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JAN 07 2025

HOLLAND TWP.

APPLICATION FOR SPECIAL USE APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name Kurt Glupker
Address 3980 Harvest View Lane
Hamilton, MI, 49419

Company Quincy St. Capital
Phone (616) 638-6590
Email choicelandscape@hotmail.com

Owner Information

Contact Name Kurt Glupker
Address 3980 Harvest View Lane
Hamilton, MI, 49419

Company Quincy St. Capital
Phone (616) 638-6590
Email choicelandscape@hotmail.com

Plan Preparer Information

Contact Name Craig Gengler
Address 525 Ottawa Ave NW
Grand Rapids, MI 49503

Company Spalding Dedecker
Phone (616) 885-5802
Email cgengler@sda-eng.com

Property Information

Address or Location 12991 Quincy ST, Holland, MI 49424

Parcel Number 70 - 16 - 05 - 400 - 014 Zoning District I-2(General Industrial)

Present Use(s) Vacant

Description of Special Use (attach additional pages as needed): _____

The undersigned does hereby request a public hearing before the Holland Charter Township Planning Commission for consideration of Special Use approval.

A hearing fee of \$350.00 shall be submitted with eleven (11) complete copies of: this form, the site plan review requirements list including a response to each item listed, and the site plan including an electronic copy of the site plan on CD or other file sharing device.

Site plans required for Special Use consideration **MUST** be submitted with this form. Applications submitted without the required site plans shall not be accepted. **The copies must be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date.**

NOTE: You are required to be present at the hearing to present your application. You will be notified as to date and time. Your neighbors within 300 feet will also be notified concerning this hearing.

I. SITE NARRATIVE

Site Location –

The site is located on the north side of Quincy Street just east of US-31 at 12991 Quincy Street, Holland Charter Township, Ottawa County, Michigan. The existing site is not occupied.

Site Demolition

The Contractor shall clear and grub landscape and grass area to the limits.

Site Layout

The site improvements include the construction of a multi-building self-storage facility. Two buildings will be designed to house trailers and one will be climate controlled. The Proposed access drives shall be constructed with a heavy-duty asphalt pavement as recommended by the Geotechnical Report for the Project.

Grading & Earthworks

The proposed self-storage buildings shall be constructed at a finished floor elevation of approximately 624± feet. The drives shall be constructed to drain to trench drains located at the center of the drive aisle.

Storm Sewer System

Stormwater management is designed to meet the requirements of Ottawa County. The stormwater shall be retained in perforated pipe and shall infiltrate into soil on site.

Sanitary Sewer Services

A sanitary sewer service shall lay laterally approximately 5-feet from the proposed climate-controlled building, and shall connect to public service connection as per the Holland Township Public Works Standard Construction Specifications.

Soil Erosion & Sedimentation Control (SESC)

Contractor shall install soil erosion and sedimentation control measures in accordance with the Ottawa County Water Resources Commissioner's (OCWRC) standards and requirements and Michigan Department of Environment, Great Lakes, and Energy (EGLE) requirements. Silt sacks shall be inserted into the proposed catch basins and existing catch basins along the construction route. The stormwater management system, including the catch basins, storm sewer, and stormwater management basins, shall be cleaned out just prior to the completion of the Project, to remove any sediment that has built up during the course of construction. Certified stormwater operator inspections and reports and maintenance to SESC measures shall be incorporated into Project costs.

GLUPKER SELF STORAGE

HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN
12991 QUINCY ST, HOLLAND, MI 49424

SPALDING DEDECKER
Engineers | Planners | Surveyors
Excellence Since 1954

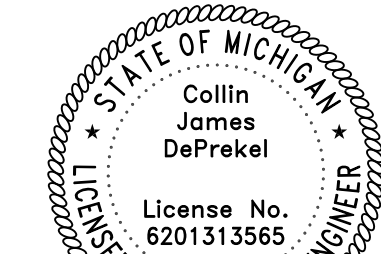
525 Ottawa Ave NW
Grand Rapids, MI 49503
Phone (616) 885-5802

Headquarters
Rochester Hills

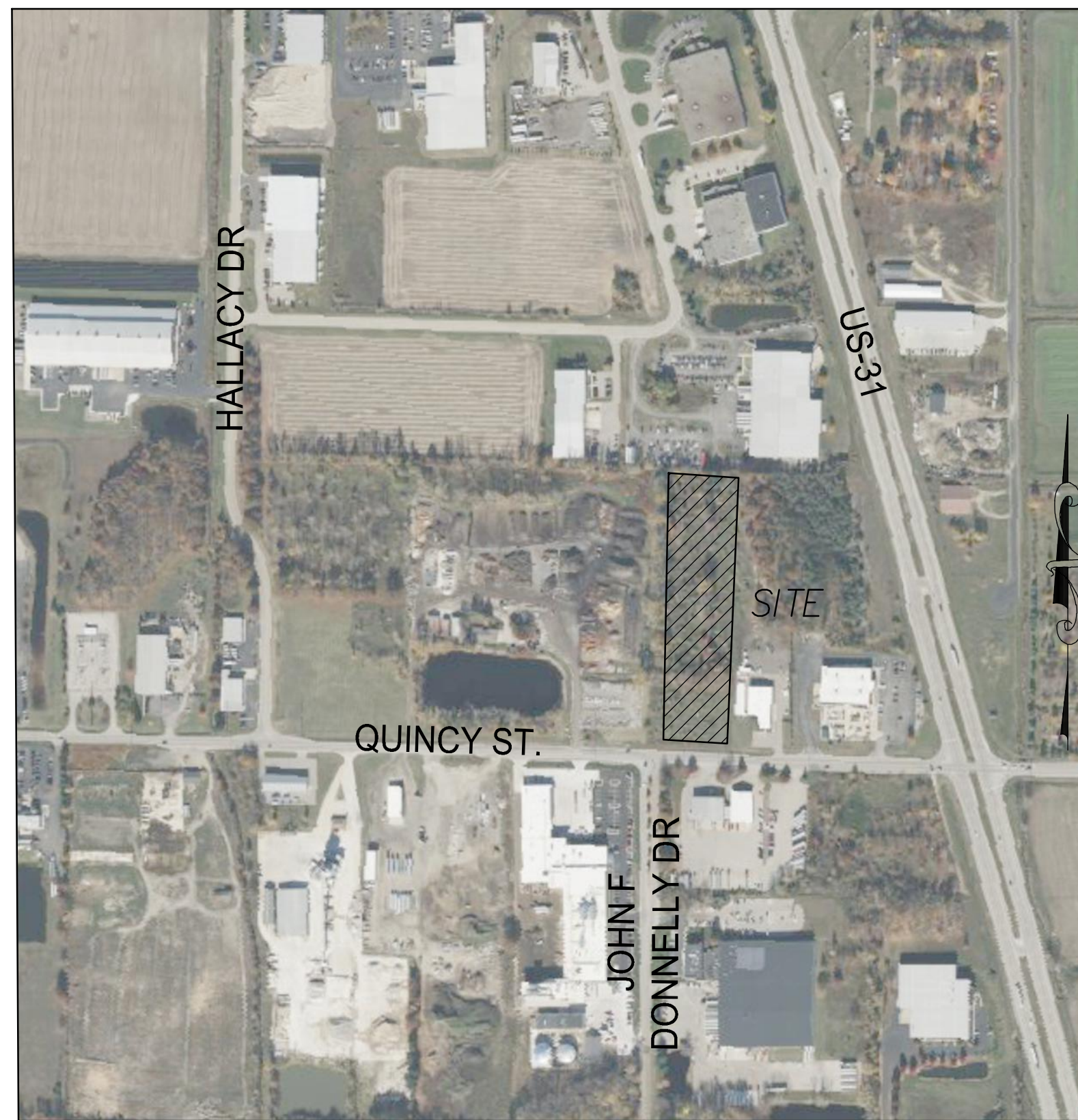
Branch Offices
Detroit | Grand Rapids | Novi | Lansing



