANCE TO GRAPHIX.

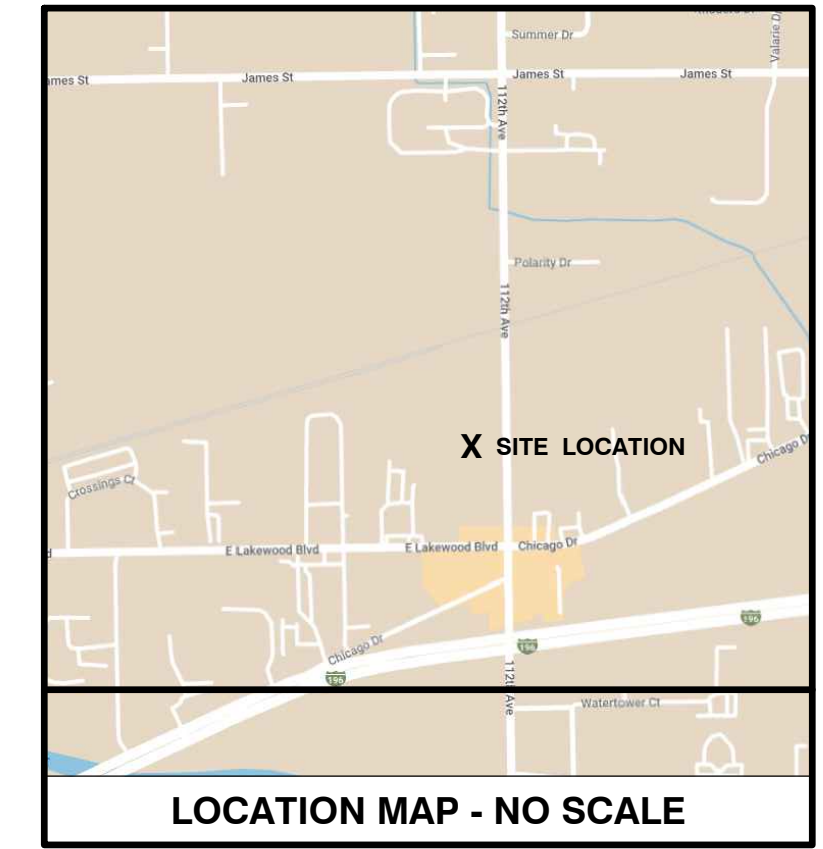
BM #2 EL= 607.66' (NAVD 88)  
SET "X" ON THE UPPER NORTH SIDE OF CONCRETE LIGHT POLE BASE, LOCATED 195'± WEST OF THE CENTERLINE OF 112TH AVENUE AND 1'± SOUTH OF THE SOUTH EDGE OF ASPHALT DRIVE FOR AUTOMOTIVE EXCHANGE.

BM #3 EL= 609.25' (NAVD 88)  
SET COTTON SPINDLE IN THE WEST SIDE OF UTILITY POLE, LOCATED 35'± WEST OF THE CENTERLINE OF 112TH AVENUE AND 35'± NORTH OF THE CENTERLINE OF AUTOMOTIVE EXCHANGE DRIVE ENTRANCE.

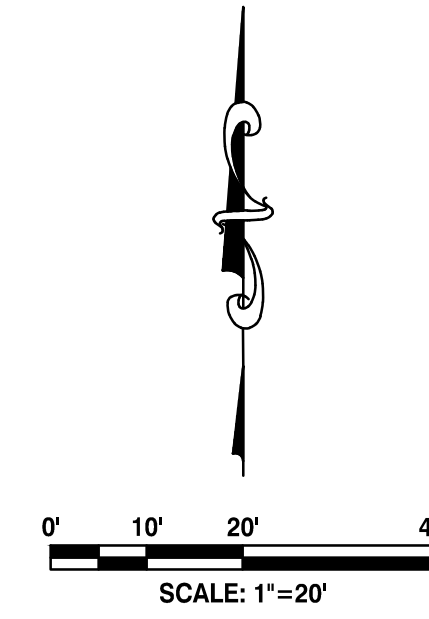
### MISS DIG INFORMATION

MISS DIG SURVEY TICKET # 2024100904128-000  
(INCLUDES INFORMATION RECEIVED THROUGH 10/22/2024)

- COMCAST - 10/14/2024 (MAPS PROVIDED)
- SEMCO ENERGY - 10/16/2024 (MAPS PROVIDED)
- CONSUMERS ENERGY UNDER GROUND ELECTRIC - 10/14/2024 (RESPONSE RECEIVED - CLEAR)
- ACD.NET - 10/10/2024 (MAPS PROVIDED)
- HOLLAND BPW - 10/14/2024 (MAPS PROVIDED)
- HOLLAND CHARTER TOWNSHIP - 10/10/2024 (MAPS PROVIDED)
- EVERSTREAM - 10/14/2024 (RESPONSE RECEIVED - CLEAR)

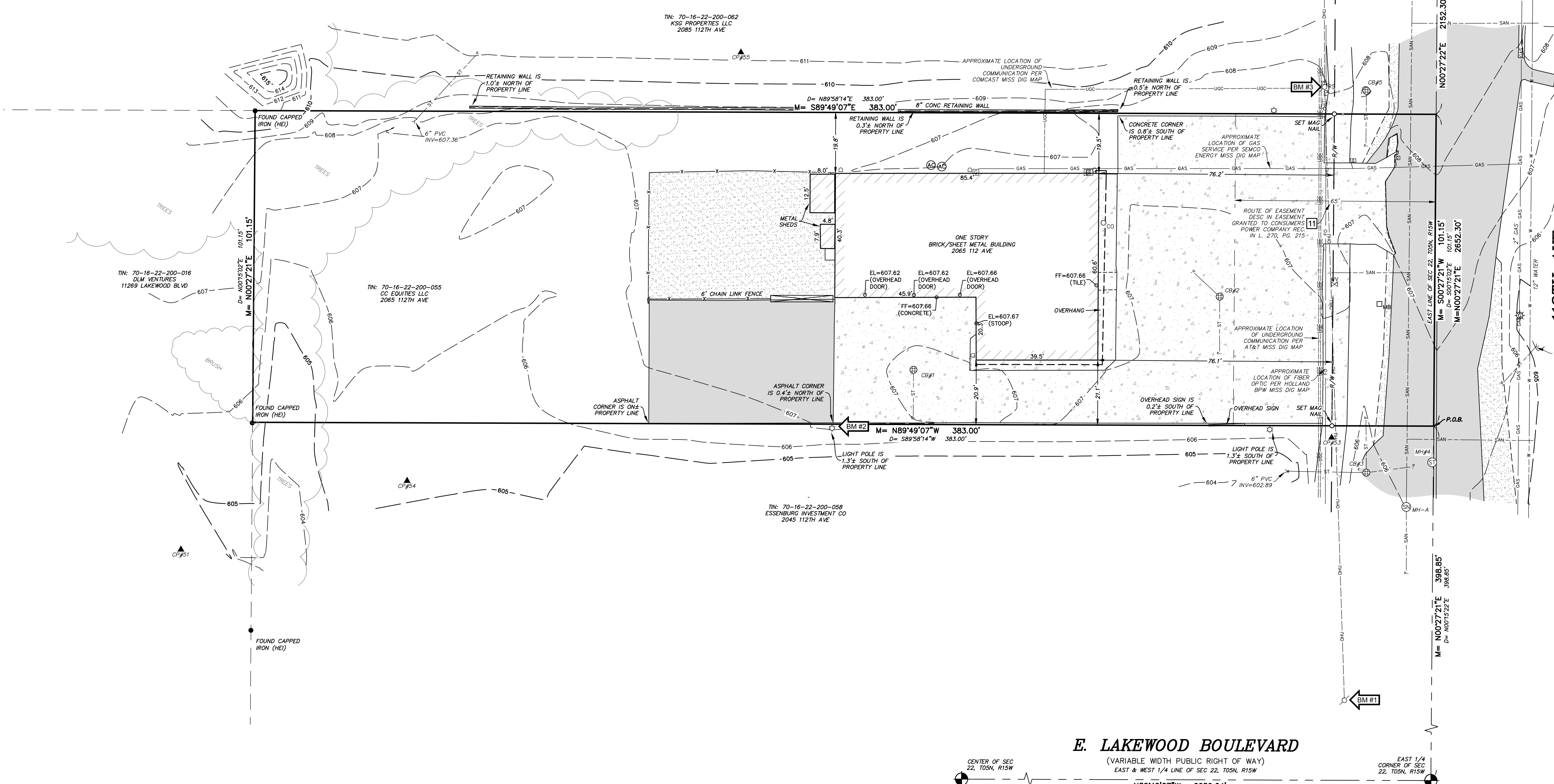


LOCATION MAP - NO SCALE



### LEGEND

- BENCHMARK
- SET CONCRETE MONUMENT
- MONUMENT FOUND
- SET CAPPED REBAR #26985
- FOUND IRON
- SET CHISELED "X"
- FOUND CHISELED "X"
- CONTROL POINT
- PLATTED
- DESCRIBED
- MEASURED
- RECORD
- STORM SEWER MANHOLE
- CATCH BASIN
- ROOF DRAIN
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- GROUND MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- UNDERGROUND COMMUNICATIONS LINE MARKER
- UNDERGROUND ELECTRIC LINE MARKER
- UNDERGROUND GAS LINE MARKER
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH

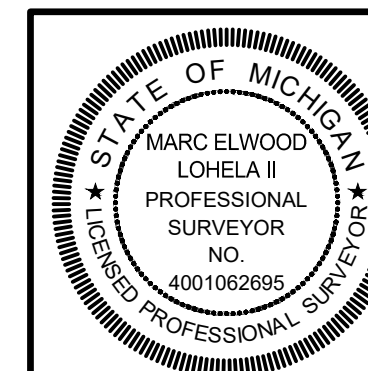


### E. LAKEWOOD BOULEVARD

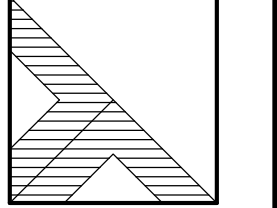
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)  
EAST & WEST 1/4 LINE OF SEC 22, T05N, R15W

N89°49'07"W 2659.04'

Tax Parcel No.: 70-16-22-200-055



Marc Elwood Lohela II  
P.S. No. 4001062695  
TOPOGRAPHIC SURVEY DATA IS REFERENCED TO SECTION LINES AND/OR RIGHT-OF-WAYS FOR GRAPHICAL PURPOSES ONLY. IT DOES NOT REPRESENT A PROPERTY LINE SURVEY, NO CORNERS WERE SET, AND IT SHALL NOT BE RELIED UPON FOR THE ESTABLISHMENT OF ANY PROPERTY LINES, THE LOCATION OF FENCES, WALLS, OR OTHER INDICATIONS OF OCCUPANCY ALONG OR NEAR BOUNDARY LINES IS APPROXIMATE ONLY.



