

APPLICATION FOR SITE PLAN APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name _____
Address _____

Company _____
Phone _____
Email _____

Owner Information

Contact Name _____
Address _____

Company _____
Phone _____
Email _____

Plan Preparer Information

Contact Name _____
Address _____

Company _____
Phone _____
Email _____

Property Information

Address or Location _____
Parcel Number 70 - 16 - _____ - _____ - _____ Zoning District _____
Present Use(s) _____

Description of Proposed Use – (attach additional pages as needed)

Requesting Planning Commission Review: Yes No (Note: Zoning Administrator may refer to the Planning Commission)

A site plan review fee of \$100 shall be submitted with the required two (2) site plans. If a special meeting is requested before the Planning Commission, an additional fee of \$600 shall be submitted with eleven (11) complete copies of: this form and the site plan including an electronic copy of the site plan on CD or other file sharing device. The copies must be submitted to the Community Development Department no later than the deadline indicated on the Planning Commission's Notice of Regular Meetings. The applicant or its representative must be present at the meeting in order to receive consideration.

I, the undersigned, do hereby certify that the site plan(s) attached hereto have been completed according to all ordinance requirements. I do further understand that if my site plan is not complete or if I fail to attend the meeting, the Planning Commission, at its discretion, may table the decision until a later date.

Emily Engelhart
Signature of Applicant _____ Date _____

See attached Letters
Signature of Owner _____ Date _____

DO NOT WRITE BELOW THIS LINE

Date Received _____ Amount of Fee Paid \$ _____ Check No. _____

Application Accepted by _____

Mr. Corey Broersma
Community Development
353 North 120th Avenue
Holland, MI 49424
(616) 395-0151

February 28, 2025

RE: Application for Site Plan Review – Redwood Living
Project Narrative

Dear Mr. Broersma,

This Application for Site Plan Review is made for the development of three parcels of real property located within the Township, which are known as Tax Parcel Number 70-16-09-100-024, 70-16-09-100-023, 70-16-09-100-025, consisting of approximately 19.99 acres on Quincy Street (collectively the "Property"), as more fully described in the Application and its attachments. The Property was most recently used as a single-family residence and vacant land.

Redwood proposes to develop the Property into approximately 108 distinctive single-story single-family attached or townhouse homes, each offering both one bedroom / one bathroom units and two bedroom / two bathroom units each with its own attached garage (the "Project"). The Project will utilize the high design and architectural standards typical of Redwood Neighborhoods while keeping its own branding and unique identity. Redwood has successfully developed similar projects in nearby communities including a Redwood Neighborhood directly south of the Property in Holland Township as well as in Zeeland Township and Cascade Township.

Redwood Neighborhood

Redwood Neighborhoods are not age-restricted and comply with all Fair Housing practices, however, they are designed to appeal to the empty-nester, active adult community, with attached garages, no stairs, and with compliant ADA accessibility features. Redwood prides itself on creating a community of peace, quiet, and comfort for its residents by (i) constructing a carefully planned neighborhood; (ii) providing resident driven amenities; (iii) closely managing its neighborhoods with onsite personnel; and, (iv) adhering to strict rental standards. Redwood strictly adheres to all Fair Housing-required rental practices.

With a maintenance-free lifestyle and single-story design, Redwood neighborhoods provide the Township an opportunity to allow its current residents to age in place while remaining invested in familiar businesses, health care providers, and friend and family networks. Our Neighborhoods are often seen as a solution for missing middle-housing and they can provide housing filtration opportunities for people who might prefer to move out from the maintenance/costs/of a single-family home. Overall, a Redwood Neighborhood will provide more diverse housing options in the Township

for renters-by-choice. The success of our current Phase 1 neighborhood proves the continued demand for Redwood's product and the strength of the Holland Township market.

Zoning Ordinance Design Requirements

Site specific design characteristics include the following:

1. Lot Area – 19.55 acres less public R.O.W. Required lot area based on 108 units = 9.0 acres.
2. Low Width – 80 Feet Required, 655 feet is provided along Quincy Street.
3. Building Setbacks Required and Proposed:
 - a. Front: 35-ft Required, 62-ft Proposed
 - b. Side: 20-ft Required, 31.8-ft Proposed
 - c. Rear: 25-ft Required, 247.0-ft Proposed
4. Lot Coverage – 50% Allowed, 21.1% Proposed.
5. Floor Area:
 - a. 720 sf for 1-bedroom required, 896 sf provided.
 - b. 870 sf for 2-bedroom required, Minimum 1,200 sf provided.
6. Storage Area per Unit Type, 120 sf Required per unit:
 - a. Dogwood (1-Bedroom) = 166.5 sf
 - b. Forestwood = 187.7 sf
 - c. Meadowdood = 212.8 sf
 - d. Capewood = 212.8 sf
 - e. Forestwood Extended Garage = 203.8 sf
 - f. Meadowood Extended Garage = 229.1 sf
 - g. Capewood Extended Garage = 229.1 sf
 - h. Haydenwood = 149.1 sf
 - i. Willowood = 193.5 sf
7. Building height – Redwood proposes a maximum 13-ft tall building where the R-3 zoning district allows up to 60-ft.
8. Density limitation – The proposed density is 5.52 units per acre where the allowed density in the R-3 district is 12 units per acre.
9. Parking:
 - a. Required Two (2) spaces per unit plus one (1) guest parking per two (2) units
 - b. Required = $108 \text{ units} * 2 \text{ spaces} + (108 \text{ units} * 1 \text{ space} / 2 \text{ units}) = 270 \text{ spaces required}$
 - c. Provided = $4 \text{ spaces per unit} * 108 \text{ units} = 432 \text{ unit spaces}$
 - d. Guest Parking Provided = 19 spaces
 - e. Total spaces provided = $432 + 19 = 451 \text{ spaces provided}$
 - f. Provided 40 extended garage spaces (within the overall 432 spaces) the extended garage units provide a larger interior parking space for residents with larger vehicles.

10. Single Entity – The Property will be developed as a single phase and will be owned by a single entity.

Site Design / Amenities

Phase 1 of Redwood is located immediately south of this proposed development. Phase 2 offers a few new features in that were not available when Phase 1 was approved and constructed. Phase 2 will include multiple new floorplans offering of extended garage units on the Forestwood, Meadowood, and Capewood Units, a one-bedroom (Dogwood) floorplan, a Haydenwood unit which features . The extended garage unit provides an additional 4-ft of depth in the garage to allow for larger vehicles to park within the garage. The current plan proposes a total of 40 extended garage units. The Haydenwood unit offers a “front-door” elevation facing Quincy Street. To maintain consistency with phase 1, a 5-foot-wide tree lawn is included along the road section as an aesthetic amenity.

The proposed site plan for Phase 1 includes approximately 4,200 feet of sidewalk with connections to the existing asphalt pathway along Quincy Street, phase 1 of the Redwood property (providing additional connectivity to Authentix, Greenly Street, and the adjacent commercial shopping centers south of Greenly, as well as a proposed pedestrian connection point to the western property line. Included in the total sidewalk length is a pathway along the southern boundary of the drainage ditch to allow for passive recreation and open space. A pergola is included overlooking the pond which acts as a stormwater detention basin. Other amenities that are proposed include bike racks, picnic tables, a pollinator garden, pond fountains, enhanced landscaping, and a little free library. Redwood has found that our residents, within our 20,000 units, enjoy these types of passive amenities and value pedestrian connectivity very highly.

Elements specific to the Property include regulated wetlands at the southeast end of the site as well as within the drainage ditch. The existing drainage ditch conveys water from upstream properties and continues along west and south offsite. Due to this wetland, we are not proposing landscaping to eliminate impacts to the wetlands. In addition the adjacent property is heavily vegetated and any vegetation within the wetlands will be protected and remain. We have coordinated with the Ottawa County Road Commission and they have indicated a center turn lane will be required, this is included on our plans.

Estimated Project Timeline

- April – May 2025: Preliminary Site Plan Approval
- June 2025: Engineering Design. Submittals to reviewing agencies
- December 2025: Anticipated approvals from reviewing agencies
- March 2026: Commence sitework construction
- June 2026: Commence vertical (building) construction
- June 2028: Obtain final Certificate of Occupancy and Project closeout

DEVELOPMENT PLANS FOR PROPOSED REDWOOD LIVING MULTI-FAMILY RESIDENTIAL DEVELOPMENT QUINCY STREET HOLLAND TOWNSHIP, MICHIGAN