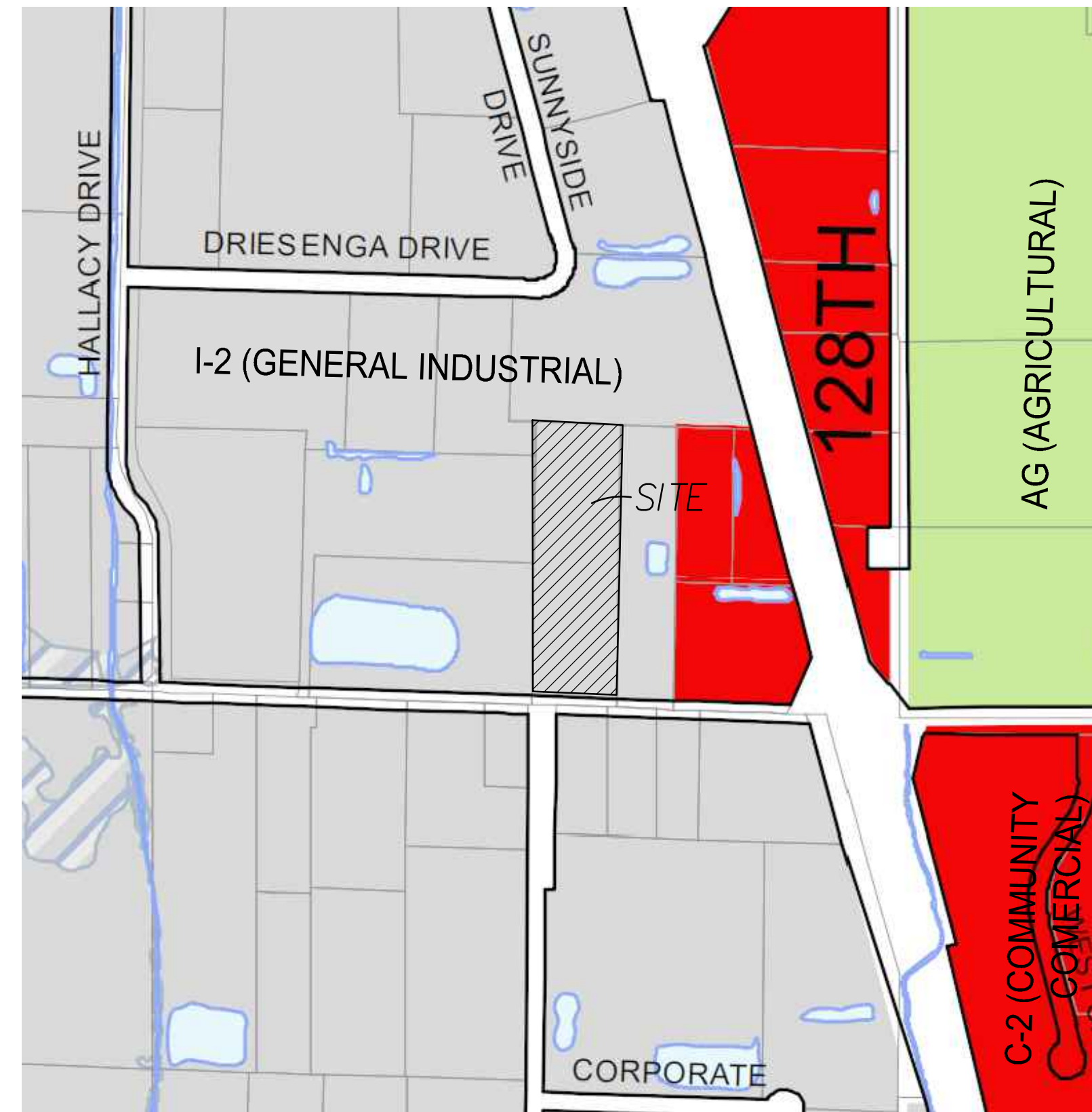
www.sda-eng.com
(800) 598-1600



Collin James DePrekel



LOCATION MAP
NOT TO SCALE



ZONING MAP
NOT TO SCALE

SHEET INDEX

C1.0	- COVER SHEET
C1.1	- CERTIFICATE OF SURVEY
C2.1	- DEMOLITION PLAN
C3.1	- SITE PLAN
C5.0	- UTILITY PLAN
C6.1	- EMERGENCY VEHICLE EXHIBIT
C6.2	- TRAILER ACCESS EXHIBIT

LEGEND

--- PROPOSED WATERMAIN	● PROPOSED SAN MANHOLE (SAM)
--- PROPOSED SANITARY	● PROPOSED STORM MANHOLE (SM)
--- PROPOSED STORM SEWER	■ PROPOSED CATCH BASIN (CB)
--- PROPOSED GAS MAIN	■ PROPOSED INLET (NI)
--- PROPOSED ELECTRIC	▶ PROPOSED END SECTION (ES)
● PROPOSED HYDRANT	⊕ PROPOSED FIELD CATCH BASIN (FCB) W/ BUSHING COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
● PROPOSED GATE VALVE & WELL (GVW)	⊕ UTILITY CROSSING (SEE DATA TABLE)
⊕ PROPOSED TAPPING SLEEVE VALVE & WELL (TSVW)	CB-2
STANDARD BITUMINOUS PAVEMENT	20
HEAVY-DUTY BITUMINOUS PAVEMENT	10
DEEP-STRENGTH BITUMINOUS PAVEMENT	XXX
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
STORM SEWER STRUCTURE	
SANITARY SEWER STRUCTURE	
WATERMAIN STRUCTURE	

DESCRIPTION

PER WARRANTY DEED RECORDED IN DOCUMENT NO. 2022-0039681, OTTAWA COUNTY RECORDS, STATE OF MICHIGAN.

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OTTAWA, TOWNSHIP OF OTTAWA, THE WEST 300 FEET OF THE FOLLOWING:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE SOUTH LINE OF SECTION 5, DISTANT WEST 700.01 FEET FROM THE SOUTHEAST CORNER OF SECTION 5 AND PROCEEDING THENCE WEST 572.55 FEET; THENCE NORTH 02 DEGREES 10 MINUTES 30 SECONDS WEST 993.06 FEET; THENCE NORTH 89 DEGREES 53 MINUTES 35 SECONDS EAST 699.73 FEET ALONG THE NORTH LINE OF THE SOUTH THREE-QUARTERS OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 5; THENCE SOUTH 2 DEGREES 10 MINUTES 30 SECONDS EAST 664.37 FEET; THENCE WEST 127.25 FEET; THENCE SOUTH 2 DEGREES 10 MINUTES 30 SECONDS EAST 330.00 FEET TO THE POINT OF BEGINNING.