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**AUTO EXCHANGE OF HOLLAND**  
2065 112TH AVENUE  
SECTION 22, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
-FOR-  
**CC EQUITIES C/O AUTO EXCHANGE OF HOLLAND, LLC**  
2065 112TH AVE HOLLAND, MI 49424

### REVISIONS

NO.	DATE	DESCRIPTION
1		

Drawn By: MJD

Scale: 1"=20'

Date: 10-23-2024

Project #: 2410770.5A

Sheet Title:

**TOPOGRAPHIC / BOUNDARY SURVEY**

Sheet #

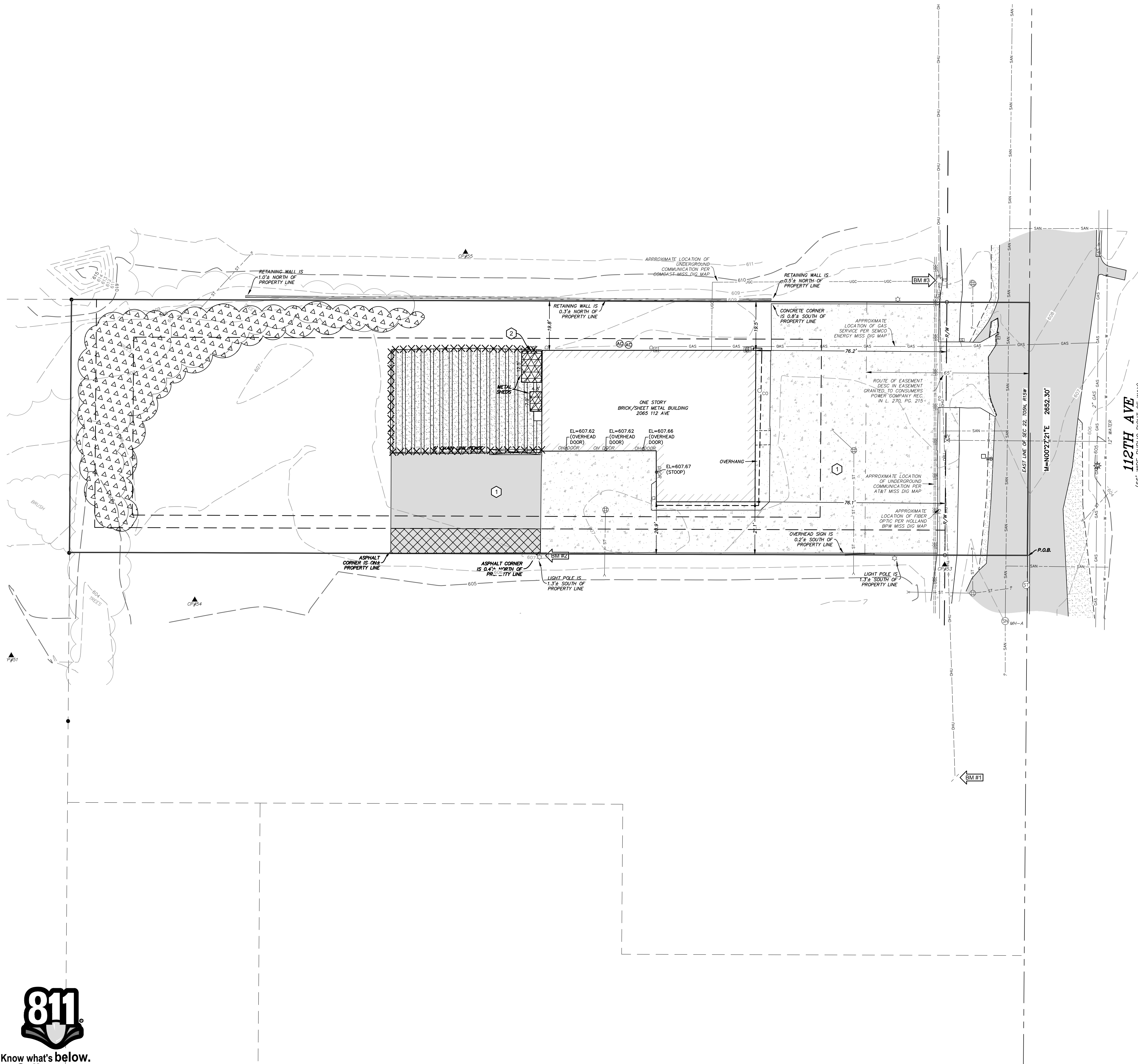
**V-101**  
1 of 1



Know what's below.  
Call before you dig.



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**CLEARING & DEMOLITION NOTES:**

- REMOVE ALL STRUCTURES, SUPPORT COLUMNS, ASPHALT PAVING, CONCRETE CURB, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE INDICATED AND DISPOSED OF IN A MANNER ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- MOVEMENT OF CLEARED WOOD IS RESTRICTED; REFER TO EMERALD ASH BORER QUARANTINE INFORMATION AT WWW.MICHIGAN.GOV. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL QUARANTINE REQUIREMENTS.
- CONSTRUCTION FENCE SHALL BE PLACED AT THE DRIP LINE OF ALL TREES WITHIN THE PROJECT AREA THAT ARE INDICATED TO BE PROTECTED. DO NOT OPERATE EQUIPMENT OR STORE MATERIALS OR VEHICLES WITHIN THIS AREA.
- UNLESS INDICATED TO BE ABANDONED IN PLACE, ALL UTILITIES TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY. UTILITIES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL AND SECURELY CAPPED.
- EXCEPT FOR THOSE UTILITIES INDICATED TO BE ABANDONED OR REMOVED, RECONNECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- ALL CATCHBASIN AND MANHOLE FRAMES AND COVERS SPECIFIED TO BE REMOVED SHALL BE SALVAGED, CLEANED AND INSPECTED, AND MAY BE REUSED WITH APPROVAL BY ENGINEER.
- ANY REMOVAL OF PAVEMENT, SIDEWALK, CURB AND GUTTER OR OTHER HARD SURFACES SHALL BE TO A SAWCUT LINE AT THE NEXT JOINT BEYOND REMOVAL LIMITS SHOWN.
- DEMOLITION WORK IS INDICATED BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH THE EXTENT OF DEMOLITION WORK REQUIRED.

**DEMOLITION KEY:**

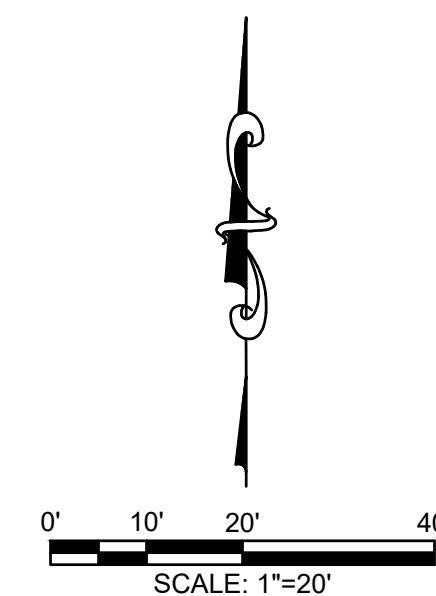
- 1 PROTECT EX. PAVEMENT TO REMAIN
- 2 SALVAGE AND RELOCATE EXISTING SHED(S) COORD W/ OWNER

**REMOVAL LEGEND:**

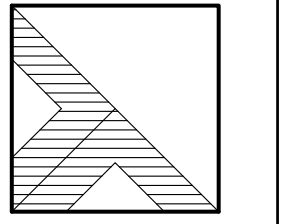
- CONCRETE REMOVAL
- ASPHALT REMOVAL
- BUILDING REMOVAL
- GRAVEL REMOVAL
- TREE CLEARING
- TREE/SHRUB REMOVAL
- FENCE/WALL/UTILITY/MISC. REMOVAL

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
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**ISSUED FOR APPROVAL**



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**ISSUED FOR:**

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12-22-2024 D: AA C: TLH
- 2 TOWNSHIP REVIEW  
01-07-2024 D: AA C: TLH

Project Manager:  
**JOHN TENPAS**

Project #  
2410770.1A

Sheet Title:

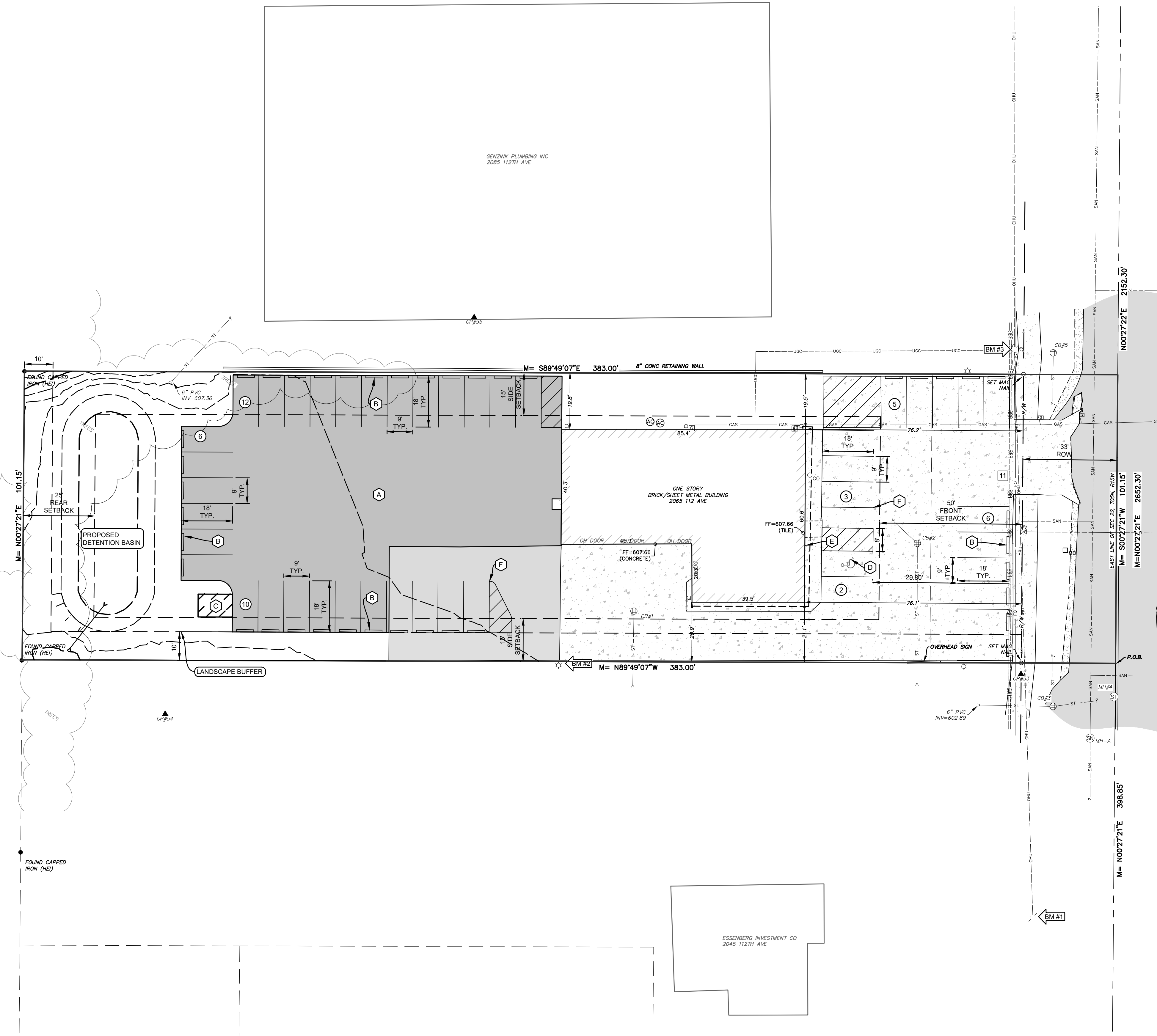
**CIVIL  
DEMOLITION  
PLAN**

Sheet #

**CD-101**  
3 of 7



Know what's below.  
Call before you dig.



**PROJECT SUMMARY**

- PARCEL INFORMATION**  
CURRENT ZONING: C-2 COMMUNITY COMMERCIAL DISTRICT  
SITE ADDRESS: 2065 112TH AVE  
PARCEL NUMBER: 70-16-22-200-055
- BUILDING**  
REQUIRED PROVIDED  
MIN. LAND AREA: 0.35 AC 0.88 AC  
MIN. LOT WIDTH: 90 FT 100 FT
- SETBACKS**  
REQUIRED PROVIDED  
FRONT (MIN.): 50 FT 76 FT  
SIDE (MIN.): 15 FT 19.5 FT  
REAR (MIN.): 25 FT >100FT
- REGULATORY APPROVALS**  
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)  
• HOLLAND CHARTER TOWNSHIP SITE PLAN  
• HOLLAND CHARTER TOWNSHIP FIRE DEPARTMENT  
• OTTAWA COUNTY STORM WATER MANAGEMENT  
• OTTAWA COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT  
• OTTAWA COUNTY ROAD COMMISSION ROW/DRIVEWAY
- IMPACT ON PUBLIC SERVICES**  
PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS.
- IMPACT TO SURROUNDING PROPERTIES**  
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.
- PARKING**  
REQUIRED PROVIDED  
DIMENSIONS: 9'X18' 9'X18'  
SPACES REQUIRED (OFFICE/SERVICE): 4241 SFT/300 14  
SPACES REQ'D (EXT. SALES): (6090+1730)SFT/2000 16  
TOTAL SPACES = 18 44
- SIGNAGE**  
EXISTING SIGNAGE TO REMAIN NO NEW SIGNAGE TO BE IMPLEMENTED.
- STORM WATER MANAGEMENT**  
STORM WATER WILL BE SHEET DRAINED AND/OR COLLECTED AND ROUTED TO A PROPOSED DETENTION BASIN ON-SITE. THE DETENTION BASIN WILL DISCHARGE TO THE PUBLIC STORM SEWER SYSTEM VIA A CONTROLLED DISCHARGE PER OTTAWA COUNTY DRAIN COMMISSIONER REQUIREMENTS.
- WATER/SEWER SERVICE**  
WILL BE SERVED BY EXISTING CONNECTIONS.
- WETLANDS**  
THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS**  
THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 25139C0316E.
- LANDSCAPING**  
SEE LANDSCAPING PLAN
- SITE LIGHTING**  
PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT POLES AND WALL PACKS AT LOCATIONS SHOWN. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- LOADING/UNLOADING OPERATIONS**  
LOADING/UNLOADING WILL OCCUR DURING BUSINESS HOURS AT THE REAR OF THE BUILDING.
- REFUSE MANAGEMENT**  
NO DUMPSTER ENCLOSURE IS PROPOSED. RESIDENTIAL STYLE CONTAINERS WILL BE USED.
- CONSTRUCTION SCHEDULE**  
CONSTRUCTION IS ANTICIPATED TO START IN APRIL, 2025 AND BE COMPLETED IN JULY, 2025.

**KEY NOTES:**

- (A) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)
- (B) CONCRETE WHEEL STOP, TYP (SEE DETAIL)
- (C) RELOCATED SHED
- (D) 4" BLUE PVMT. MARKING & SYMBOL PER ADA STANDARDS, TYP (SEE DETAIL)
- (E) BARRIER FREE SIGN, VAN ACCESSIBLE, WALL MOUNTED
- (F) PAVEMENT MARKINGS, 4", TYPICAL

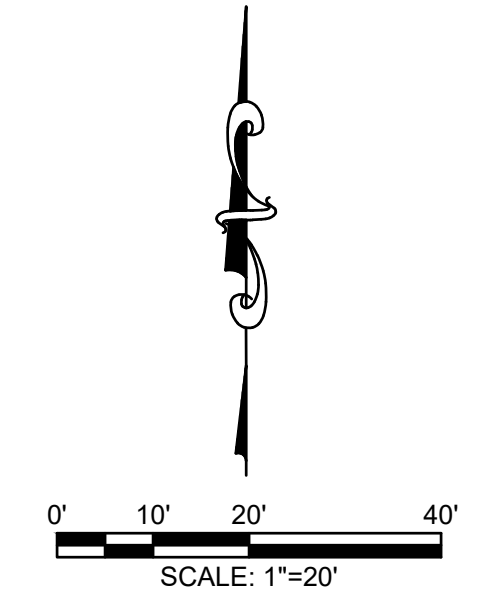
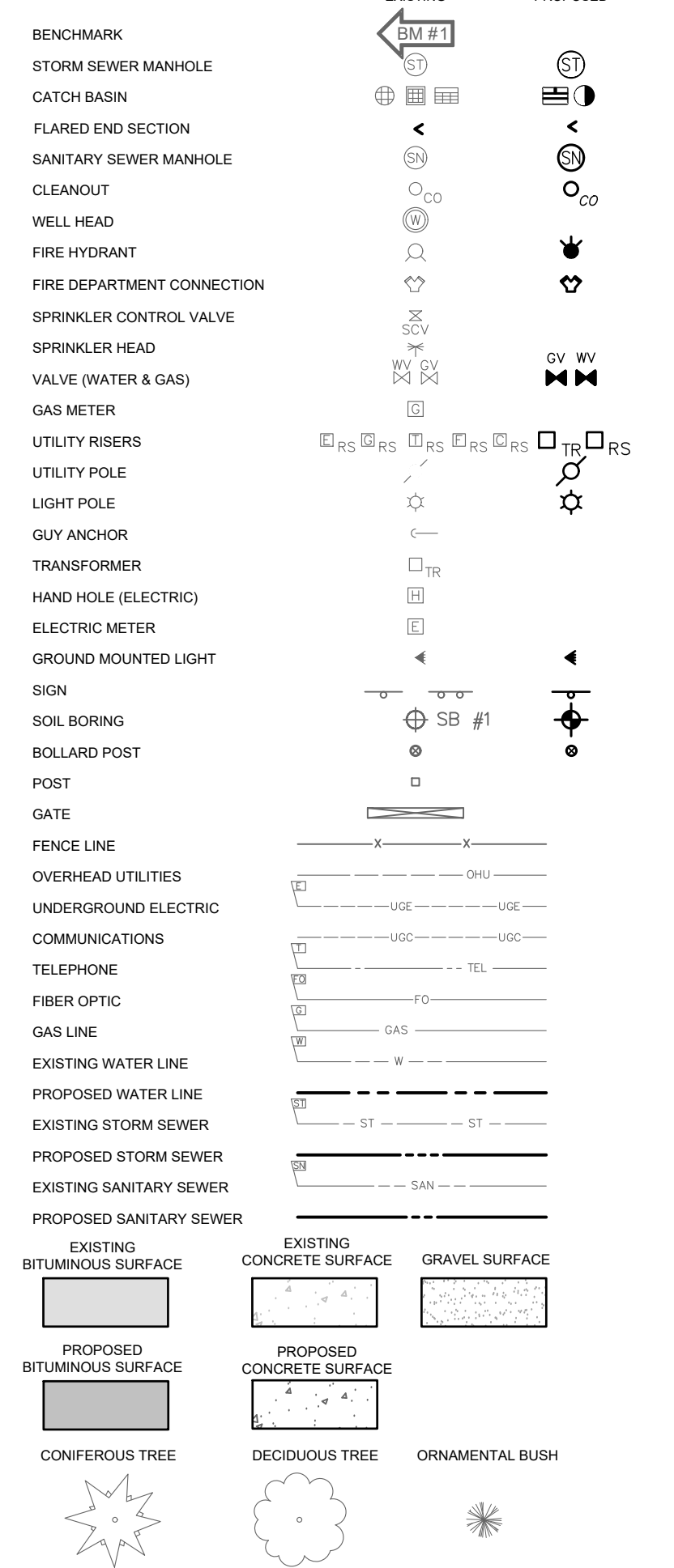
**GENERAL NOTES:**