PROJECT CONTACTS

CIVIL ENGINEER
COLLIERS ENGINEERING AND DESIGN
7050 W SAGINAW HWY
LANSING, MI 48917
IAN GRAHAM, P.E.
(517) 827-8681

OWNER
REDWOOD LIVING
7007 EAST PLEASANT VALLEY ROAD
INDEPENDENCE, OH 44131
EMILY ENGELHART
(216) 401-6885

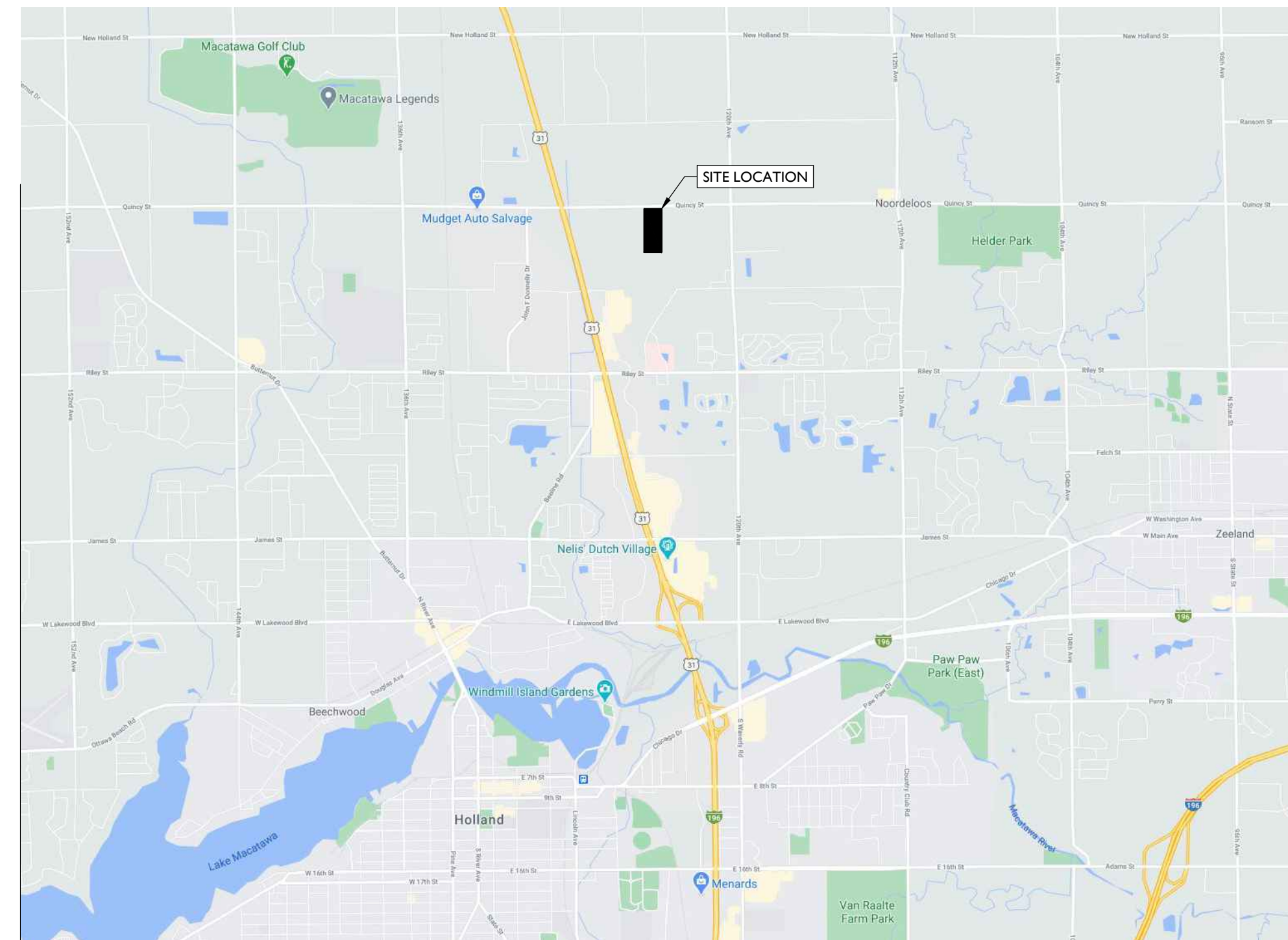
UTILITY AND JURISDICTIONAL CONTACTS

PLANNING AND ZONING
HOLLAND TOWNSHIP
353 NORTH 120TH AVENUE
HOLLAND, MI 49424
COREY BROERSMA
(616) 395-0151

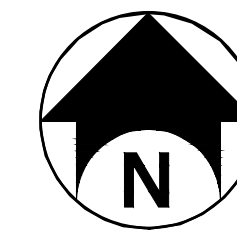
WATER AND SANITARY SEWER
HOLLAND TOWNSHIP
353 NORTH 120TH AVENUE
AARON NYBOER
(616) 395-0078

STORM WATER AND SOIL EROSION AND SEDIMENTATION
OTTAWA COUNTY WATER RESOURCES COMMISSIONER
12220 FILLMORE STREET
WEST OLIVE, MI 49460
(616) 994-4530


ROADS & ENTRANCE
OTTAWA COUNTY ROAD COMMISSION
14110 LAKESHORE DRIVE
GRAND HAVEN, MI 49417
JOHN GUTIERREZ, PE
(616) 842-5400



SITE LOCATION MAP
NOT TO SCALE




SHEET INDEX		
Included	Sheet Number	Sheet Title
•	C000	COVER SHEET
•	X100	ALTA NSPS LAND TITLE SURVEY
•	X101	ALTA NSPS LAND TITLE SURVEY
•	C050	DEMOLITION PLAN
•	C200	OVERALL SITE PLAN
•	C201	NORTH SITE PLAN
•	C202	SOUTH SITE PLAN
•	C300	NORTH GRADING PLAN
•	C301	SOUTH GRADING PLAN
•	C310	DRAINAGE AREA MAP
•	C400	PRELIMINARY UTILITY PLAN
•	C700	SITE DETAILS
•	L1.0	OVERALL SITE PLAN
•	L1.1	PLANTING ENLARGEMENTS
•	L1.2	TYPICAL BUILDING FOUNDATION PLANTINGS
•	L1.3	TYPICAL BUILDING FOUNDATION PLANTINGS
•	L1.4	TYPICAL BUILDING FOUNDATION PLANTINGS
•	A1.1	BUILDING FLOOR PLAN AND ELEVATIONS
•	A1.2	BUILDING FLOOR PLAN AND ELEVATIONS
•	A1.3	BUILDING FLOOR PLAN AND ELEVATIONS
•	A1.4	BUILDING FLOOR PLAN AND ELEVATIONS
•	A1.5	BUILDING FLOOR PLAN AND ELEVATIONS
•	A1.6	BUILDING FLOOR PLAN AND ELEVATIONS
•	A1.7	BUILDING FLOOR PLAN AND ELEVATIONS
•	PSK01	PRELIMINARY ONE BED LAYOUT
•	PSK02a	PRELIMINARY ONE BED LAYOUT EXTERIOR ELEVATIONS



Engineering & Design

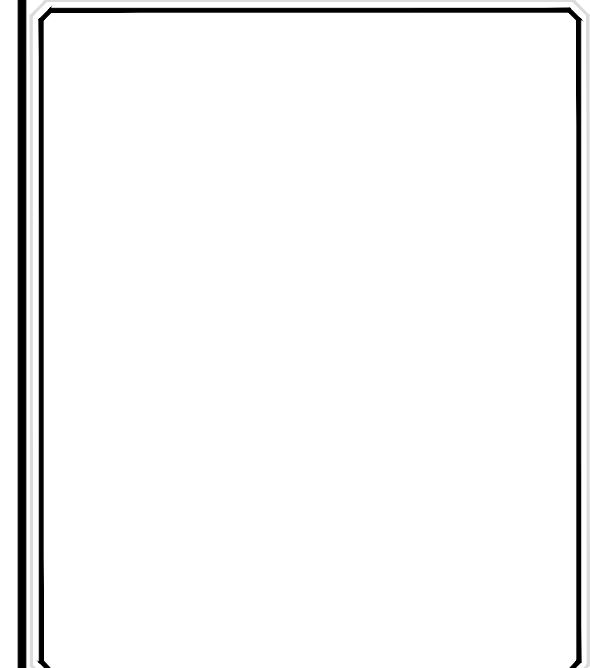
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REV	DATE	DRAWN BY	DESCRIPTION
1	02/19/25	ICG	SITE PLAN REVIEW



Redwood
 APARTMENT NEIGHBORHOODS
 7007 EAST PLEASANT VALLEY ROAD
 INDEPENDENCE, OH 44131

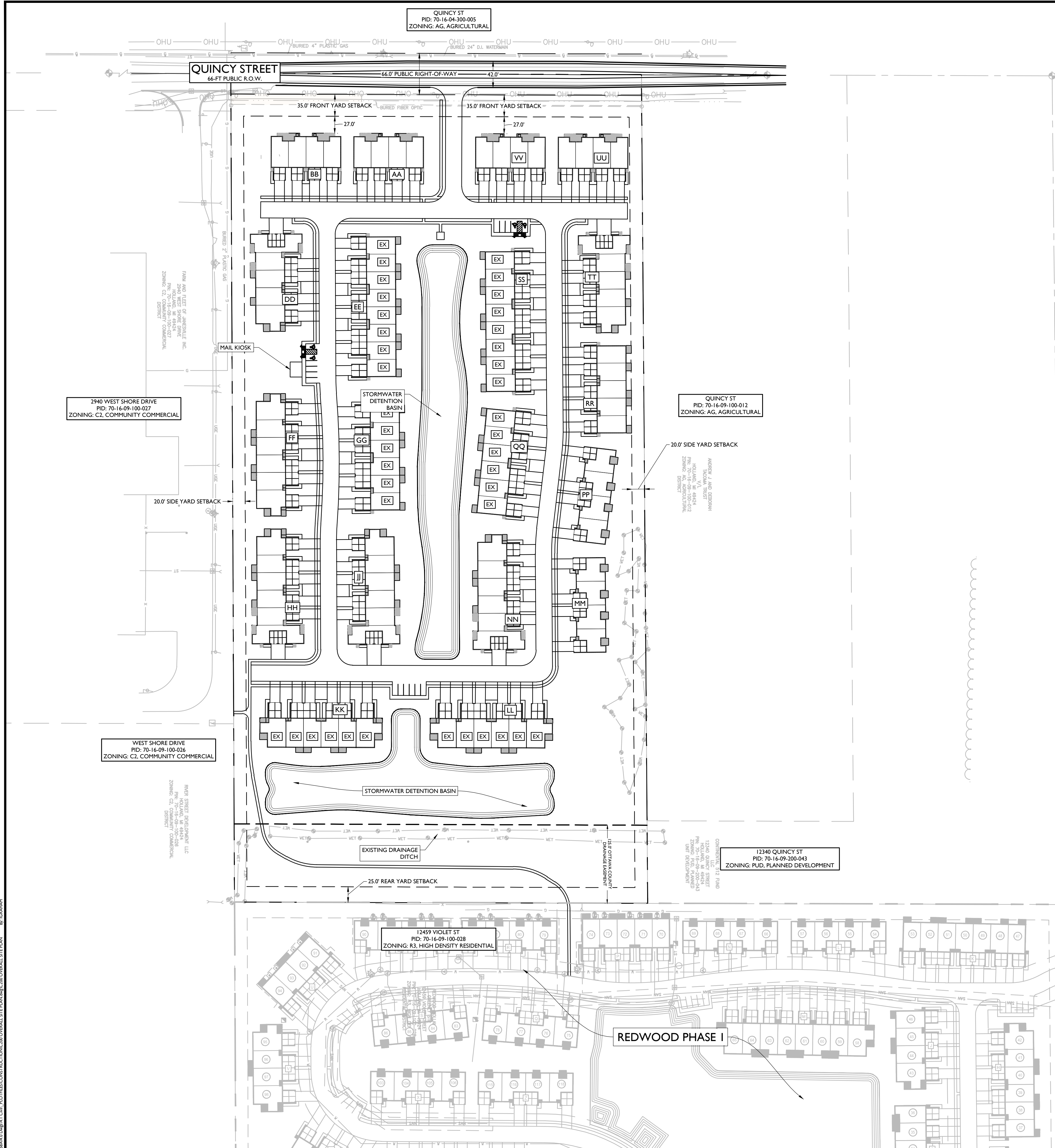
 QUINCY STREET
 HOLLAND TOWNSHIP
 OTTAWA COUNTY
 MICHIGAN



7050 West Saginaw Hwy., Suite 200
Lansing, MI 48917
Phone: 517.272.9835
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT., P.C.