OWNER:
QUINCY STREET CAPITAL LLC

ADDRESS:
12991 QUINCY ST, HOLLAND, MI 49424

ENGINEER:
SPALDING DEDECKER
525 OTTAWA AVE NW, GRAND RAPIDS, MI 49503

Plotted: Jan 7, 2025, 7:49 AM by user: nbarton - Saved: 1/7/2025 by user: nbarton
N:\NP\NL\Projects\NP24134 - Glupker Storage - Holland Twp - Quincy.Dwg\NP24134DEK.dwg

811
Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. UNDERGROUND UTILITIES WHICH ARE ON PRIVATE PROPERTY ARE USUALLY NOT DELINEATED UPON A UTILITY COMPANY'S PUBLISHED PLANS. THEIR LOCATION, IF SHOWN UPON THIS SURVEY, ARE APPROXIMATED FROM FOUND PAINT MARKERS, ETC., AS LOCATED BY THIS FIRM FROM SOURCES WHICH ARE UNKNOWN. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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GLUPKER STORAGE

HOLLAND TOWNSHIP, MI

COVER SHEET

SECTION	TOWN	RANGE
NO.	DATE	REVISION
1	01/07/2025	P.C. SUBMISSION

VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

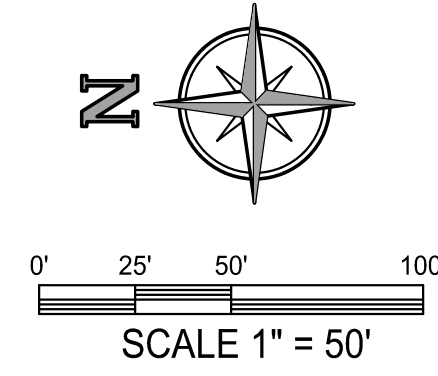
DRAWN BY	DATE
N. BARTON	01/07/2025
DESIGNER	DATE
CHECKED	DATE
PROJECT MANAGER	BID PLAN DATE
C. GENGLER	
DEPARTMENT MANAGER APPROVAL	DATE
JOB NO.	DRAWING NO.
SCALE: 1"=50'	SHEET NO. C1.0



LOCATION MAP
NOT TO SCALE

DESCRIPTION

PER WARRANTY DEED RECORDED IN DOCUMENT NO. 2022-0039681, OTTAWA COUNTY RECORDS, STATE OF MICHIGAN.
 LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OTTAWA, TOWNSHIP OF OTTAWA.
 THE WEST 300 FEET OF THE FOLLOWING:
 THAT PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWN 5 NORTH, RANGE 15 WEST, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE SOUTH LINE OF SECTION 5, DISTANT WEST 700.01 FEET FROM THE SOUTHEAST CORNER OF SECTION 5 AND PROCEEDING THENCE WEST 572.55 FEET; THENCE NORTH 02 DEGREES 10 MINUTES 30 SECONDS WEST 993.06 FEET; THENCE NORTH 89 DEGREES 53 MINUTES 35 SECONDS EAST 699.79 FEET ALONG THE NORTH LINE OF THE SOUTH THREE-QUARTERS OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 5; THENCE SOUTH 2 DEGREES 10 MINUTES 30 SECONDS EAST 664.37 FEET; THENCE WEST 127.25 FEET; THENCE SOUTH 2 DEGREES 10 MINUTES 30 SECONDS EAST 330.00 FEET TO THE POINT OF BEGINNING.



SURVEYOR'S NOTES

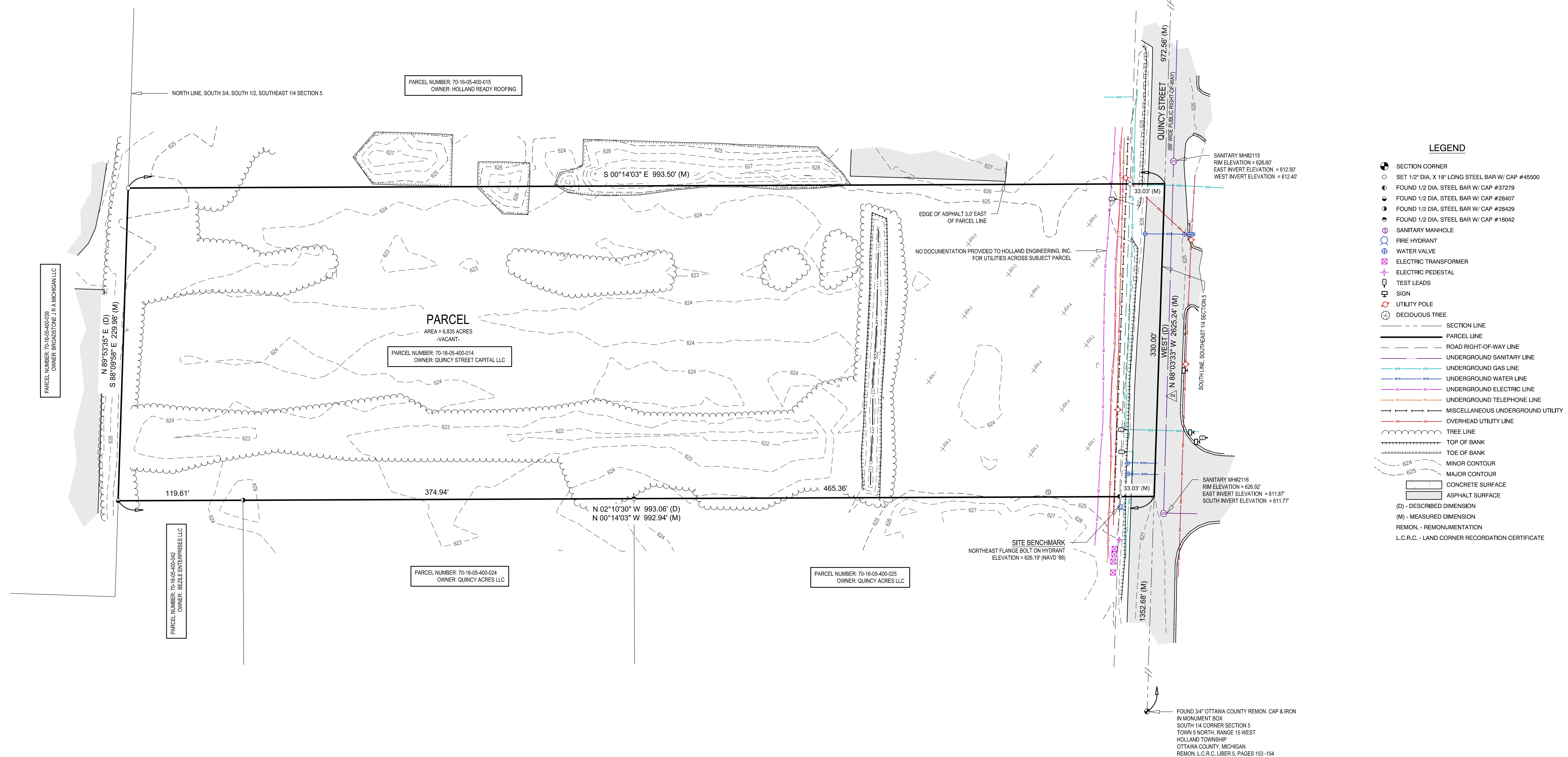
1. THIS SURVEY WAS PREPARED FOR THE LANDS AS DESCRIBED HEREIN AND IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.
 2. BEARINGS ARE BASED ON A LOCAL COORDINATE SYSTEM COORDINATE SYSTEM, AND HAVING A BEARING OF NORTH 88°03'33" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 5.
 3. ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
 4. SOURCE BENCHMARK - NATIONAL GEODETIC SURVEY (NGS) BENCHMARK DESIGNATION: W 317 PID: NG0403 ELEVATION = 621.58' (NAVD '88)
 5. UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND OBSERVATIONS AND FIELD MARKINGS AS A RESULT OF A "MISS DIG" REQUEST. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA. THIS SURVEY SHOULD NOT BE RELIED UPON TO DEPICT THE LOCATION OF ALL UNDERGROUND UTILITIES.
- NOTE: CONNECTIVITY AS SHOWN HEREON IS BASED UPON BEST AVAILABLE INFORMATION. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.
6. ALL UTILITIES AND BELOW GROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED UNDER THE SCOPE OF THIS SURVEY.
 7. PER THE FLOOD INSURANCE RATE MAP CHARTER TOWNSHIP OF HOLLAND OTTAWA COUNTY, MICHIGAN MAP NUMBER: 2619C0305E EFFECTIVE DATE: DECEMBER 16, 2011
 THE SUBJECT PARCEL LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
 8. DATE OF FIELD SURVEY: JANUARY 2, 2024.