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

**LAYOUT NOTES:**

- CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.

**LEGEND**



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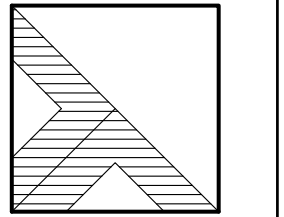
**AUTO EXCHANGE OF HOLLAND**  
2065 112TH AVENUE  
SECTION 22, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.  
-FOR-  
**CC EQUITIES C/O AUTO EXCHANGE OF HOLLAND, LLC**  
2065 112TH AVENUE, HOLLAND, MI 49424

**ISSUED FOR:**

1	OWNER REVIEW	12-22-2024	D: AA C: TLH
2	TOWNSHIP REVIEW	01-07-2024	D: AA C: TLH

Project Manager:  
**JOHN TENPAS**  
Project #  
2410770.1A  
Sheet Title:  
**SITE PLAN**

Sheet #  
**C-101**  
4 of 7



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01-07-2024 D: AA C: TLH

Project Manager:  
JOHN TENPAS  
Project #  
2410770.1A

Sheet Title:  
STORM SEWER,  
GRADING AND  
SOIL EROSION  
CONTROL PLAN

Sheet #

C-102  
5 of 7

SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
2. PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
3. CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
4. INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
5. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
6. DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
7. TEMPORARY SEEDING SHALL CONSIST OF OATS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL RYEGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
8. TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
9. CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
10. INSTALL INLET SEDIMENT TRAPS ("SILT SACK" OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
11. CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
12. PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES. ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT LADEN WATER.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
14. THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
15. ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.

CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

PAVING: REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

SEEDING: INSPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.

REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.

IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS, AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.

TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

SESC SITE SUMMARY:

- 1. NATIVE SITE SOIL IS CLASSIFIED AS SANDY LOAM PER USDA WEB SOIL SURVEY.
2. WETLANDS THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
3. FLOODPLAINS THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26139C0316E.
4. AREA OF DISTURBANCE: 0.437 ACRES

LEGEND

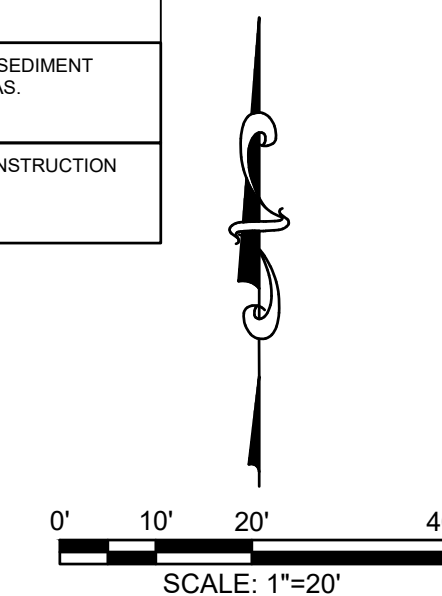
- xxx.xxx FINISH GRADE ELEVATION
Mg xxx.xxx MATCH EXISTING GRADE ELEVATION
TO xxx.xxx FINISH GRADE ELEVATION AT BACK OF CURB
PL xxx.xxx FINISH GRADE ELEVATION AT FLOW LINE
TW xxx.xxx FINISH GRADE ELEVATION AT TOP OF WALL
BW xxx.xxx FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
PROPOSED SWALE
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
627.00 MINIMUM OPENING ELEV. (M.O.E.)
623.60 MINIMUM BASEMENT ELEV. (M.B.E.)

LEGEND

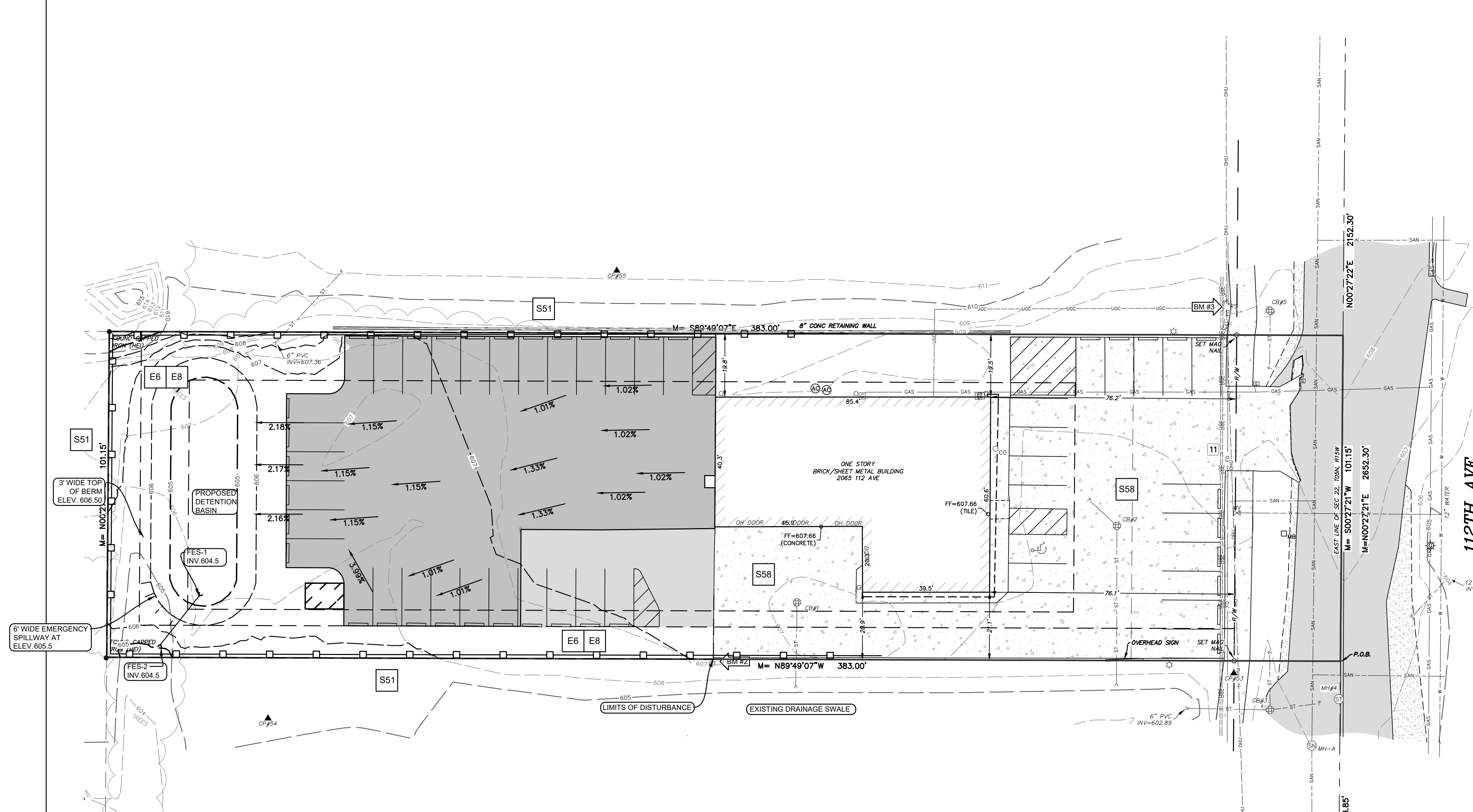
- BENCHMARK
STORM SEWER MANHOLE
CATCH BASIN
FLARED END SECTION
SANITARY SEWER MANHOLE
CLEANOUT
WELL HEAD
FIRE HYDRANT
FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE
SPRINKLER HEAD
VALVE (WATER & GAS)
GAS METER
UTILITY RISERS
UTILITY POLE
LIGHT POLE
GUY ANCHOR
TRANSFORMER
HAND HOLE (ELECTRIC)
ELECTRIC METER
GROUND MOUNTED LIGHT
SIGN
SOIL BORING
BOLLARD POST
POST
GATE
FENCE LINE
OVERHEAD UTILITIES
UNDERGROUND ELECTRIC COMMUNICATIONS
TELEPHONE
FIBER OPTIC
GAS LINE
EXISTING WATER LINE
PROPOSED WATER LINE
EXISTING STORM SEWER
PROPOSED STORM SEWER
EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
BITUMINOUS SURFACE
EXISTING CONCRETE SURFACE
GRAVEL SURFACE
PROPOSED BITUMINOUS SURFACE
PROPOSED CONCRETE SURFACE
CONIFEROUS TREE
DECIDUOUS TREE
ORNAMENTAL BUSH