SCALE: AS SHOWN	DATE: 2/28/2025	DRAWN BY: JCK	CHECKED BY: ICG
PROJECT NUMBER: 24011558	DRAWING NAME: C000 COVER SHEET		
SHEET TITLE: COVER SHEET			
SHEET NUMBER: C000			

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SITE DATA:

PARCELS: 70-16-09-100-023, 70-16-09-100-024, 70-16-09-100-025

ZONING: R-3 - HIGH DENSITY RESIDENTIAL
AG - AGRICULTURAL DISTRICT
R-3 - HIGH DENSITY RESIDENTIAL
AG - AGRICULTURAL DISTRICT
C-2 - COMMUNITY COMMERCIAL

LOT AREA: 19.99 ACRES
15 ACRES LESS R.O.W.
9.6 ACRES REQUIRED (108 UNITS * 3,630 SF)

LOT WIDTH: 80 FEET REQUIRED
655 FEET PROPOSED

SETBACKS: 35' FRONT
20' SIDE
25' REAR

LOT COVERAGE: 50% ALLOWED
21.1% PROPOSED

BUILDING HEIGHT: MAXIMUM 60 FEET
PROPOSED 13 FEET, 1 STORY

UNIT DENSITY: 5.52 UNITS PER ACRE PROPOSED
12 UNITS PER ACRE ALLOWED

UNIT BREAKDOWN: 25 - FORESTWOOD UNITS (23%)
28 - FORESTWOOD EXT GRG UNITS (26%)
7 - MEADOWWOOD UNITS (2%)
8 - MEADOWWOOD EXT GRG UNITS (7%)
7 - CAPEWOOD UNITS (5%)
4 - CAPEWOOD EXT GRG UNITS (4%)
4 - WILLOWOOD INTERIOR (4%)
4 - WILLOWOOD EXTERIOR (4%)
8 - HAYDENWOOD INTERIOR (7%)
8 - HAYDENWOOD EXTERIOR (7%)
10 - DOGWOOD UNITS (9%)
108 TOTAL UNITS

PARKING: 13 STANDARD
4 ACCESSIBLE
17 TOTAL GUEST PARKING SPACES

DRIVE AISLE SECTION: 26' WIDE
5' GREENBELT
4' SIDEWALK

WASTE MANAGEMENT: TRASH WILL BE COLLECTED VIA CURB-SIDE RECEPTACLES AT EACH UNIT. TRASH COLLECTION WILL BE A PRIVATE ENTITY.

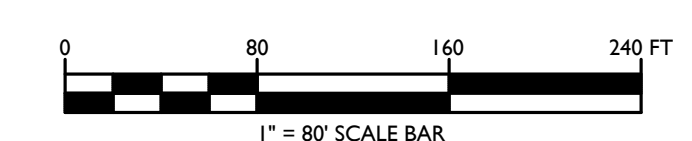
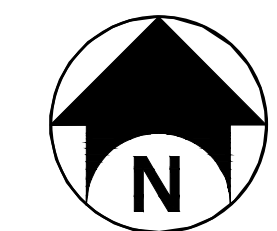
SITE LIGHTING: NO ON-STREET LIGHTING IS PROPOSED. LIGHTING IS SOLAR-POWERED AND MOUNTED ON BUILDING PORCHES.

GENERAL NOTES:

- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL CONSULT THE CONSTRUCTION MANAGER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CALL "MISS DIG" AT LEAST 3 WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES, DESIGN STANDARDS AND STANDARD SPECIFICATIONS OF THE AGENCIES WHICH HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS INCLUDED IN THESE PLANS.
- UNLESS SPECIFICALLY STATED, THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT PRIOR TO THE BEGINNING OF WORK FROM THE PREVIOUSLY MENTIONED AGENCIES.
- THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AND COORDINATE THE WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- THE CONTRACTOR IS TO VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE/she IS BUILDING FROM ARE THE VERY LATEST PLANS AND SPECIFICATIONS THAT HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE/SHE SHALL SEEK CLARIFICATION IN WRITING FROM THE CONSTRUCTION MANAGER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS FROM APPROVED DRAWINGS.
- ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.M.U.T.C.D.).
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE STANDARDS OF THE OTTAWA COUNTY ROAD COMMISSION.

SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- (A) KEY NOTE
- (B) BUILDING IDENTIFICATION
- [Pattern] CONCRETE PAVEMENT SECTION
- [Pattern] HMA STANDARD PAVEMENT SECTION
- [Pattern] HMA MILL AND OVERLAY PAVEMENT SECTION



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REV	DATE	DRAWN BY	DESCRIPTION
1	02/28/25	ICG	SITE PLAN REVIEW

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APARTMENT NEIGHBORHOODS
7007 EAST PLEASANT VALLEY ROAD
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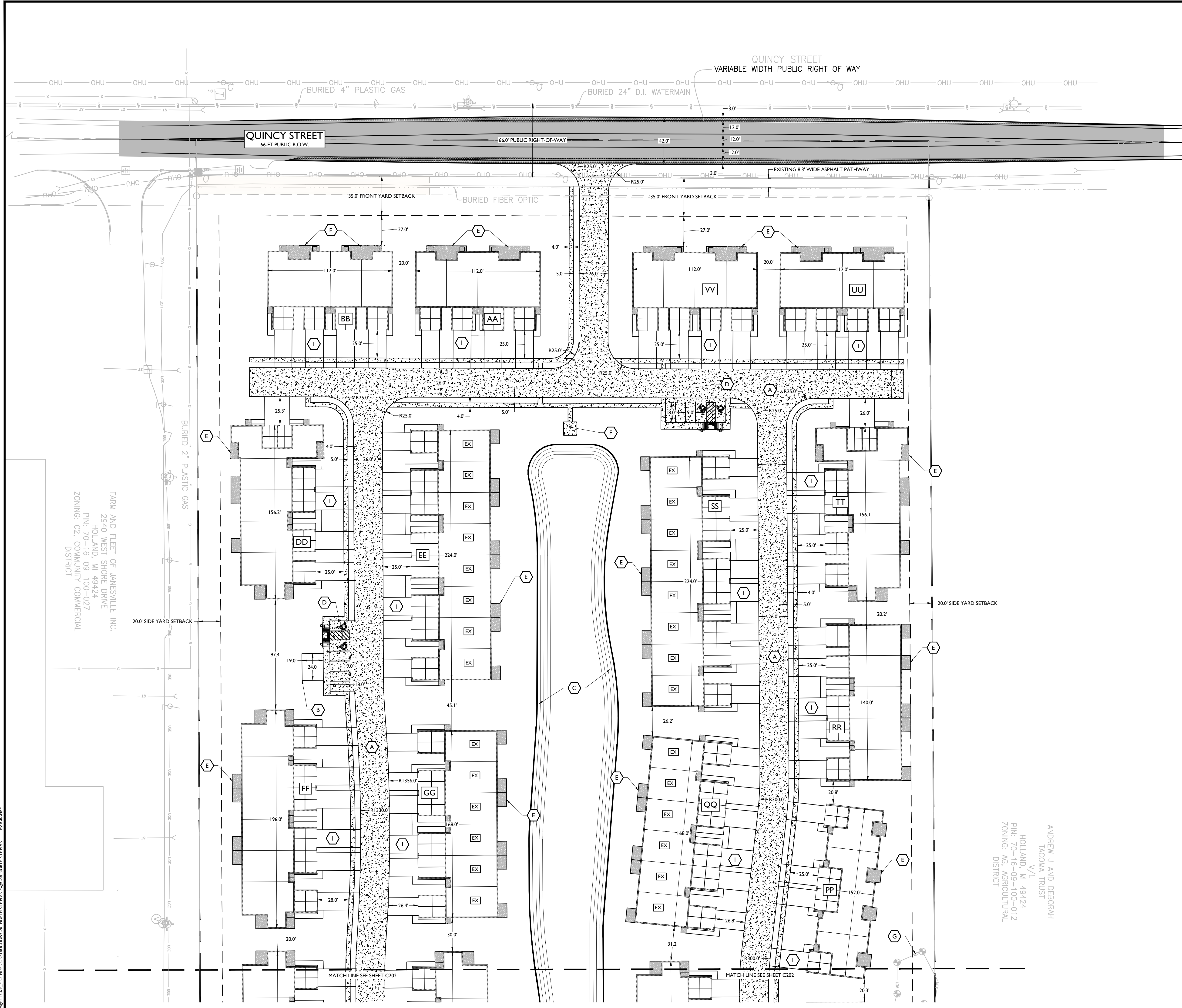
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SCALE: AS SHOWN	DATE: 2/28/2025	DRAWN BY: JCK	CHECKED BY: ICG
PROJECT NUMBER: 24011558	DRAWING NAME: C200 OVERALL SITE PLAN		

SHEET TITLE: **OVERALL SITE PLAN**

SHEET NUMBER: **C200**

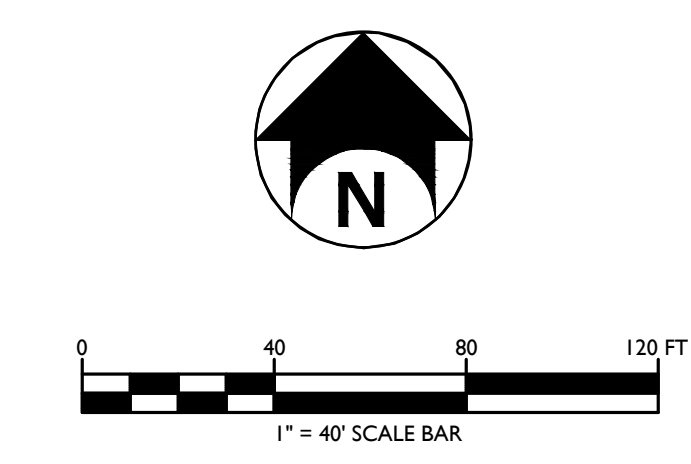


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 - (A) KEY NOTE
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 - [Pattern] CONCRETE PAVEMENT SECTION
 - [Pattern] HMA STANDARD PAVEMENT SECTION
 - [Pattern] HMA MILL AND OVERLAY PAVEMENT SECTION

- KEY NOTES:**
- A. STANDARD PAVEMENT SECTION
 - B. MAIL KIOSK
 - C. STORMWATER DETENTION BASIN
 - D. ADA STRIPING AND SIGNAGE (TYP.)
 - E. AT-GRADE, NON-STRUCTURAL PATIO/PORCH (TYP.)
 - F. PERGOLA
 - G. REGULATED WETLANDS
 - H. NOT USED
 - I. STANDARD 16'X25' DRIVEWAY (TYP.)