TO: QUINCY STREET CAPITAL LLC

I, MARK O. SCOVILL, A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT I HAVE SURVEYED THE PARCEL(S) OF LAND DESCRIBED AND DELINEATED HEREON, THAT THE SURVEY MAP IS A TRUE REPRESENTATION OF THE SURVEY AS PERFORMED BY ME; THAT SAID SURVEY WAS PERFORMED RESULTING WITH A RELATIVE POSITIONAL PRECISION AT EACH BOUNDARY CORNER SHOWN HEREON WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING. THIS SURVEY WAS MADE FROM THE ATTACHED LEGAL DESCRIPTION. THE DESCRIPTION WAS GIVEN TO US BY OTHERS, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY OTHERS, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

HOLLAND ENGINEERING, INC.
 220 HOOVER BOULEVARD
 HOLLAND, MICHIGAN 49424
 (616) 392-5938

Mark O. Scovill
 MARK O. SCOVILL
 MICHIGAN PROFESSIONAL SURVEYOR #4001045504



LEGEND

- SECTION CORNER
- SET 1/2" DIA. X 18" LONG STEEL BAR W/ CAP #45500
- FOUND 1/2 DIA. STEEL BAR W/ CAP #37279
- FOUND 1/2 DIA. STEEL BAR W/ CAP #28407
- FOUND 1/2 DIA. STEEL BAR W/ CAP #28429
- FOUND 1/2 DIA. STEEL BAR W/ CAP #16042
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- ELECTRIC TRANSFORMER
- ELECTRIC PEDESTAL
- TEST LEADS
- SIGN
- UTILITY POLE
- DECIDUOUS TREE
- SECTION LINE
- PARCEL LINE
- ROAD RIGHT-OF-WAY LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- MISCELLANEOUS UNDERGROUND UTILITY
- OVERHEAD UTILITY LINE
- TREE LINE
- TOP OF BANK
- TOE OF BANK
- MINOR CONTOUR
- MAJOR CONTOUR
- CONCRETE SURFACE
- ASPHALT SURFACE
- (D) - DESCRIBED DIMENSION
- (M) - MEASURED DIMENSION
- REMON. - REMONUMENTATION
- L.C.R.C. - LAND CORNER RECORDATION CERTIFICATE

HOLLAND ENGINEERING
 220 Hoover Boulevard
 Holland, Michigan 49424-3766
 www.hollandengineering.com
 T 616-392-5938 F 616-392-2116

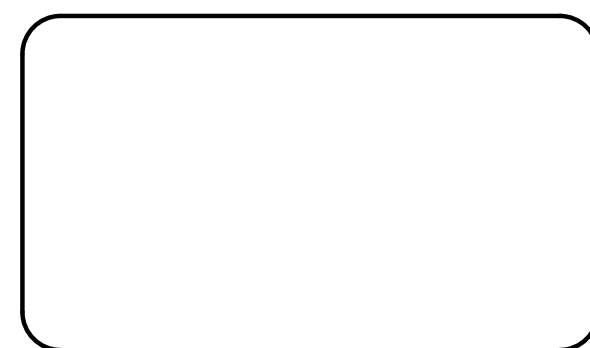
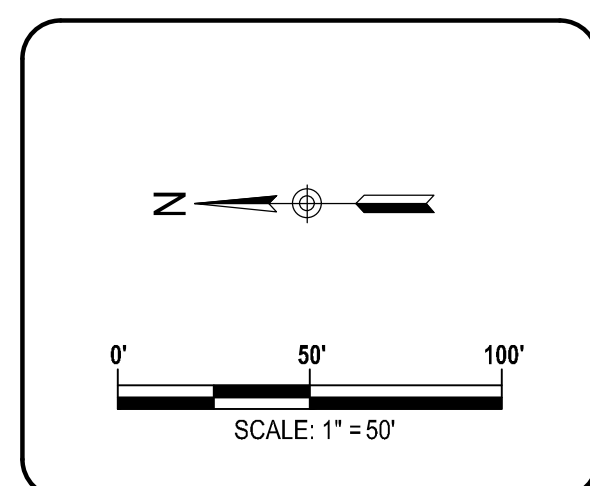
The Surveyor's liability for any and all claims, including but not limited to those arising from the negligence of professional services, or misrepresentations shall be deemed limited to an amount no greater than the service fee.

KURT GLUPKER
 3980 HARVEST VIEW LANE
 HAMILTON, MICHIGAN 49419

QUINCY STREET
 HOLLAND, MICHIGAN 49424
 PART OF THE SOUTHEAST 1/4
 TOWN 5 NORTH, RANGE 15 WEST
 HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

Issued for:	
Date	Description
01/17/2024	EXISTING CONDITIONS TOPOGRAPHIC MAP A

Project Manager DOUGLAS J. LANSKY	
Vertical Datum NAVD '88	Horz. Datum HEI-96
Drawn by JOHN M. RANKIN	
Checked by Survey	Date MOS 01/17/2024
Civil	.
Struc.	.
L. A.	.
HEI Project Number 23-12-010	
Sheet Title CERTIFICATE OF SURVEY	
Sheet No. 1 OF 1	



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GLUPKER STORAGE

HOLLAND TOWNSHIP, MI

DEMOLITION PLAN

SECTION TOWN RANGE

NO.	DATE	REVISION
1	01/07/2025	P.C. SUBMISSION

VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET,
 ADJUST SCALES ACCORDINGLY

DRAWN BY N. BARTON	DATE 01/07/2025
DESIGNER	DATE
CHECKED	DATE
PROJECT MANAGER C. GENGLER	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL	DATE
JOB NO.	DRAWING NO.
SCALE: 1"=50'	SHEET NO. C2.1

LEGEND

--- PROPOSED WATERMAIN	● PROPOSED SAN MANHOLE (SAM)
--- PROPOSED SANITARY	○ PROPOSED STORM MANHOLE (SM)
--- PROPOSED STORM SEWER	■ PROPOSED CATCH BASIN (CB)
--- PROPOSED GAS MAIN	▣ PROPOSED INLET (NI)
--- PROPOSED ELECTRIC	▶ PROPOSED END SECTION (ES)
--- PROPOSED HYDRANT	⊕ PROPOSED FIELD CATCH BASIN (FCB) W/ BEEHIVE COVER OR STAIRWELL (SP) W/ BAR GRATE COVER
● PROPOSED GATE VALVE & WELL (GVW)	⊗ UTILITY CROSSING (SEE DATA TABLE)
⊗ PROPOSED TAPPING SLEEVE VALVE & WELL (TSVM)	CP-2
STANDARD BITUMINOUS PAVEMENT	STORM SEWER STRUCTURE
HEAVY-DUTY BITUMINOUS PAVEMENT	SANITARY SEWER STRUCTURE
DEEP-STRENGTH BITUMINOUS PAVEMENT	20
CONCRETE PAVEMENT	10
CONCRETE SIDEWALK	XX