OPERATION TIME SCHEDULE - 2025
CONSTRUCTION SEQUENCE
SITE CLEARING AND INSTALL CONTROLS
ROUGH GRADE SITE
INSTALL UTILITIES
BUILDING CONSTRUCTION
FINAL GRADING
PAVING
SEEDING & STABILIZATION

Table with 4 columns: Item (E6, E8, S51, S58), Description (MULCH, PERMANENT SEEDING, SILT FENCE, INLET PROTECTION FABRIC DROP), and Notes.



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GRADING NOTES:

- 1. ALL SURFACES SHALL BE GRADED TO PROVIDE SMOOTH CONTOURING AND POSITIVE SLOPE AWAY FROM BUILDINGS, WITH NO PONDING OF WATER.
2. IN ALL AREAS OF NEW CONSTRUCTION, GRADING, OR MATERIAL STOCKPILE AREAS, STRIP AND STOCKPILE EXISTING TOPSOIL PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
3. UNLESS OTHERWISE INDICATED, GRADES AND CONTOURS SHOWN REPRESENT FINISHED GRADE, AFTER PLACEMENT OF PAVEMENT, TOPSOIL, AND OTHER SURFACE IMPROVEMENTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES, AND CLEAN-OUTS TO MEET FINISHED GRADE.

RESTORATION NOTES:

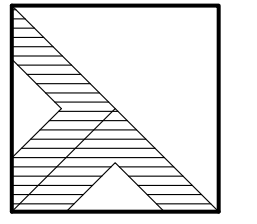
- 1. EXISTING ON-SITE TOPSOIL MAY BE USED IF APPROVED BY ENGINEER. IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL BE USED.
2. RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE JFWNEW STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT LEVEL.
3. DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
4. ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
5. ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.

UTILITY NOTES:

- 1. CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
2. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
3. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
4. ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
6. ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.



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2065 112TH AVENUE, HOLLAND, MI 49424

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12-22-2024 D: AA C: TLH  
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01-07-2024 D: AA C: TLH

Project Manager:

JOHN TENPAS

Project #

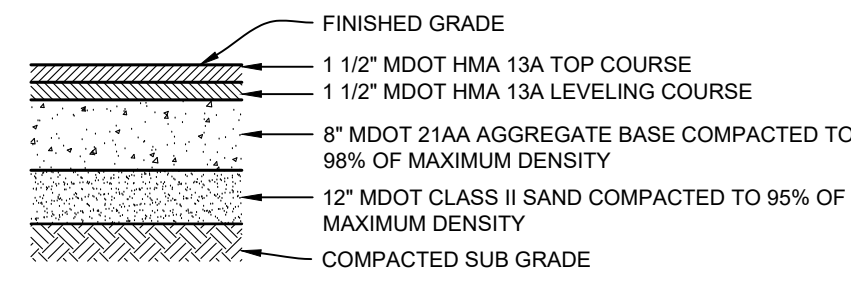
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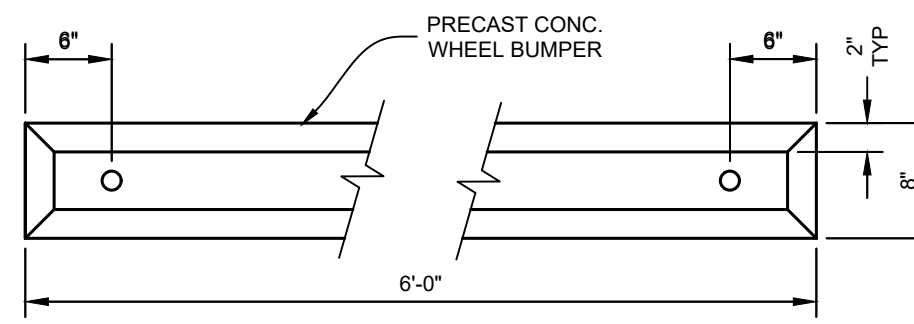
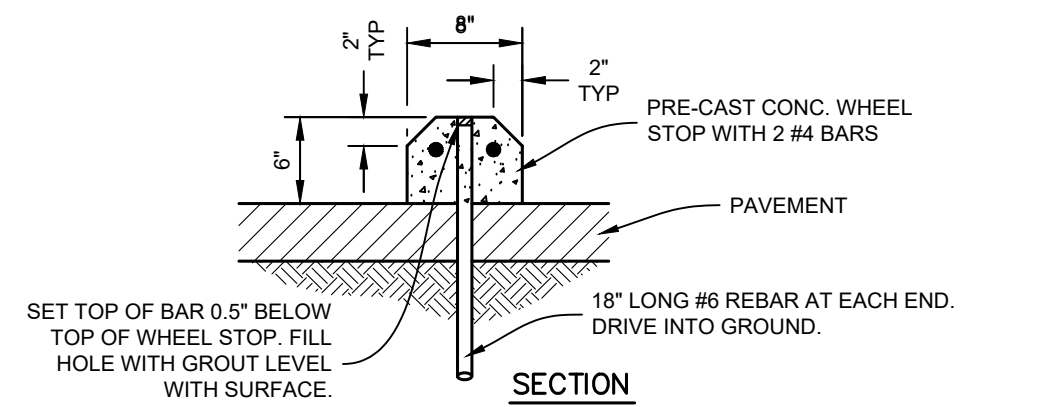
DETAILS

Sheet #

**C-501**  
6 of 7

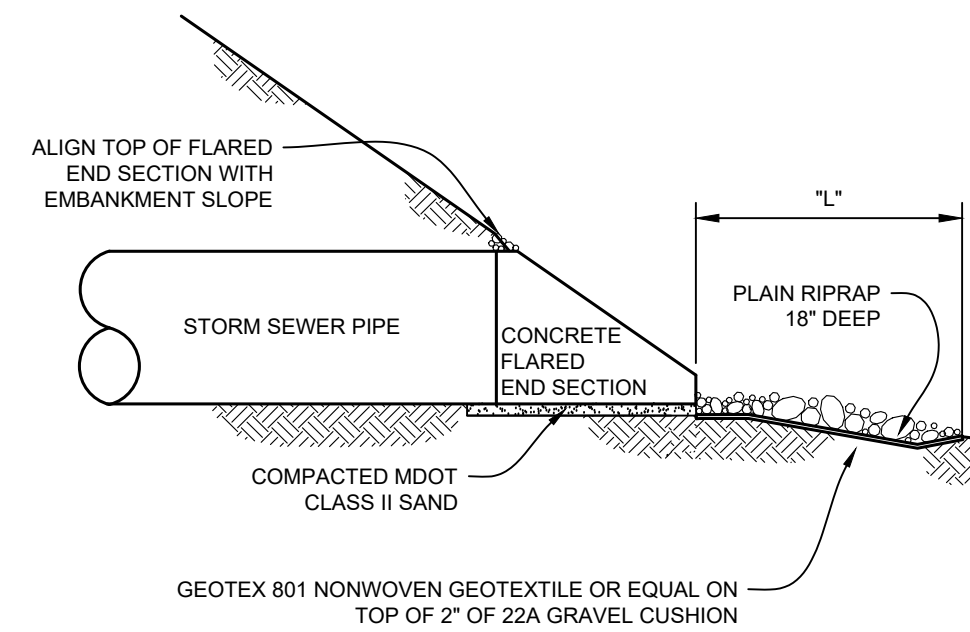
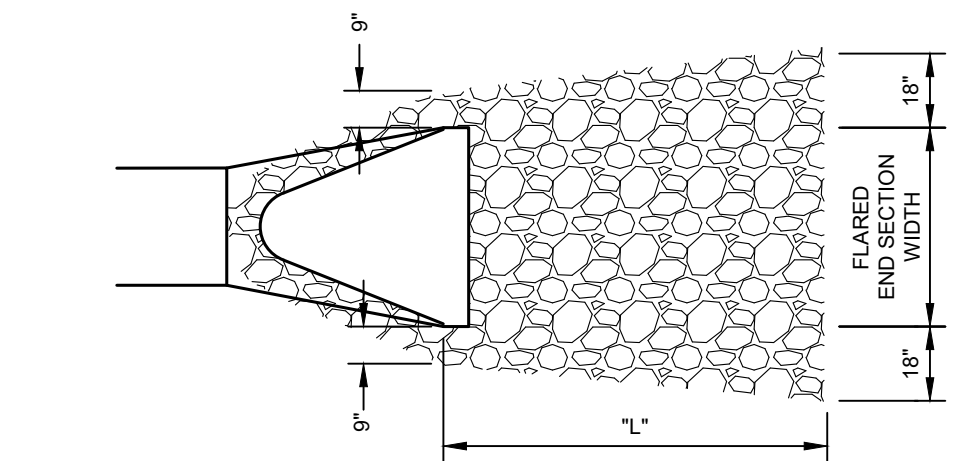