FARM AND FLEET OF JANESVILLE INC.
 2940 WEST SHORE DRIVE
 HOLLAND, MI 49424
 P/N: 70-16-09-100-027
 ZONING: C2, COMMUNITY COMMERCIAL DISTRICT

ANDREW J AND DEBORAH
 TACOMA TRUST
 V/L
 HOLLAND, MI 49424
 P/N: 70-16-09-100-012
 ZONING: AG, AGRICULTURAL DISTRICT

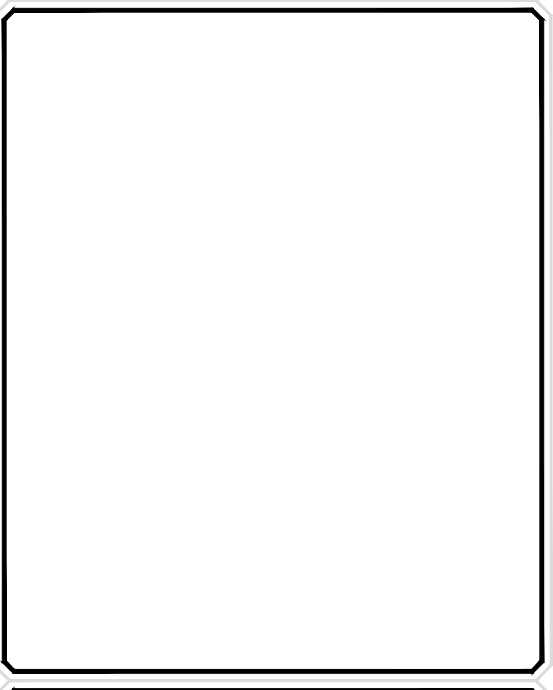


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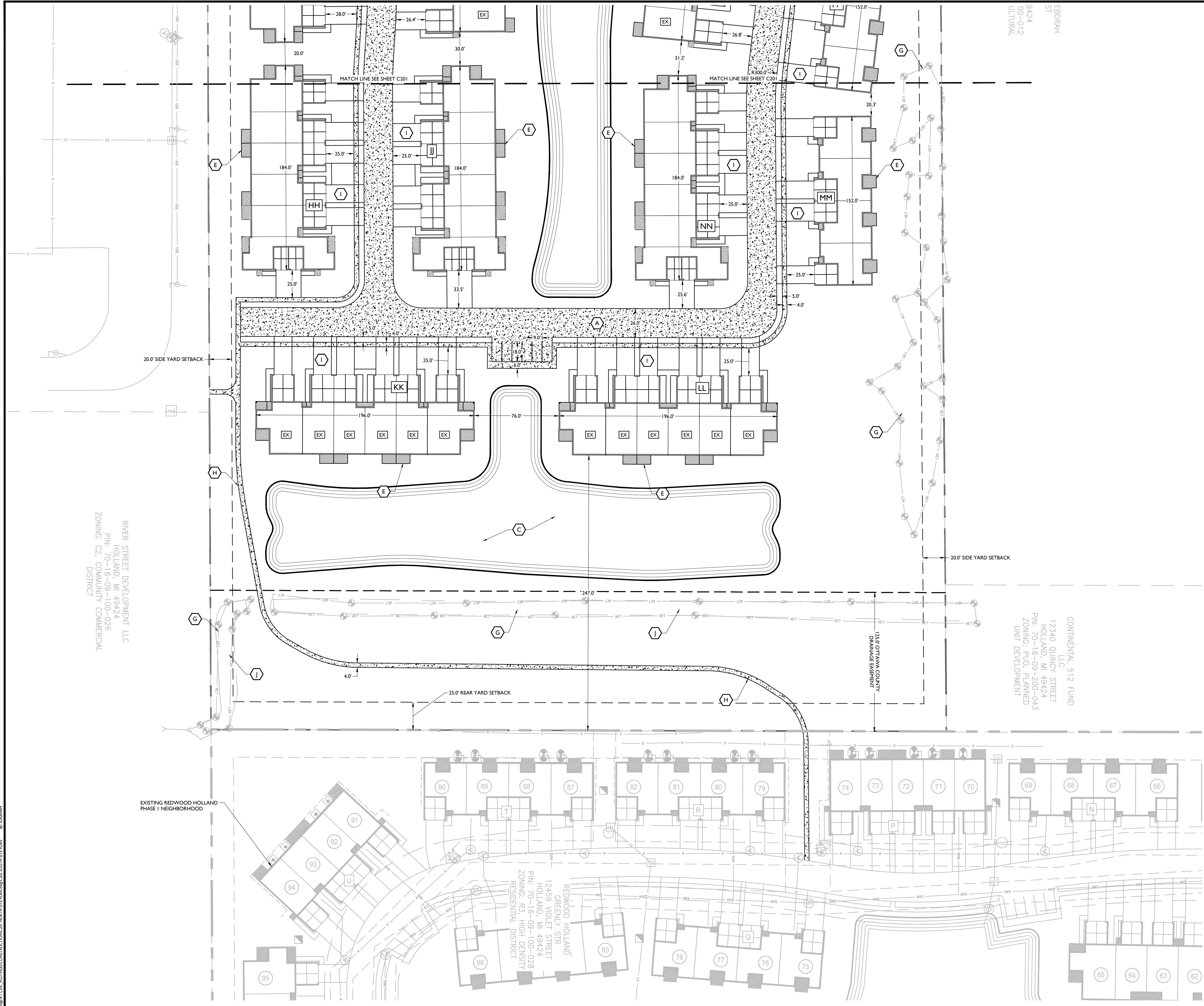
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LANSING (BA)
 7050 West Saginaw Hwy., Suite 200
 Lansing, MI 48917
 Phone: 517.272.9835
 COLLIER ENGINEERING & DESIGN
 ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT., P.C.

SCALE: AS SHOWN DATE: 2/28/2025 DRAWN BY: JCK CHECKED BY: ICG
 PROJECT NUMBER: 24011558 DRAWING NAME: C201 NORTH SITE PLAN

SHEET TITLE: **NORTH SITE PLAN**
 SHEET NUMBER: **C201**



SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- KEY NOTE
- BUILDING IDENTIFICATION
- CONCRETE PAVEMENT SECTION
- HMA STANDARD PAVEMENT SECTION
- HMA MILL AND OVERLAY PAVEMENT SECTION

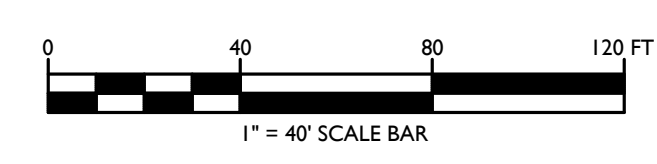
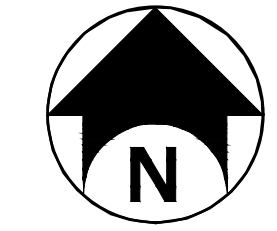
- KEY NOTES:**
- A. STANDARD PAVEMENT SECTION
 - B. NOT USED.
 - C. STORMWATER DETENTION BASIN
 - D. ADA STRIPING AND SIGNAGE (TYP.)
 - E. AT-GRADE, NON-STRUCTURAL PATIO/PORCH (TYP.)
 - F. NOT USED
 - G. REGULATED WETLANDS
 - H. 4-FT CONCRETE SIDEWALK
 - I. STANDARD 16'X25' DRIVEWAY (TYP.)

RIVER STREET DEVELOPMENT LLC
 HOLLAND, MI 49424
 PIN: 70-16-09-100-026
 ZONING: C2, COMMUNITY COMMERCIAL DISTRICT

CONTINENTAL 512 FUND
 LLC
 12340 QUINCY STREET
 HOLLAND, MI 49424
 PIN: 70-16-09-200-043
 ZONING: PUD, PLANNED UNIT DEVELOPMENT

REDWOOD HOLLAND
 GREENLY STR
 12459 VIOLET STREET
 HOLLAND, MI 49424
 PIN: 70-16-09-100-028
 ZONING: R3, HIGH DENSITY RESIDENTIAL DISTRICT

EXISTING REDWOOD HOLLAND PHASE I NEIGHBORHOOD



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Formerly Known as **BERGMANN**

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 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DRAWN BY	DESCRIPTION
1	02/28/25	ICG	SITE PLAN REVIEW

REV	DATE	DRAWN BY	DESCRIPTION

Redwood
 APARTMENT NEIGHBORHOODS
 7007 EAST PLEASANT VALLEY ROAD
 INDEPENDENCE, OH 44131
 QUINCY STREET
 HOLLAND TOWNSHIP
 OTTAWA COUNTY
 MICHIGAN

Colliers
 Engineering & Design
 LANSING (BA)
 7050 West Saginaw Hwy., Suite 200
 Lansing, MI 48917
 Phone: 517.272.9835
 COLLIER ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT., P.C.

SCALE: AS SHOWN	DATE: 2/28/2025	DRAWN BY: JCK	CHECKED BY: ICG
PROJECT NUMBER: 24011558	DRAWING NAME: C201 NORTH SITE PLAN		

SHEET TITLE: **SOUTH SITE PLAN**

SHEET NUMBER: **C202**

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SPREAD	COND.	NOTES
DECIDUOUS TREES						
AC FR	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Maple	2.5" cal.	50' ht. 10' w.	B&B	As Shown
AC RU	<i>Acer rubrum</i> 'October Glory'	October Glory Maple	2.5" cal.	40' ht. 30' w.	B&B	As Shown
AM GR	<i>Amelanchier x. grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'-7' ht., multistem	15' ht. 15' w.	B&B	As Shown
BE NI	<i>Betula nigra</i>	River Birch	8'-9' ht., multistem	40' ht. 40' w.	B&B	As Shown
CR VI	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorne	2" cal.	25' ht. 25' w.	B&B	As Shown
GL TR	<i>Gleditsia tricanthos f. inermis</i> 'Skycole'	Skyline Honeylocust	2.5" cal.	35' ht. 25' w.	B&B	As Shown
MA ST	<i>Magnolia stellata</i>	Star Magnolia	6'-7' ht., multistem	15' ht. 10' w.	B&B	As Shown
PL AC	<i>Platanus acerifolia</i> 'Bloodgood'	Bloodgood London Plantetree	2.5" cal.	55' ht. 40' w.	B&B	As Shown
QU AL	<i>Quercus alba</i>	White Oak	2.5" cal.	50' ht. 50' w.	B&B	As Shown
QU BI	<i>Quercus bicolor</i>	Swamp White Oak	2.5" cal.	50' ht. 50' w.	B&B	As Shown
TA DI	<i>Taxodium distichum</i>	Bald Cypress	2.5" cal.	50' ht. 20' w.	B&B	As Shown
UL AM	<i>Ulmus americana</i> 'Princeton'	Princeton Elm	2.5" cal.	50' ht. 30' w.	B&B	As Shown
ZE SE	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	2.5" cal.	60' ht. 40' w.	B&B	As Shown

EVERGREEN TREES							
JU VI	<i>Juniperus virginiana</i>	Eastern Red Cedar	6' ht.	40' ht. 8' w.	B&B	As Shown	
PI AB	<i>Picea abies</i>	Norway Spruce	8' ht.	40' ht. 25' w.	B&B	As Shown	
PI GL	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	6' ht.	20' ht. 10' w.	B&B	As Shown	
PI ST	<i>Pinus strobus</i>	Eastern White Pine	8' ht.	50' ht. 20' w.	B&B	As Shown	
TH ST	<i>Thuja standishii x plicata</i> 'Green Giant'	Green Giant Arborvitae	6' ht.	40' ht. 12' w.	B&B	As Shown	
SHRUBS							
CH CO	<i>Chamaecyparis p. compacta variegata</i>	Dwarf Variegated False Cypress	24" ht	2' ht. 2' w.	CONT.	As Shown	
CO SE	<i>Cornus sericea</i>	Redtwig Dogwood	36" ht	6' ht. 8' w.	CONT.	As Shown	
IT VI	<i>Itea virginica</i> 'Little Henry'	Little Henry Virginia Sweetspire	24" ht	2' ht. 2' w.	CONT.	As Shown	
JU CH	<i>Juniperus chinensis</i> 'Nicks Compact'	Nicks Compact Juniper	24" ht	2' ht. 2' w.	CONT.	As Shown	
VI CA	<i>Viburnum carlesii</i>	Koreanspice Viburnum	24" ht	4' ht. 4' w.	CONT.	As Shown	
PERENNIALS AND ORNAMENTAL GRASSES							
HE HR	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	#1	1' ht. 1' w.	cont.	18" o.c.	
MI SI	<i>Miscanthus sinensis</i> 'Gracillimus'	Gracillimus Maiden Grass	#2	5' ht. 3' w.	cont.	As Shown	
NE JU	<i>Nepeta</i> 'Junior Walker'	Junior Walker Catmint	#1	1' ht. 2.5' w.	cont.	As Shown	

**Plant substitutions may be required depending on plant availability. Any substitutions must be approved by landscape architect.