DEMOLITION NOTES

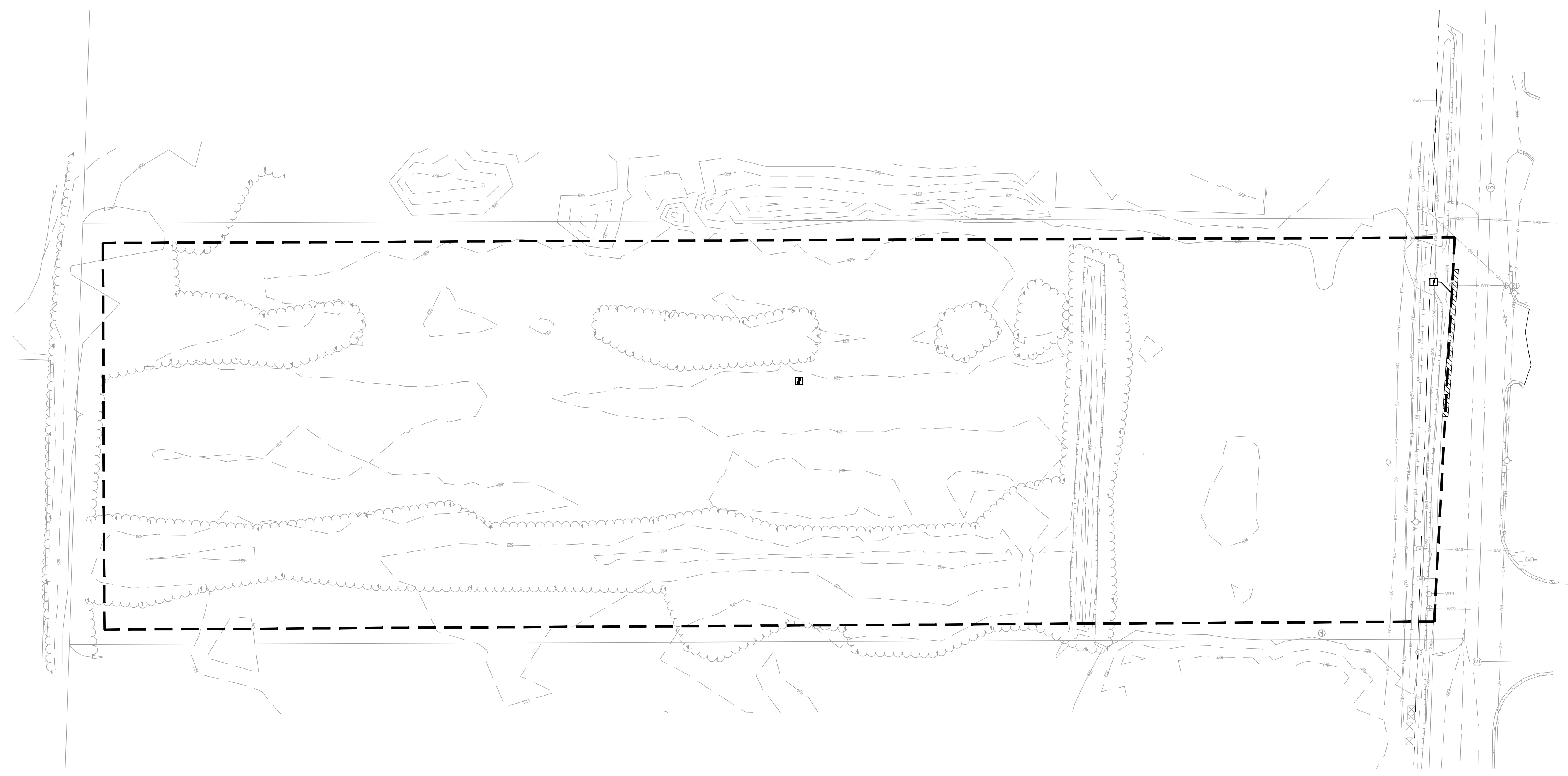
1 REMOVE ASPHALT PAVEMENT TO FULL DEPTH (ASSUMED TO BE 10" BASED ON THE GEOTECH REPORTS). SAW CUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. EXCAVATE EXISTING AGGREGATE BASE AND SUBGRADE AS NECESSARY TO INSTALL NEW PAVEMENT SECTION AS SHOWN ON THE PAVING PLANS, INCLUDING NEW AGGREGATE BASE.

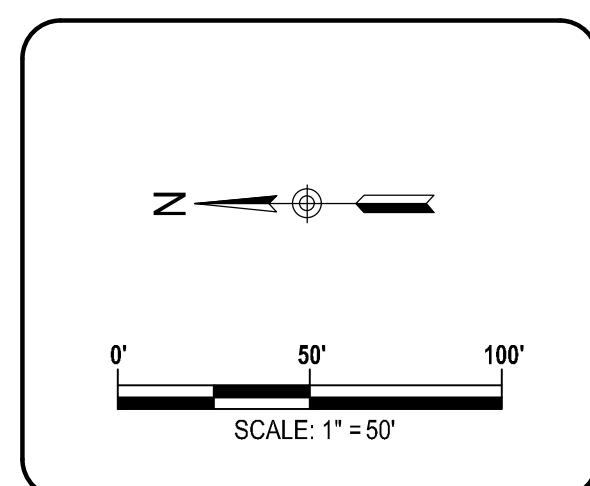
2 CLEAR AND GRUB TO THE LIMITS SHOWN. INCLUDE REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRAVEL, BRUSH, SHRUBS, GRASS, AND TREES NOT INDICATED FOR PROTECTION, INCLUDING ROOTS. STRIP TOPSOIL AND STOCKPILE ON SITE IN DESIGNATED LOCATION.

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8" LIFTS COMPACTED TO 98% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.





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GLUPKER STORAGE
 HOLLAND TOWNSHIP, MI
 SITE PLAN

SECTION	TOWN	RANGE
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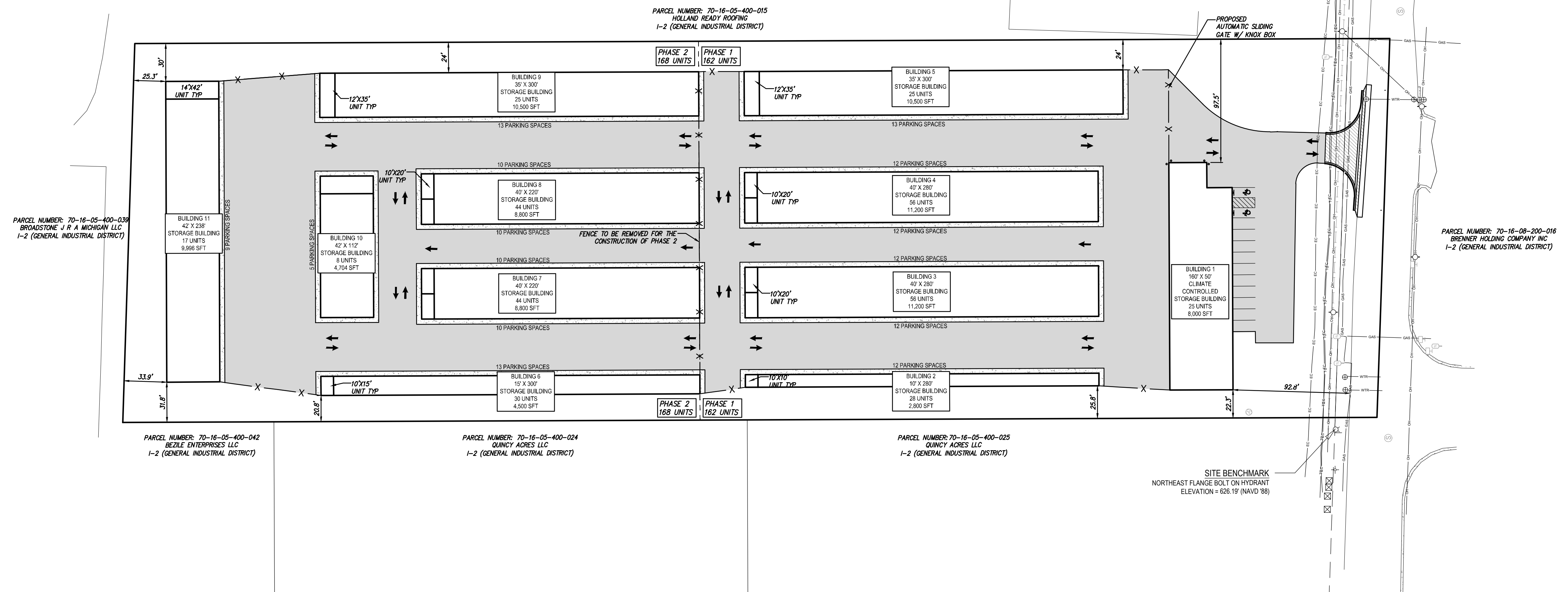
NO.	DATE	REVISION
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VERIFY SCALES	
BAR IS ONE INCH ON ORIGINAL DRAWING	IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
DRAWN BY N. BARTON	DATE 01/07/2025
DESIGNER	DATE
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PROJECT MANAGER C. GENGLER	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL	DATE
JOB NO.	DRAWING NO.
SCALE: 1"=50'	SHEET NO. C3.1