**HMA PAVEMENT SECTION (STANDARD DUTY)**  
NO SCALE



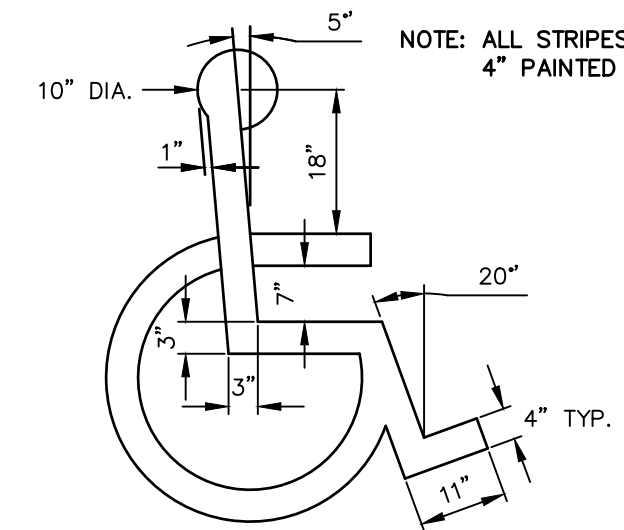
**CONCRETE WHEEL STOP**  
NO SCALE

PIPE DIA.	L" (FEET)
12"	5
15"	
18"	
21"	
24"	
30"	10
36"	
42"	
48"	
54"	
60"	15
66"	
72"	
78"	
84"	

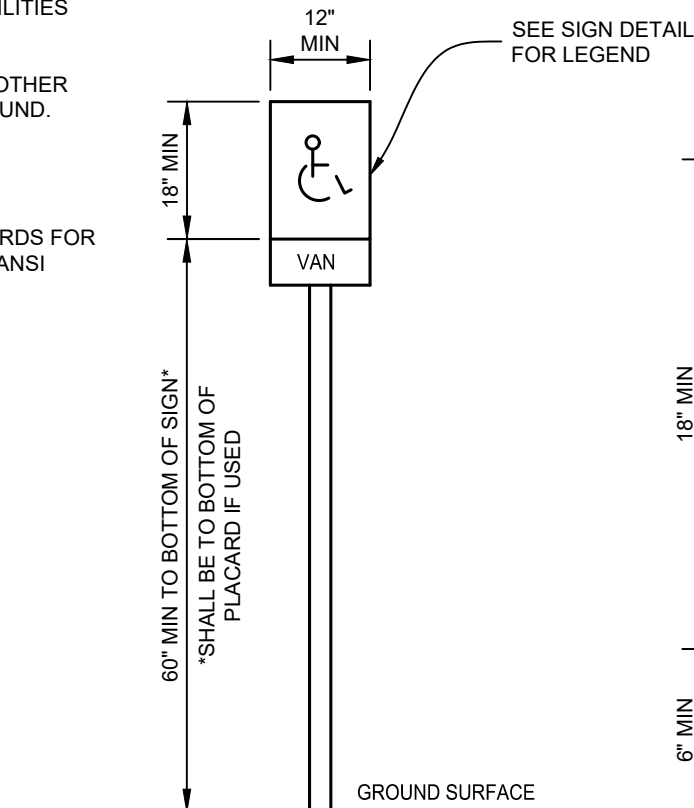


**FLARED END SECTION**  
NO SCALE

- NOTE:
- ALL FACILITIES FOR THE DISABLED SHALL CONFORM WITH THE AMERICANS WITH DISABILITIES ACT AND ALL REVISIONS.
  - THE CHARACTERS AND THE BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT CHARACTERS ON DARK BACKGROUND ARE PREFERRED.
  - CONTRAST LEVELS OF SYMBOLS TO BACKGROUND TO BE A MINIMUM OF 70%.
  - CONTRACTOR SHALL VERIFY THAT THE SYMBOL SHOWN MEETS THE CURRENT STANDARDS FOR THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE IN COMPLIANCE WITH ICC/ANSI FIGURE 703.7.2.1.



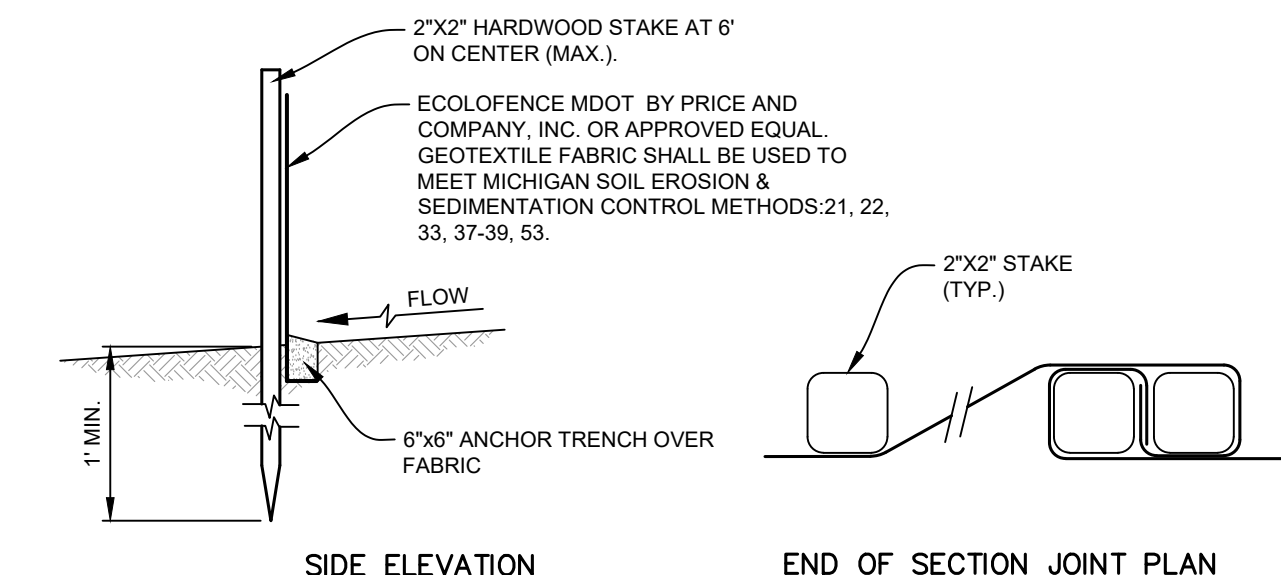
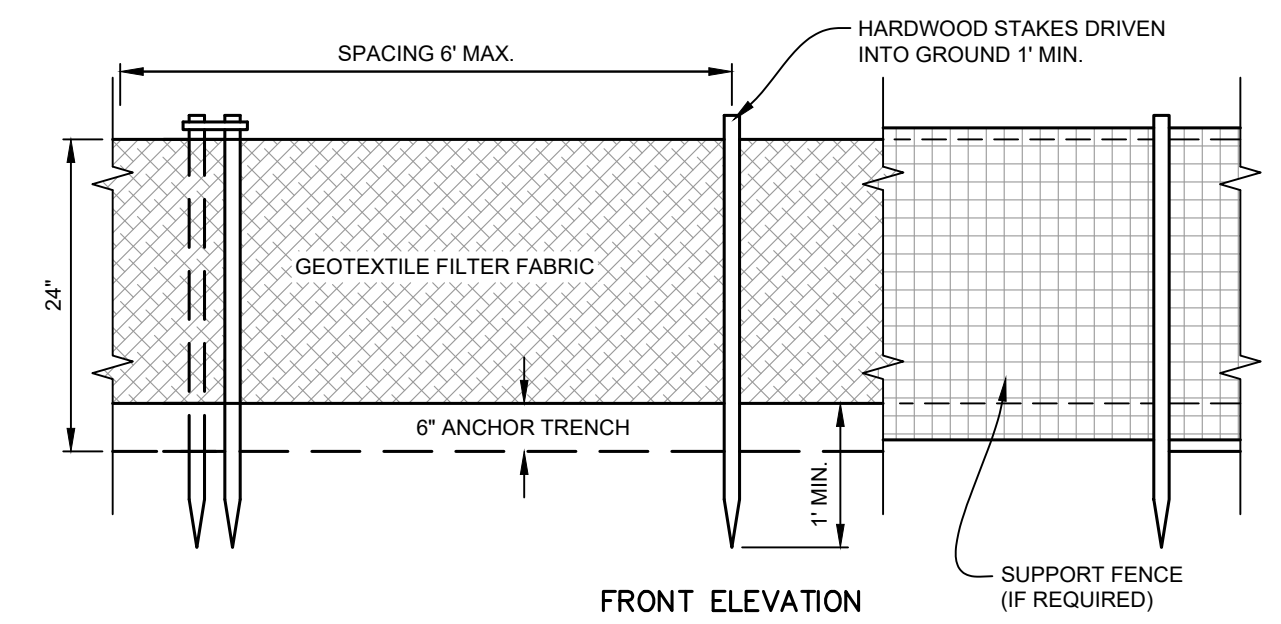
**BARRIER FREE SYMBOL**  
NO SCALE