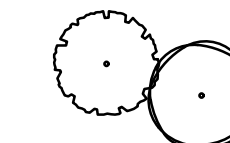
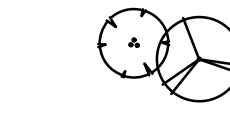
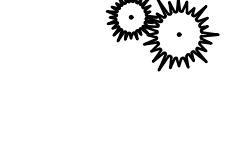

ZONING REQUIREMENTS

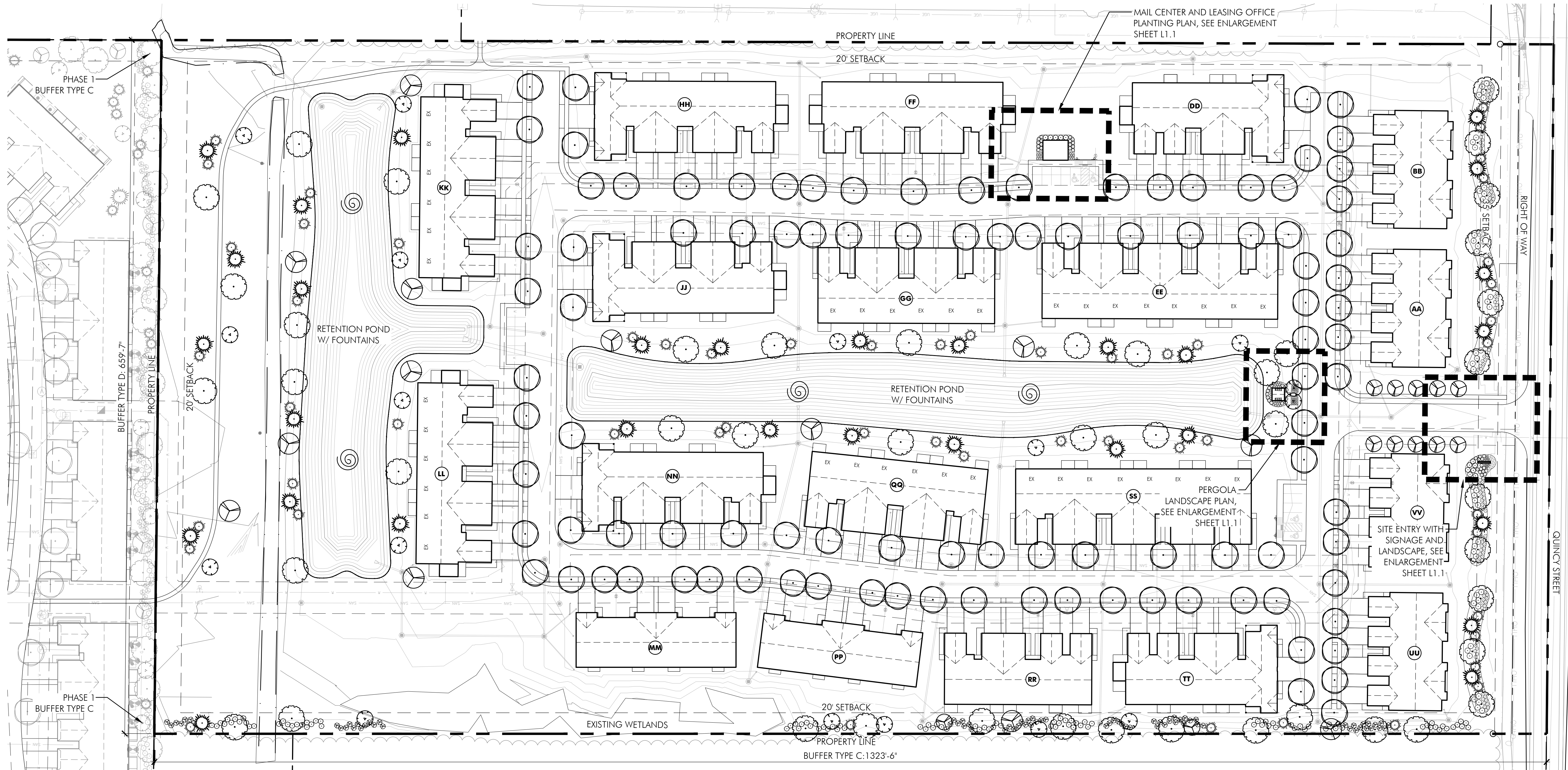
11.7 BUFFER REQUIREMENTS
 BUFFER TYPE C - 1 CANOPY AND 7 SHRUBS PER EACH 40 LINEAR FEET ALONG THE PROPERTY LINE
 BUFFER TYPE D - 1 CANOPY OR EVERGREEN TREE PER EACH 60 LINEAR FEET ALONG THE PROPERTY LINE.

SOUTH PROPERTY LINE - BUFFER D: 660 LF
 REQUIRED: 660 / 60 = 11 TREES & 11x7 = 77 SHRUBS (UTILIZING REDWOOD PHASE 1 BUFFER 31 TREES & 132 SHRUBS)

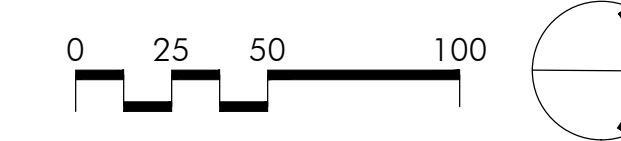
EAST PROPERTY LINE - BUFFER C: 1324 LF
 REQUIRED: 1324 / 40 = 34 & 34x7 = 238 SHRUBS
 PROVIDED: 27 TREES & 170 SHRUBS (NOT IMPACTING EXISTING WETLAND AREA)

PLANTING LEGEND

-  PROPOSED DECIDUOUS TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  PERENNIALS & SHRUBS



Overall Landscape Plan
 SCALE: 1" = 50'



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 100 Northwoods Blvd, Ste A
 Columbus, Ohio 43235
 p 614.255.3399

Cincinnati
 20 Village Square, Floor 3
 Cincinnati, Ohio 45246
 p 614.360.3066

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Project Name
Redwood
Holland MI P2
 Holland Township, MI



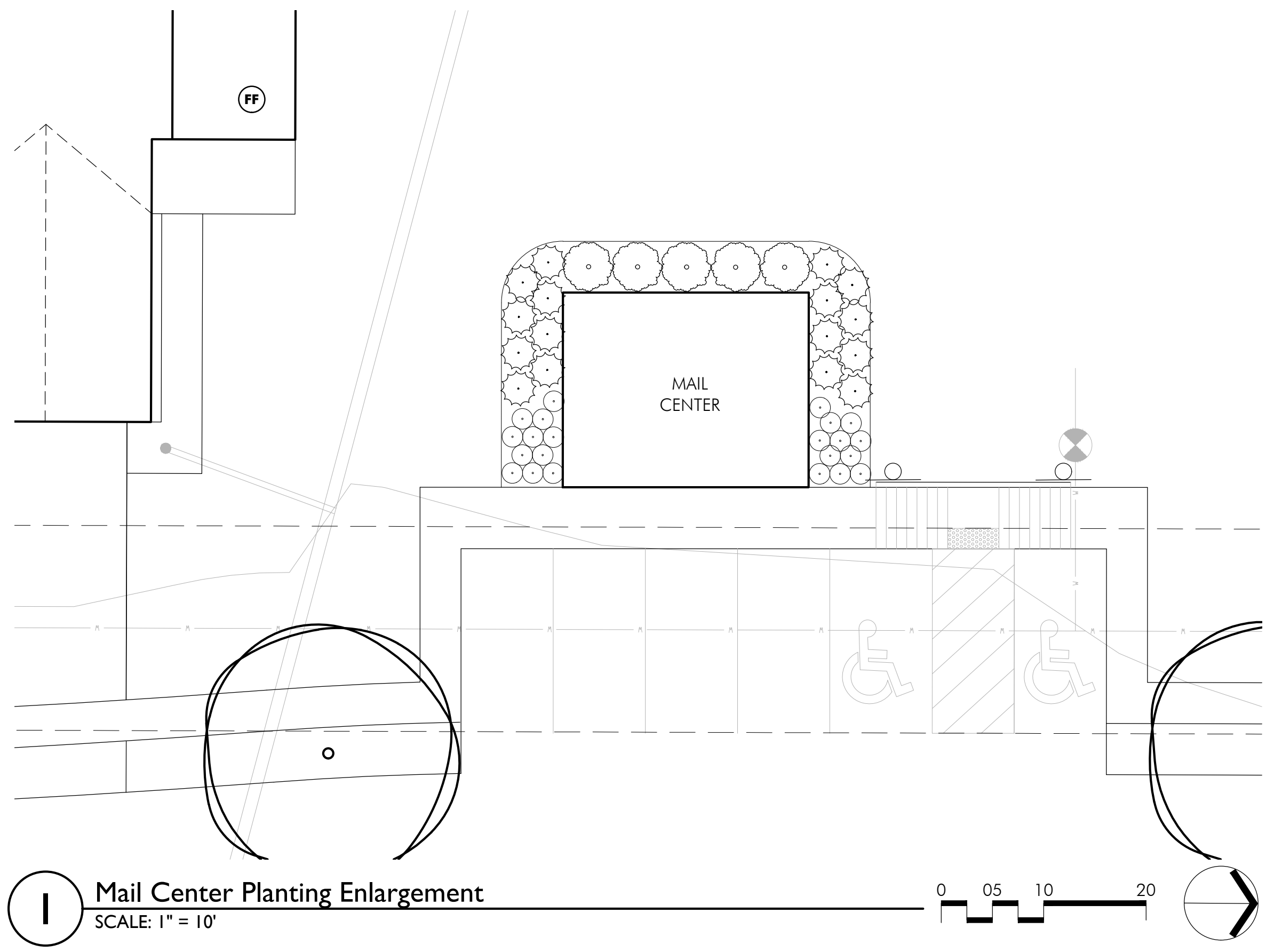
Prepared For
 Redwood Living
 7510 Pleasant Valley Rd.
 Independence, OH 44131