LEGEND

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--- PROPOSED SANITARY	● PROPOSED STORM MANHOLE (SM)
--- PROPOSED STORM SEWER	■ PROPOSED CATCH BASIN (CB)
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⊗ PROPOSED GATE VALVE & WELL (GVW)	⊕ UTILITY CROSSING (SEE DATA TABLE)
⊗ PROPOSED TAPPING SLEEVE VALVE & WELL (TSVW)	CS- STRUCT. TYPE
	2- STRUCT. NO.
	20- STRUCT. NO.
	10- STRUCT. NO.
	XXX- STRUCT. TYPE

STANDARD BITUMINOUS PAVEMENT	STORM SEWER STRUCTURE
HEAVY-DUTY BITUMINOUS PAVEMENT	SANITARY SEWER STRUCTURE
DEEP-STRENGTH BITUMINOUS PAVEMENT	WATERMAIN STRUCTURE
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
MILL PAVEMENT	



- OVERALL OBJECTIVE**
TO RECEIVE SITE PLAN APPROVAL FOR GLUPKER STORAGE.
- PARCEL INFORMATION**
CURRENT ZONING: I-2 (GENERAL INDUSTRIAL DISTRICT)
SITE ADDRESS: PART OF 70-16-05-400-014
PARCEL ID: 6.61 ACRES (NOT INCLUDING R.O.W.)
SITE AREA: 6.61 ACRES (NOT INCLUDING R.O.W.)
PROPOSED LAND USE CLASSIFICATION: SELF STORAGE FACILITY
- PROPOSED BUILDINGS**
MAXIMUM STORAGE UNIT SIZE = 14' X 42' = 588 SF
BUILDING 1: 25 - 10'X15' STORAGE UNITS
BUILDING 2: 28 - 10'X10' STORAGE UNITS
BUILDING 3: 56 - 10'X20' STORAGE UNITS
BUILDING 4: 56 - 10'X20' STORAGE UNITS
BUILDING 5: 25 - 12'X35' STORAGE UNITS
BUILDING 6: 30 - 10'X15' STORAGE UNITS
BUILDING 7: 44 - 10'X20' STORAGE UNITS
BUILDING 8: 44 - 10'X20' STORAGE UNITS
BUILDING 9: 25 - 12'X35' STORAGE UNITS
BUILDING 10: 8 - 14'X42' STORAGE UNITS
BUILDING 11: 17 - 14'X42' STORAGE UNITS
EXISTING BUILDING AREA = 0 SF
PROPOSED BUILDING AREA = 91,800 SF
SITE AREA = 297,753
PROPOSED BUILDING COVERAGE = 30.8%
MAXIMUM ALLOWED BUILDING COVERAGE = 40%
BUILDING SETBACKS
ZONING: I-2 (GENERAL INDUSTRIAL DISTRICT)
REQUIRED PROVIDED
FRONT SETBACK (MIN.) 75 FT (FROM PROPERTY LINE) 92.8 FT
REAR (MIN.) 25 FT 25.3 FT
SIDE (MIN.) 20 FT 20.8 FT
SIDE LANDSCAPE BUFFER 10 FT 10 FT
- REGULATORY APPROVALS**
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)
- HOLLAND TOWNSHIP PLANNING COMMISSION SPECIAL USE APPROVAL.
- HOLLAND TOWNSHIP ZONING BOARD OF APPEALS
- OTTAWA COUNTY STORMWATER APPROVAL.
- OTTAWA COUNTY SOIL EROSION AND SEDIMENTATION CONTROL PERMIT.
- OTTAWA COUNTY ROAD COMMISSION DRIVEWAY PERMIT.
- IMPACT ON PUBLIC SERVICES**
NO NEGATIVE IMPACTS PUBLIC SERVICES ARE ANTICIPATED.
- IMPACT TO SURROUNDING PROPERTIES**
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA.
- PARKING & TRAFFIC**
OFF STREET PARKING COUNT
1 PARKING SPACE PER 2 STORAGE UNITS.
TOTAL PARKING SPACES PROVIDED 165 (INCLUDING 2 ADA)* REQUIRED 179*
PHASE 1 85 (INCLUDING 2 ADA)* 95*
PHASE 2 80* 84*
*A VARIANCE IS BEING PURSUED FOR A REQUIRED OFF STREET PARKING COUNT REDUCTION
QUINCY STREET DRIVEWAY
ONE DRIVEWAY IS PROPOSED TO QUINCY ST. TO BE DESIGNED AND PERMITTED THROUGH THE OTTAWA COUNTY ROAD COMMISSION
- STORM WATER MANAGEMENT**
STORMWATER MANAGEMENT IS DESIGNED TO MEET THE REQUIREMENTS OF OTTAWA COUNTY.
STORMWATER SHALL BE RETAINED IN PERFORATED PIPE AND SHALL INFILTRATE INTO SOIL ON SITE.
- WATER/SEWER SERVICE**
THE SITE WILL UTILIZE HOLLAND TOWNSHIP WATER AND SEWER.
- METLANDS**
SUBJECT PARCEL HAS NO INDICATION OF METLANDS.
- FLOODPLAINS**
THIS SITE IS NOT IN A FEMA FLOOD HAZARD ZONE: 26139C0305E.
- LANDSCAPING**
A DETAILED LANDSCAPING PLAN TO BE INCLUDED SEPARATELY THAT MEETS HOLLAND TOWNSHIP REQUIREMENTS.
- SITE LIGHTING**
A PHOTOMETRIC PLAN IS TO BE SUBMITTED SEPARATELY.
- REFUSE MANAGEMENT**
NO DUMPSTER WILL BE LOCATED ON SITE.
- SIGNAGE**
SIGNAGE SHALL BE IN COMPLIANCE WITH SECTION 703 ICC A117.1, 2009 AND SECTION 1111 MBC 2015.
PLANS FOR SITE AND BUILDING SIGNAGE TO BE SUBMITTED SEPARATELY.
- CONSTRUCTION SCHEDULE**
CONSTRUCTION OF PHASE ONE IS EXPECTED TO BEGIN IN 2025 WITH AN ESTIMATED COMPLETION DATE TBD 2026.

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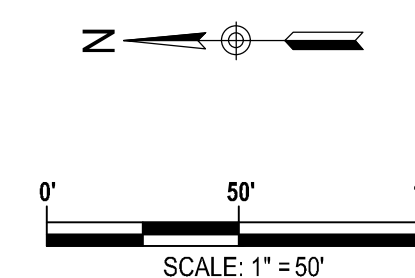
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GLUPKER STORAGE