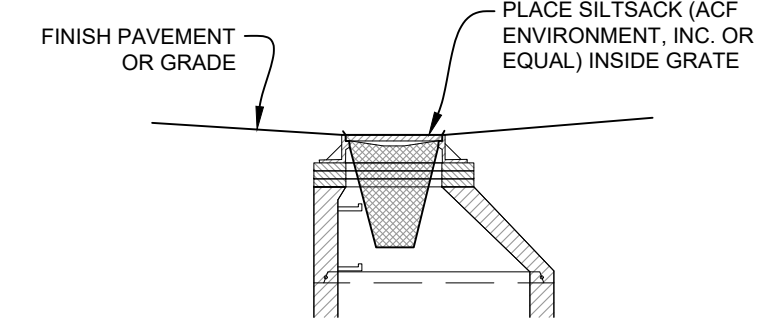
**BARRIER FREE SIGN**  
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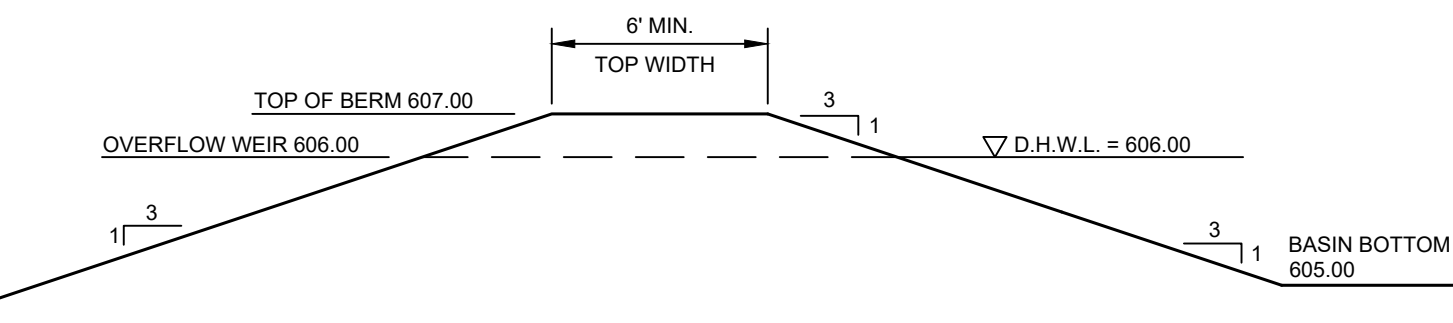
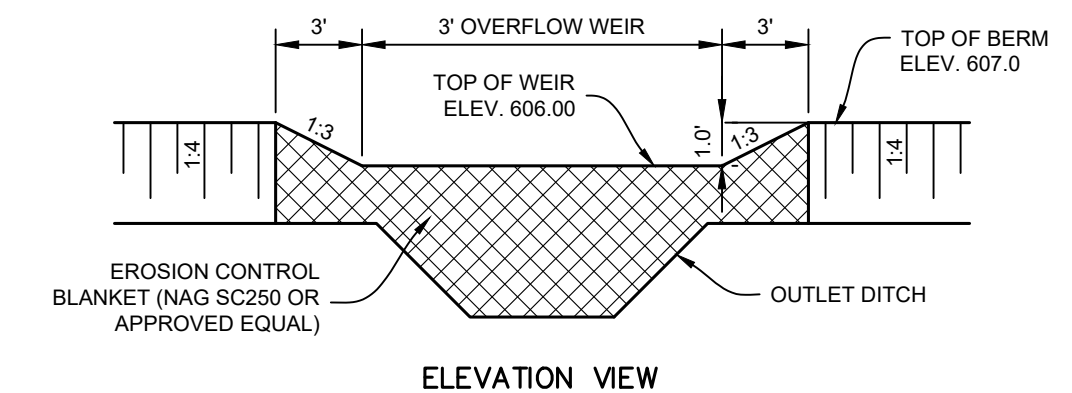
VAN ACCESSIBLE SPACES SHALL BE IDENTIFIED WITH "VAN ACCESSIBLE" PLACARD



**SILT FENCE**  
NO SCALE



**SILT SACK**  
NO SCALE



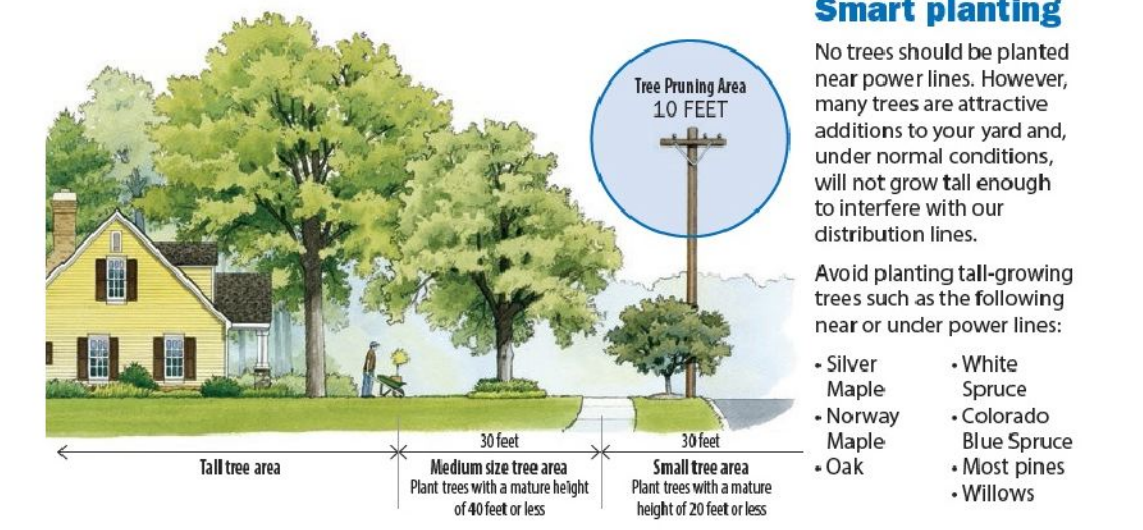
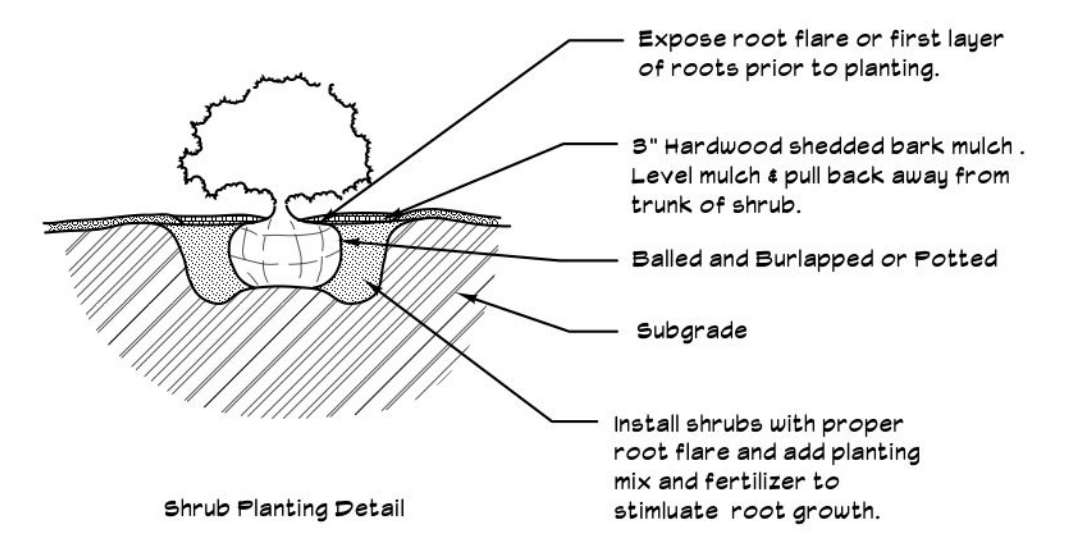
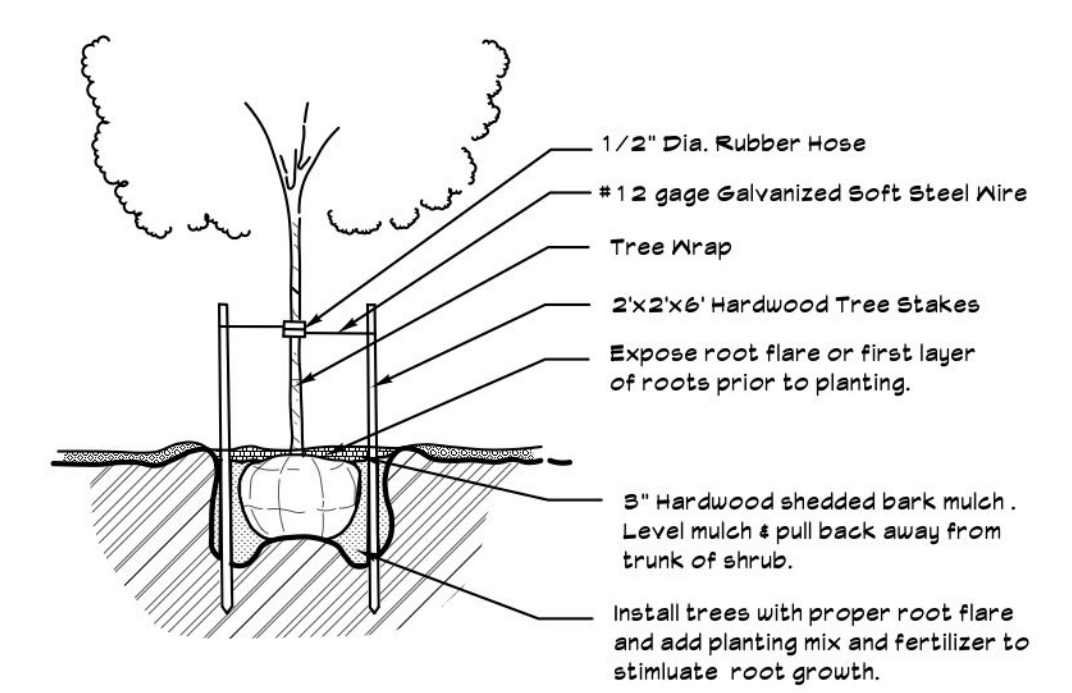
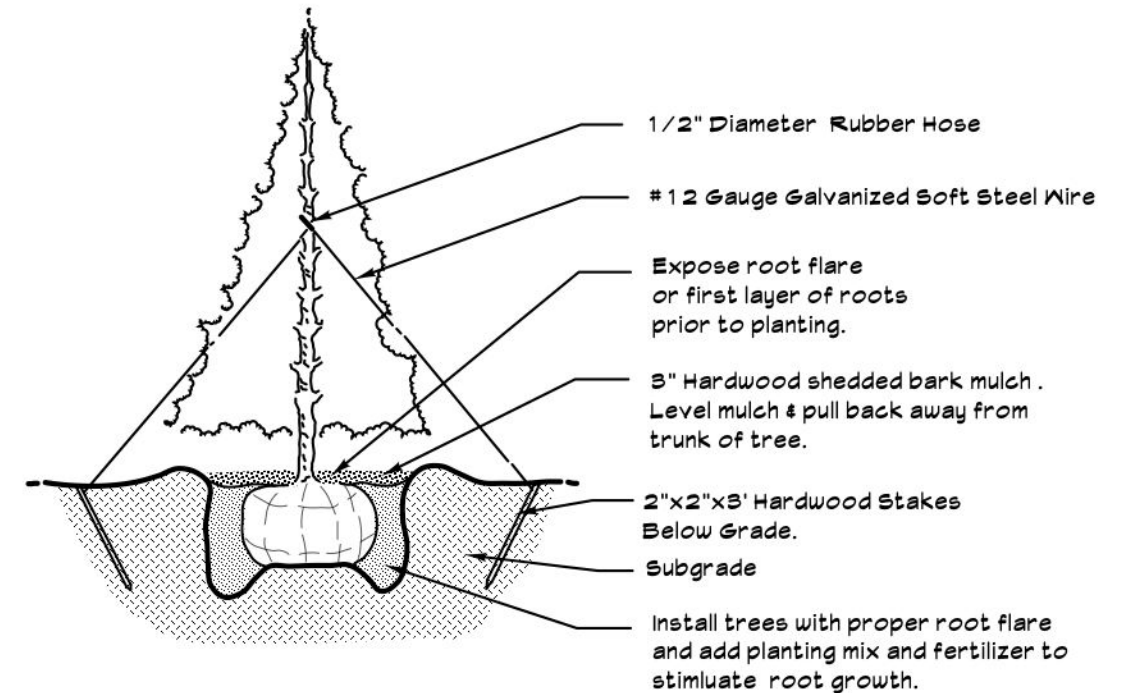
**WEST DETENTION BASIN - OVERFLOW WEIR**  
NO SCALE