Project Info
 Project # 25008
 Date 02/28/2025
 By GB, TF
 Scale As Noted

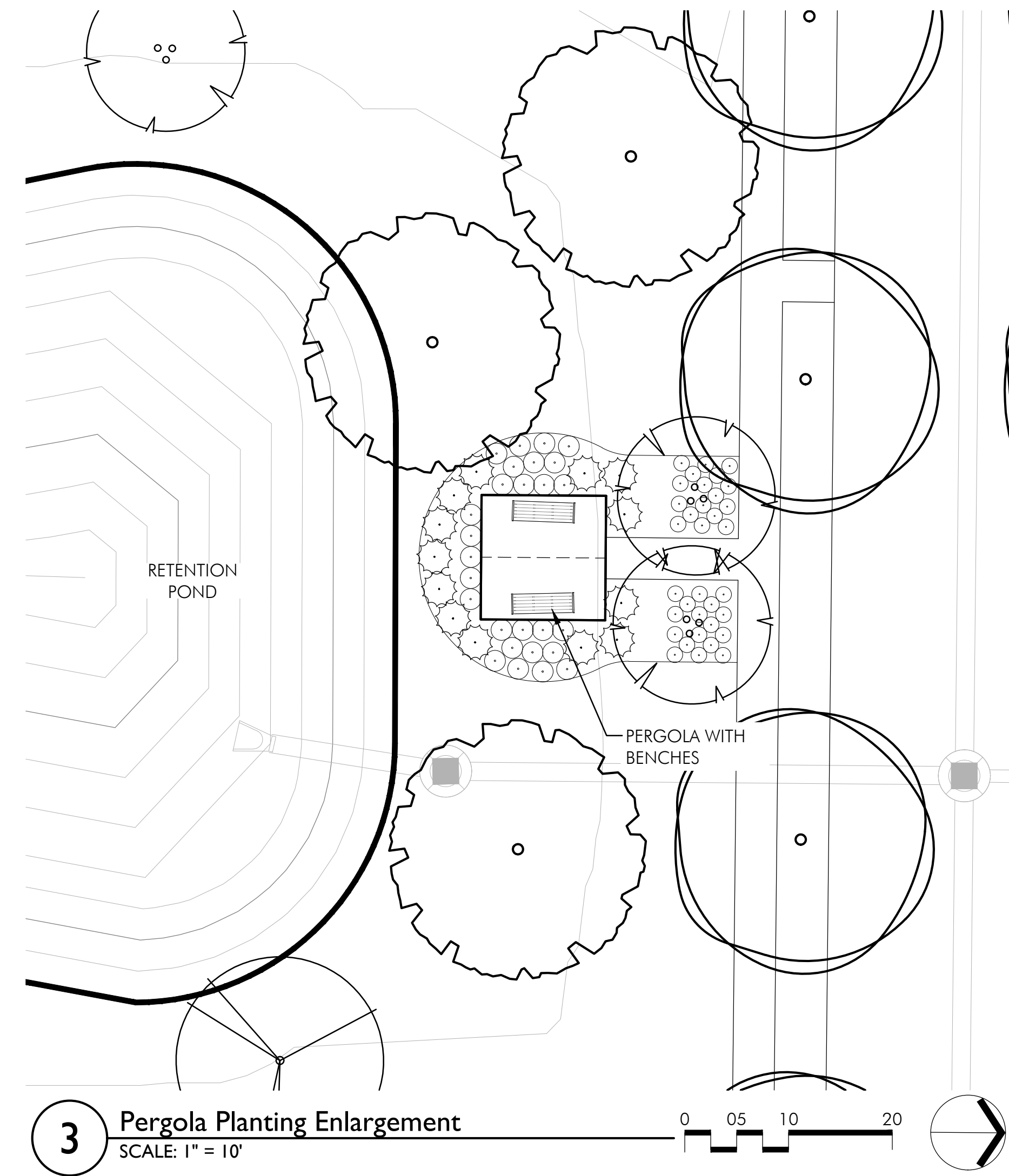
Revisions

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OVERALL SITE PLAN

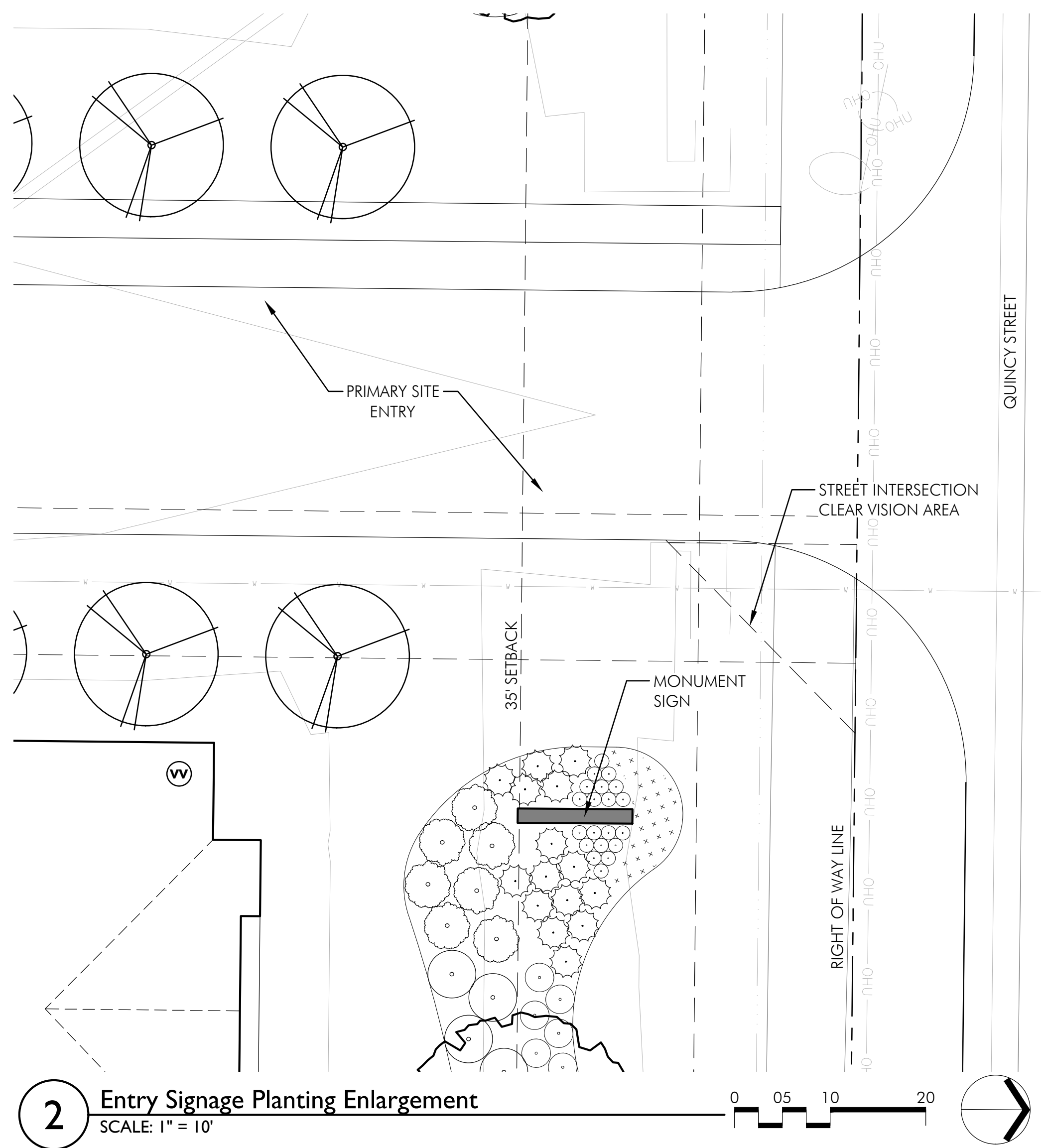
Sheet #
L1.0



1 Mail Center Planting Enlargement
SCALE: 1" = 10'

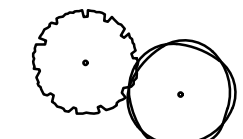
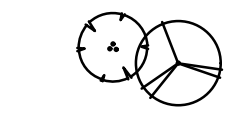
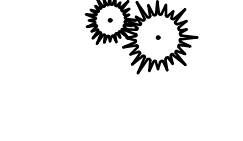




3 Pergola Planting Enlargement
SCALE: 1" = 10'



2 Entry Signage Planting Enlargement
SCALE: 1" = 10'

PLANTING LEGEND

-  PROPOSED DECIDUOUS TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  PERENNIALS & SHRUBS
-  ANNUALS & BULBS



Columbus
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p 614.255.3399

Cincinnati
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Project Name
Redwood
Holland MI P2
Holland Township, MI



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7510 Pleasant Valley Rd.
Independence, OH 44131