HOLLAND TOWNSHIP, MI

UTILITY PLAN

SECTION TOWN RANGE

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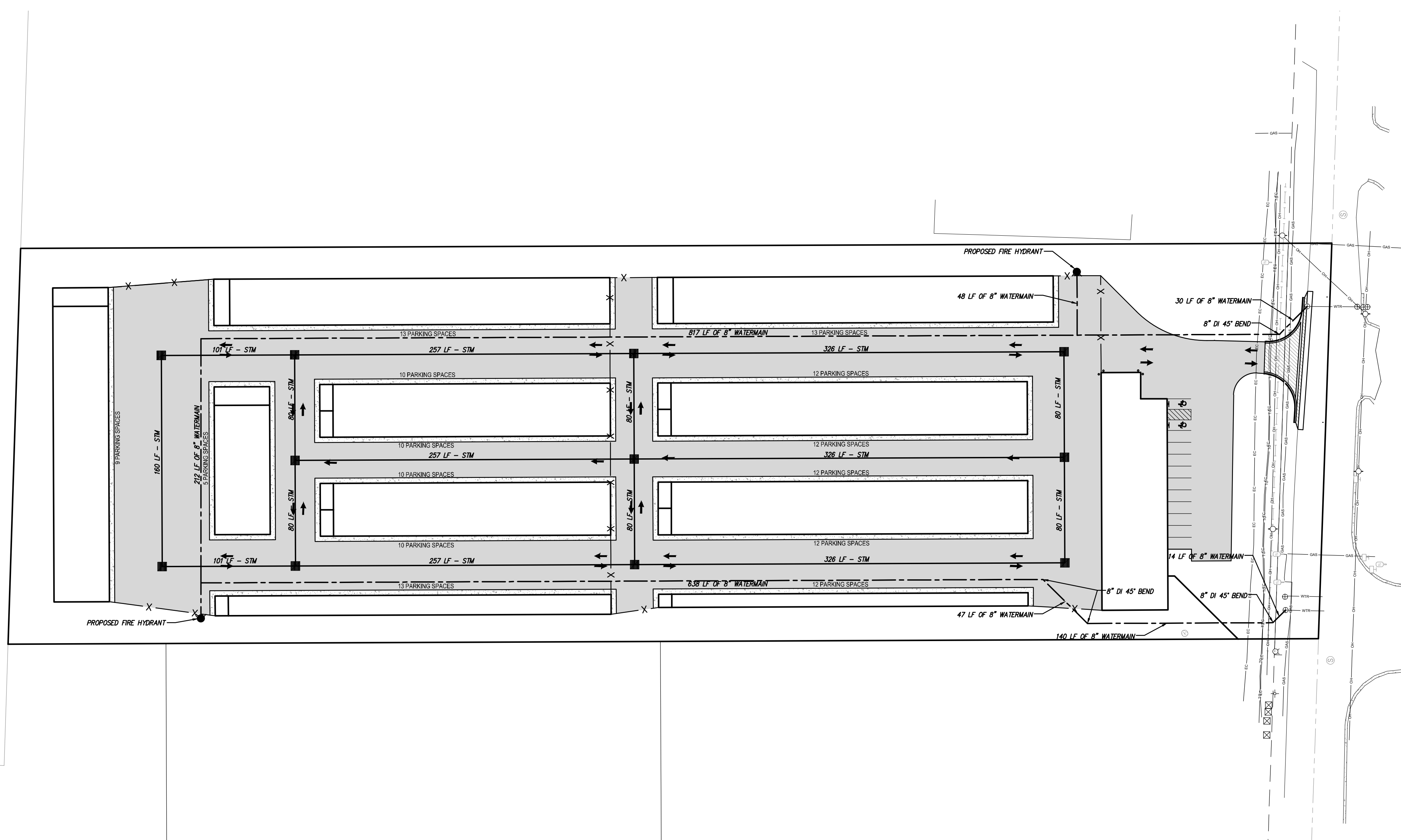
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CHECKED	DATE
PROJECT MANAGER C. GENGLER	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL	DATE
JOB NO.	DRAWING NO.
SCALE: 1"=50'	SHEET NO. C5.0

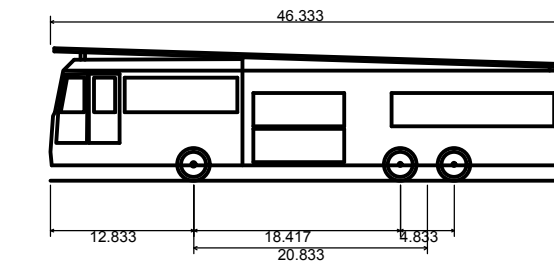
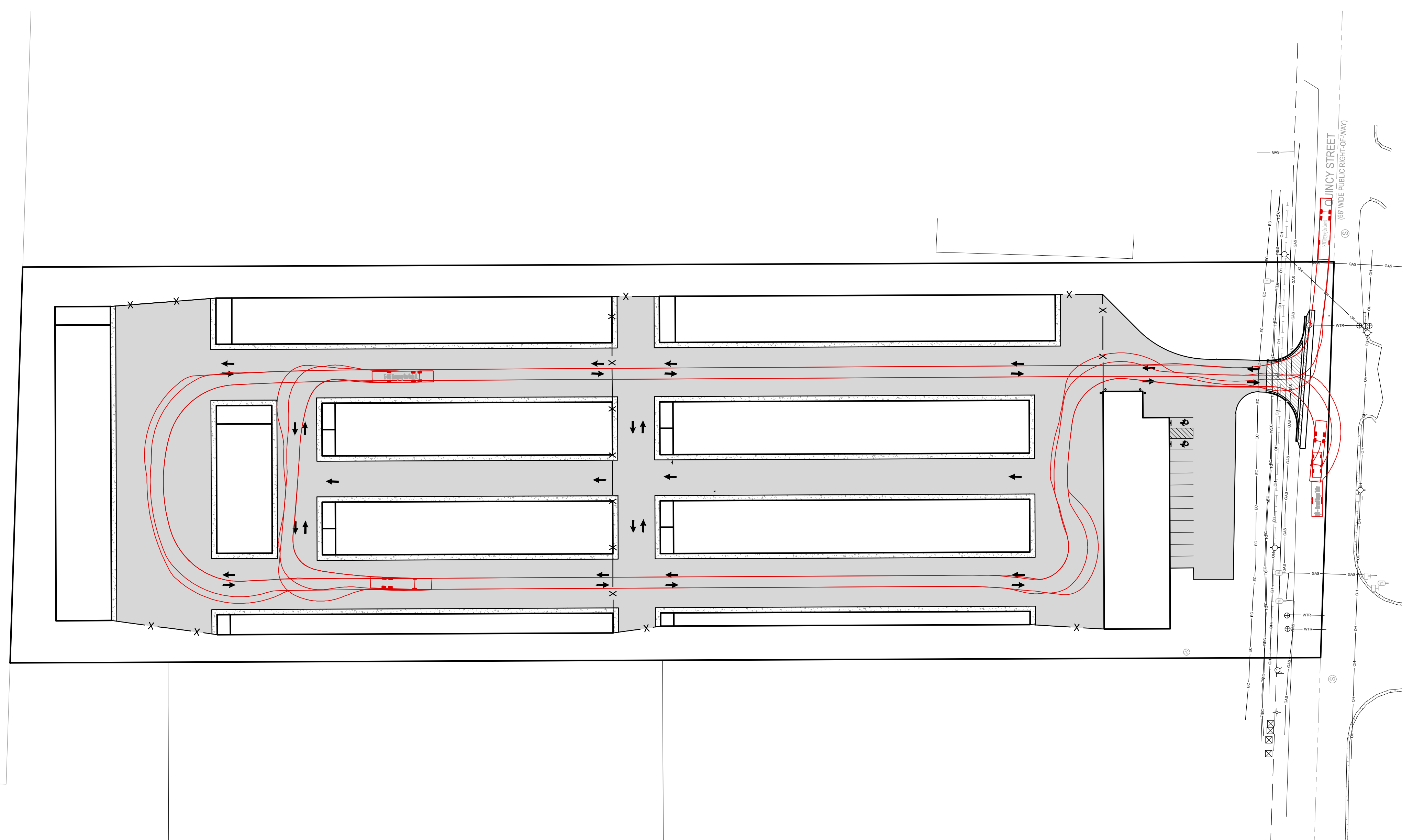
LEGEND