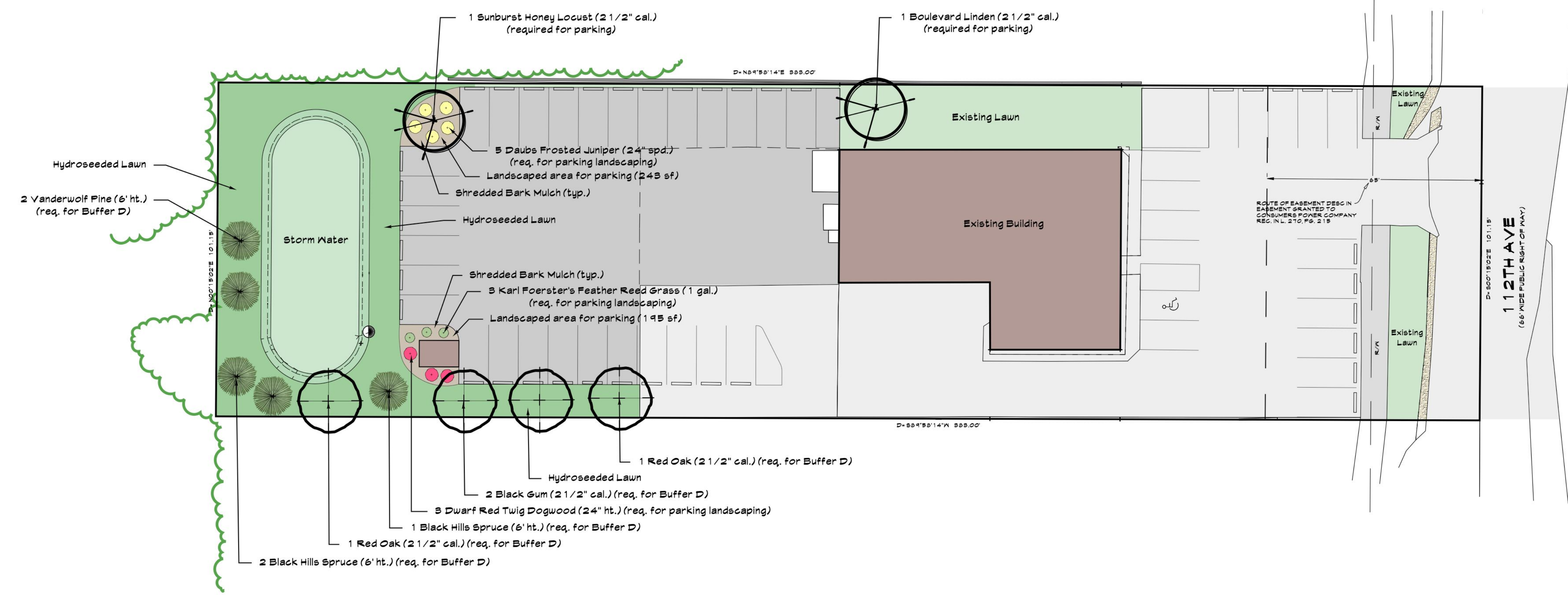
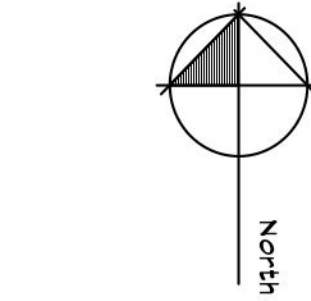
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- Notes:**
- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
  - All plantings shall be mulched with 3" shredded premium hardwood bark mulch. Trees in lawn areas shall receive a 6" diameter bark ring 3" deep.
  - The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
  - When planting trees in the lawn area or on the berm the existing soil within a 10 foot diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 6-12".
  - Planting areas shall be edged with a mechanical bed edger to define a border for the shredded bark mulch.
  - Parking islands shall be back filled with at least 24" of topsoil. Amend the topsoil with composted manure and mix into the topsoil at a depth of 6-12". Any aggregate or stone from the construction of the parking lot shall be removed prior to backfill.
  - Lawn areas shall receive at least 4" of topsoil and hydroseeded. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn. All lawns shall be hydroseeded with a seed blend consisting of 30% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
  - All lawn and shrub bed areas shall be watered by an automatic irrigation system. The irrigation system shall be designed and installed by the Landscape Contractor. Shrub areas shall be irrigated with drip irrigation.
  - Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.
  - Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.



**Plant List**

Quantity	Common Name	Latin Name	Planted Size
1	Boulevard American Linden	Tilia americana 'Boulevard'	2 1/2" cal.
1	Sunburst Honey Locust	Gleditsia triacanthos 'Suncole'	2 1/2" cal.
2	Red Oak	Quercus rubra	2 1/2" cal.
2	Black Gum	Nyssa sylvatica	2 1/2" cal.
2	Vanderwolf Pine	Pinus flexilis 'Vanderwolf'	6' ht.
3	Black Hills Spruce	Picea glauca var. densata	6' ht.
3	Dwarf Red Twig Dogwood	Cornus stolonifera 'Arctic Fire'	24" ht.
5	Doubs Frosted Juniper	Juniperus chinensis 'Doubs Frosted'	24" spd.
3	Karl Foerster's Feather Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	1 gal.

**Article 11 Landscaping & Screening**

**Front Yard Landscaping:**  
1 Canopy Tree and 3 Shrubs per 40 In. ft. of front yard is required.

**James Street Front Yard:** 101.00' In. ft./40 = 2.5  
Required: 2.5 Canopy Trees and 7.5 Shrubs  
Provided: Due to a conflict with the bike path and consumers easement landscaping cannot be added.

**Parking Lot Landscaping:**  
1 Canopy Tree and 100 sq. ft. of landscaped area shall be provided per 12 parking spaces.

Required based on 23 proposed parking spaces in rear:  
2.3 Canopy Trees and 235.00 sf. ft. of landscaped area.  
Provided: 2 Canopy Trees & 433 sf. ft. landscaped area.

**Buffer Type D:**  
1 Canopy Tree or Evergreen Tree per each 60 In. ft. along property line.

**South Property Line:** 333.00 In. ft./60 = 5.55  
Required: 5.55 Canopy or Ever. Trees  
Provided: 4 Canopy & 3 Evergreen Trees

**West Property Line:** 101.00 In. ft./60 = 1.666  
Required: 1.66 Canopy or Ever. Trees  
Provided: 2 Evergreen Trees

(note: Plant list for ordinance purposes only, the landscape contractor is responsible for plant quantities shown on the landscape plan)

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