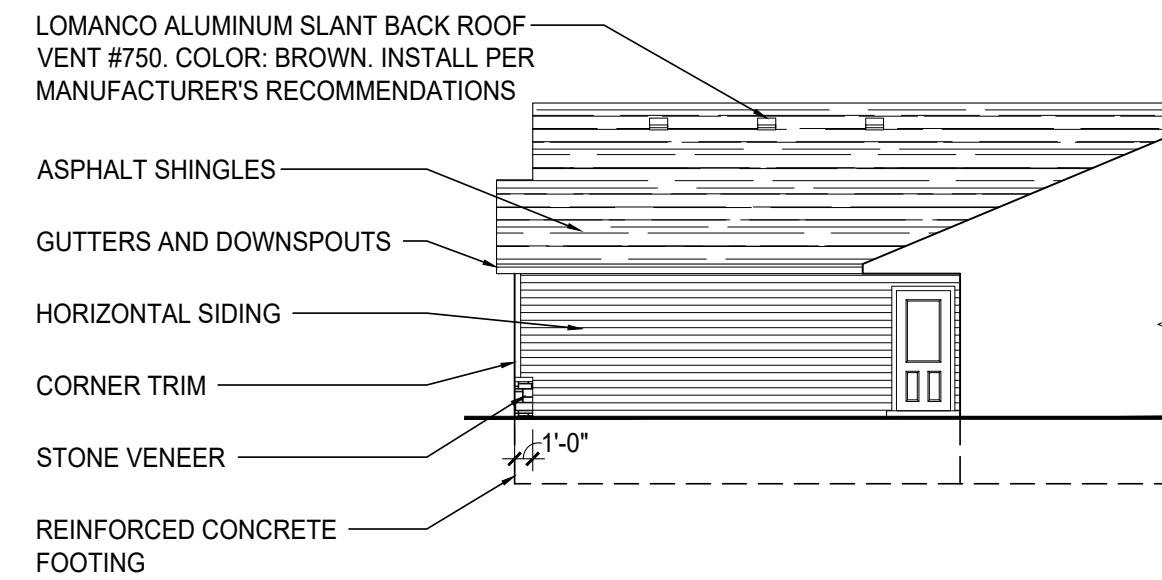
Project Info

Project #	25008
Date	02/28/2025
By	GB, TF
Scale	As Noted

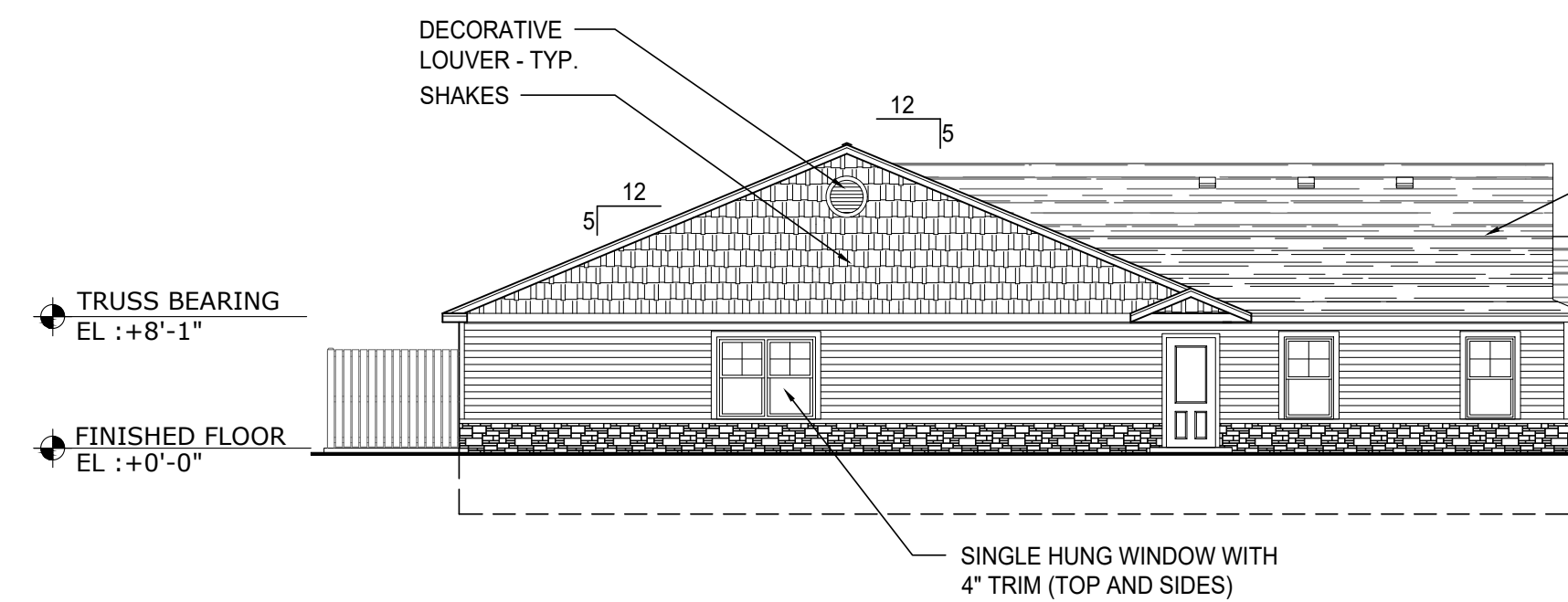
Revisions

Sheet Title
PLANTING
ENLARGEMENTS

Sheet #
L1.1

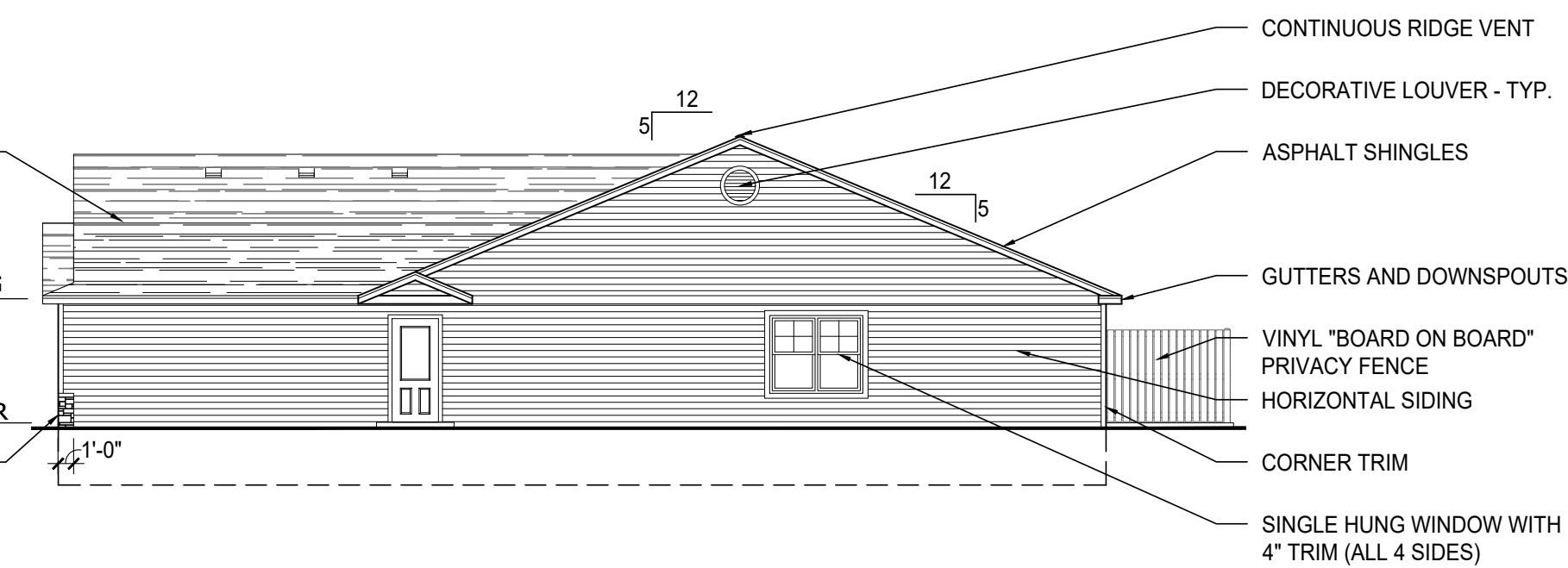


5 PARTIAL SIDE ELEVATION FORESTWOOD
SCALE: 3/32" = 1'-0"

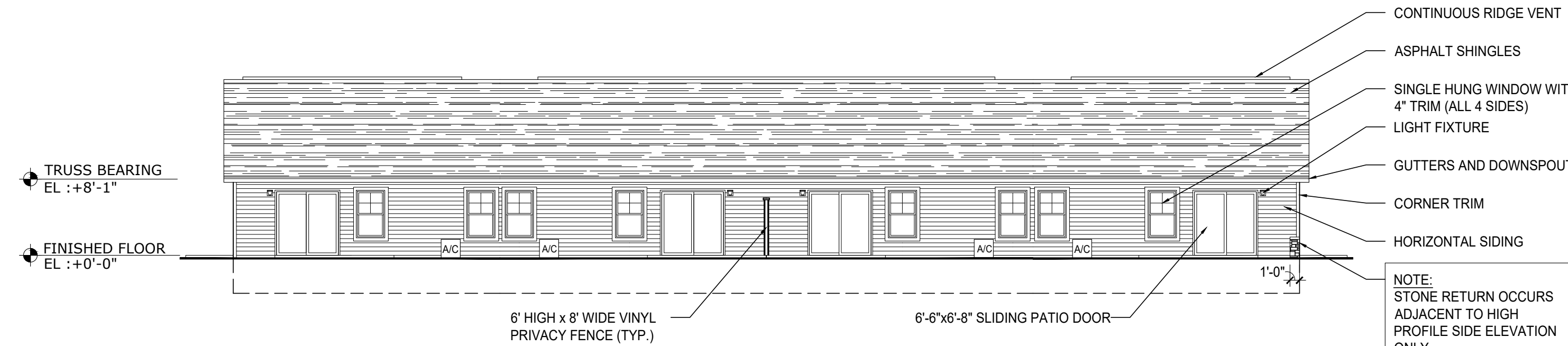


4 HIGH PROFILE SIDE ELEVATION MEADOWOOD
SCALE: 3/32" = 1'-0"

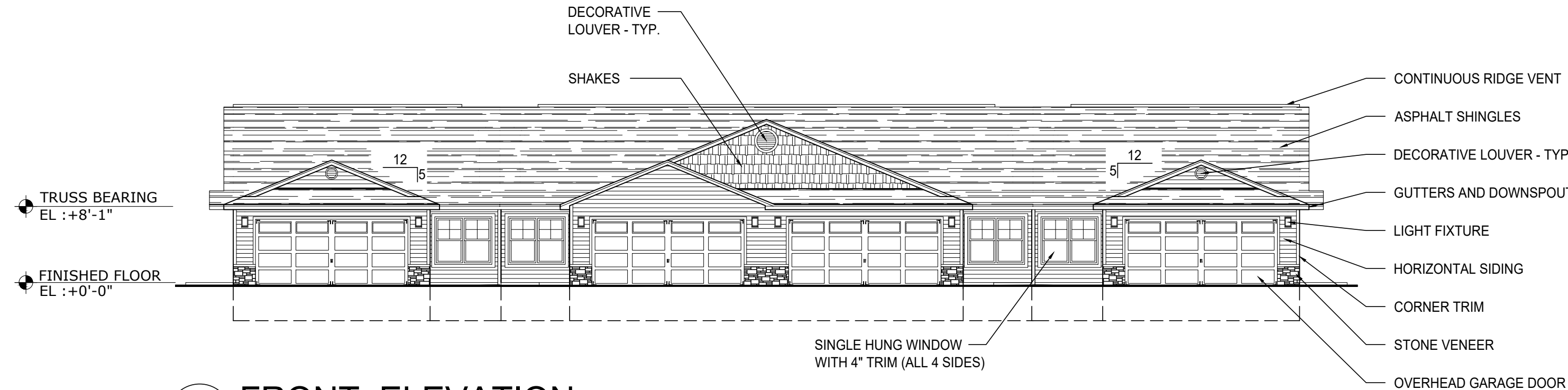
NOTE: HIGH PROFILE SIDE ELEVATION OCCURS AT STREET VIEW ONLY



3 STANDARD SIDE ELEVATION MEADOWOOD
SCALE: 3/32" = 1'-0"

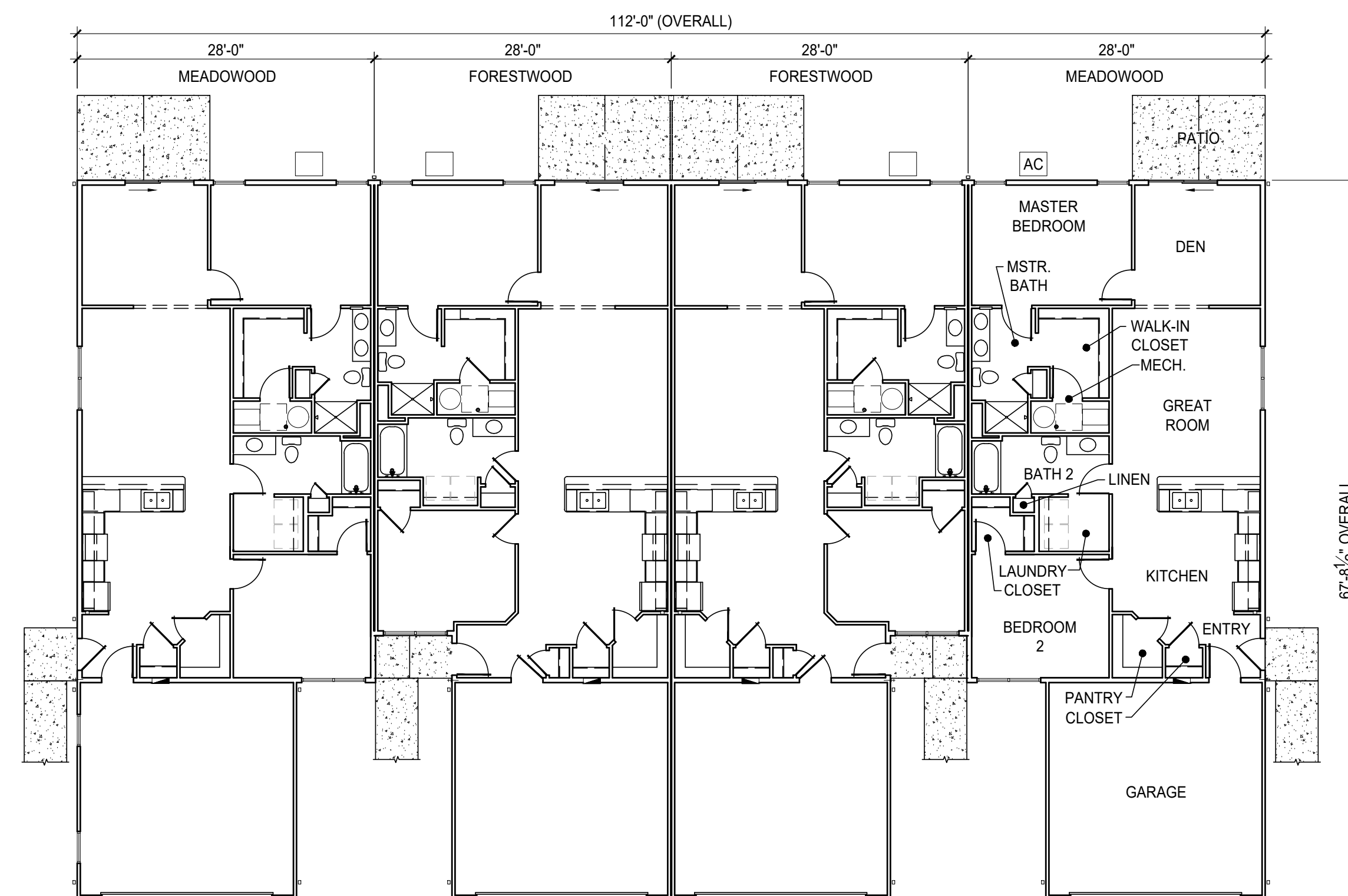


2 REAR ELEVATION MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"



1 FRONT ELEVATION MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"