--- PROPOSED WATERMAIN	● PROPOSED SAN MANHOLE (SM)
--- PROPOSED SANITARY	○ PROPOSED STORM MANHOLE (MH)
--- PROPOSED STORM SEWER	■ PROPOSED CATCH BASIN (CB)
--- PROPOSED GAS MAIN	▲ PROPOSED INLET (INL)
--- PROPOSED ELECTRIC	▶ PROPOSED END SECTION (ES)
⊗ PROPOSED HYDRANT	⊕ PROPOSED FIELD CATCH BASIN (FCB) W/ REEFING COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
⊙ PROPOSED GATE VALVE & WELL (GVW)	⊖ UTILITY CROSSING (SEE DATA TABLE)
⊗ PROPOSED TAPPING SLEEVE VALVE & WELL (TSVW)	□ STORM SEWER STRUCTURE
	□ SANITARY SEWER STRUCTURE
	△ WATERMAIN STRUCTURE

STANDARD BITUMINOUS PAVEMENT	HEAVY-DUTY BITUMINOUS PAVEMENT
DEEP-STRENGTH BITUMINOUS PAVEMENT	CONCRETE PAVEMENT
CONCRETE SIDEWALK	MILL PAVEMENT



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 N:\NP\NL\Projects\NP24134 - Glupker Storage - Holland Twp - Quincy Dwg\NP24134PAV - DPTIDN 5awg



E-ONE Emergency One Ocala FL
 Overall Length 46.333ft
 Overall Width 8.333ft
 Overall Body Height 11.833ft
 Min Body Ground Clearance 1.393ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

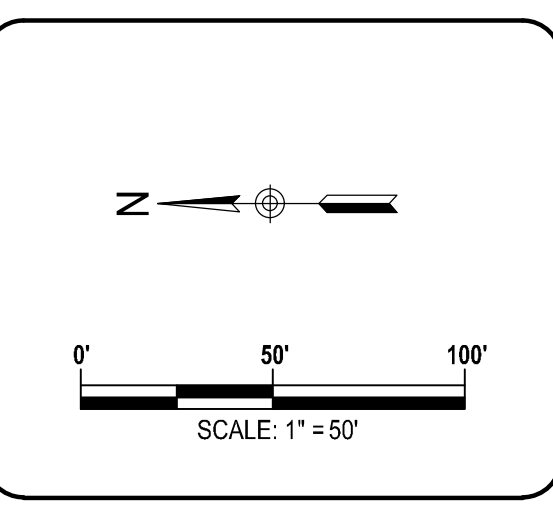
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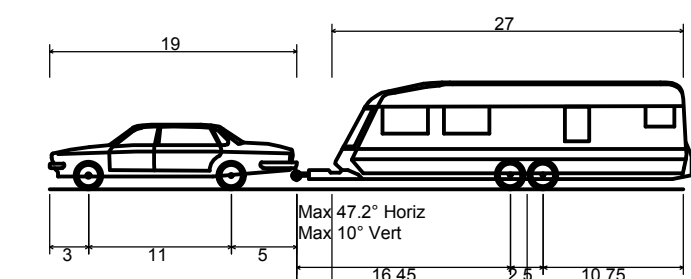
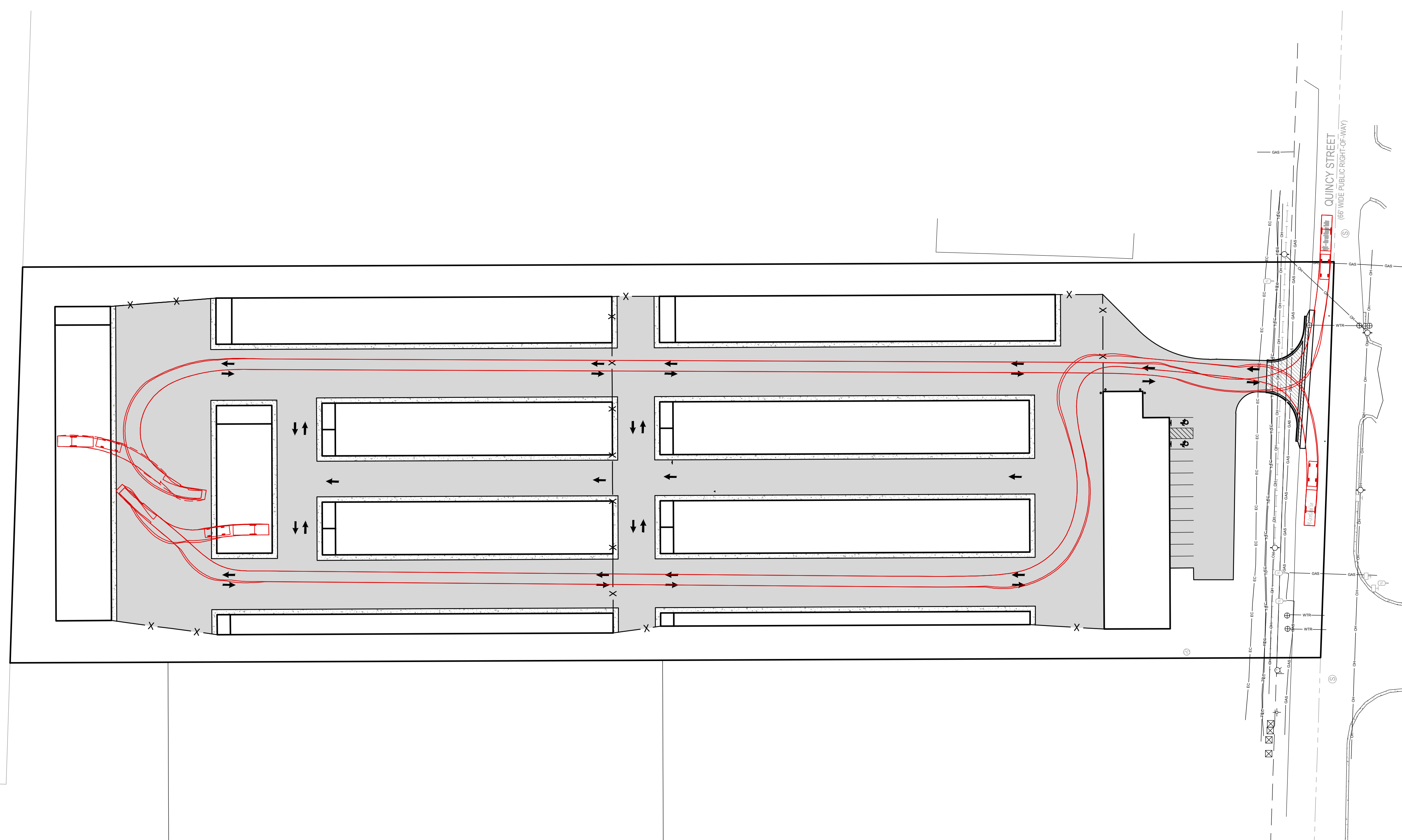
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DEPARTMENT MANAGER APPROVAL		DATE	
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P/T - Car and Camper Trailer
 Overall Length 48.700ft
 Overall Width 8.000ft
 Overall Body Height 8.250ft
 Min Body Ground Clearance 0.795ft
 Max Track Width 8.000ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 33.000ft

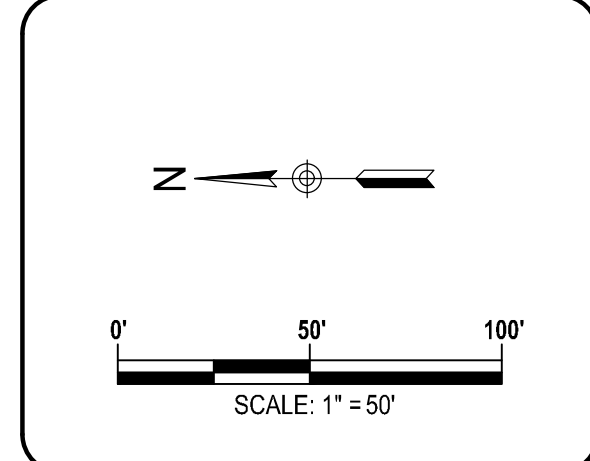
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HOLLAND TOWNSHIP, MI

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