Extended Garage Footprint is the same with the exception of the garage being 4' longer to accommodate large vehicles



OVERALL FLOOR PLAN MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE: ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.

PRELIMINARY

NOTE!!! THIS DRAWING IS NOT FOR CONSTRUCTION

REVISIONS

phone 330.666.5770
fax 330.666.8812

MPG
MANN • PARSONS • GRAY ARCHITECTS
3660 Embassy Parkway Fairlawn, OH 44333
mpg-architects.com

BUILDING FLOOR PLAN AND ELEVATIONS

DATE: JANUARY 8, 2021

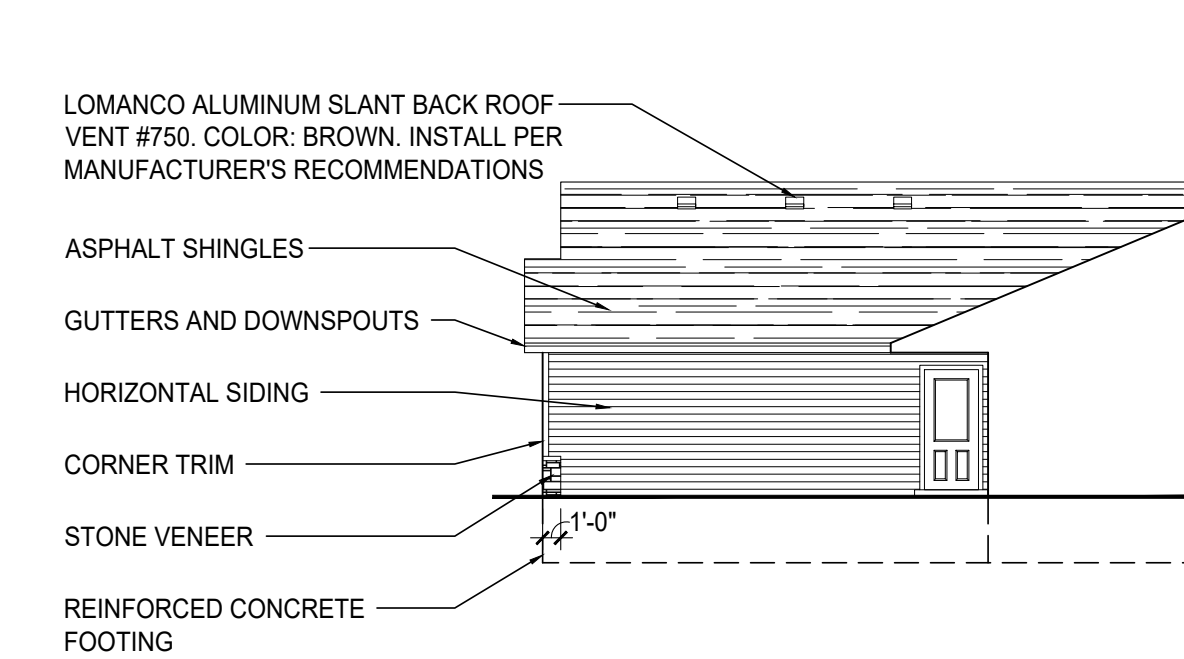
PROJECT #: 9920

REDWOOD STANDARDS

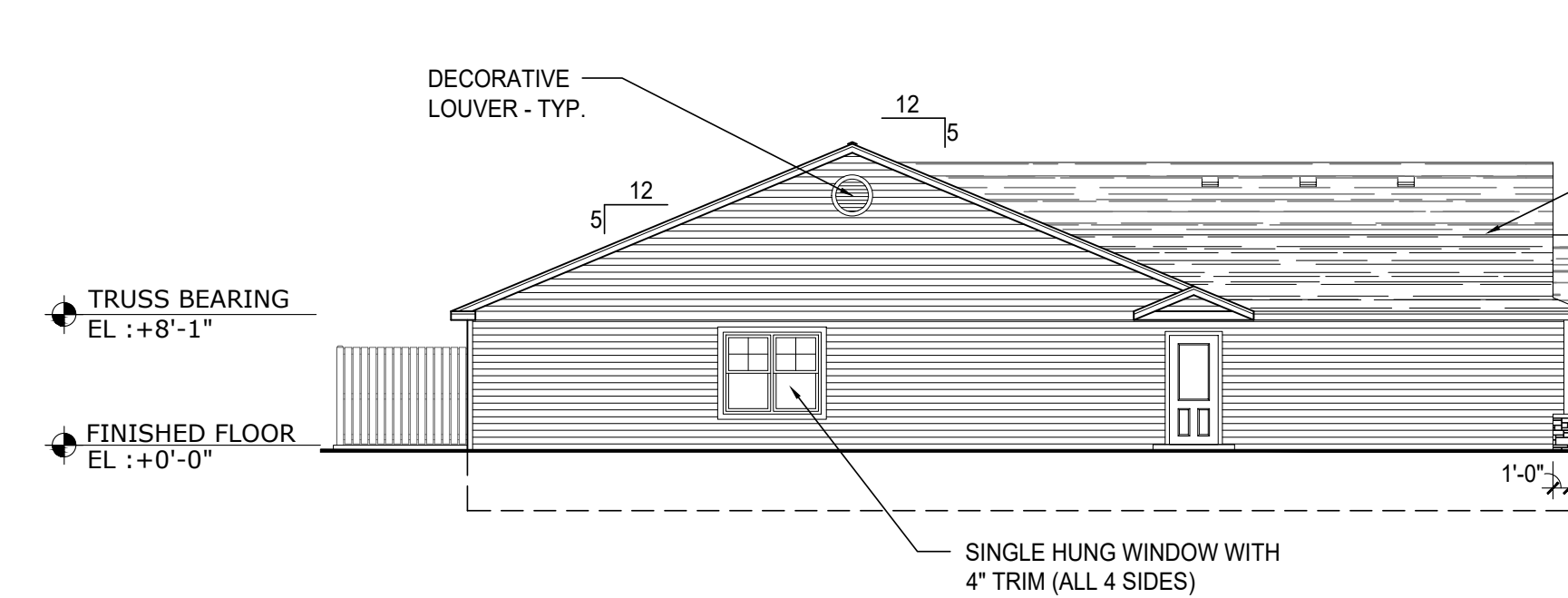
Redwood
APARTMENT NEIGHBORHOODS

A1.1

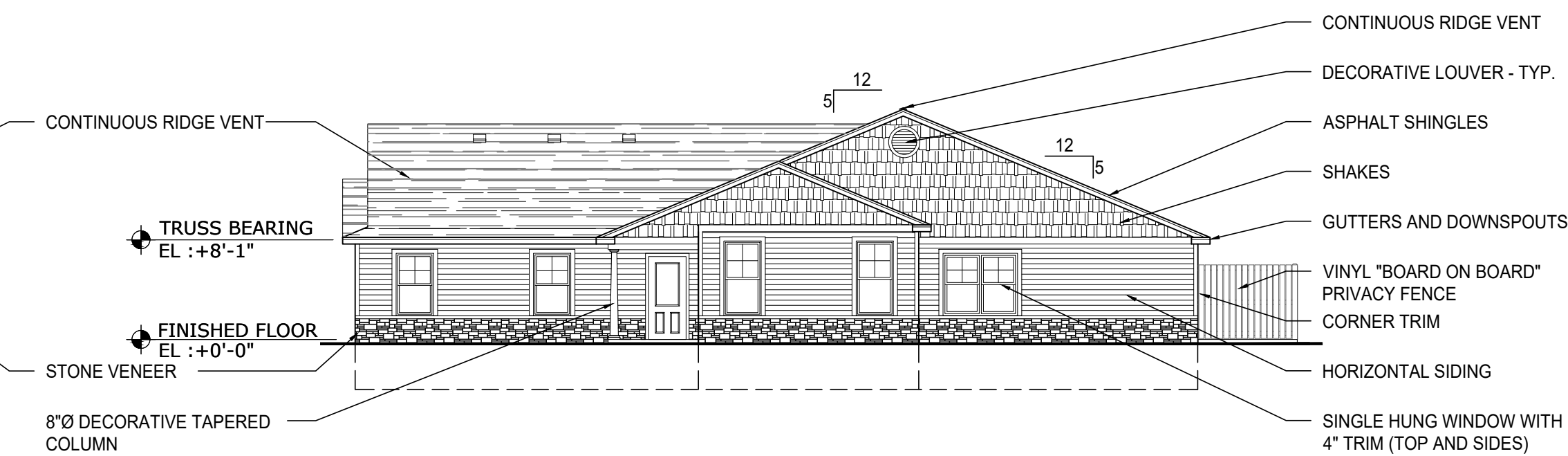
REVISIONS



**5 PARTIAL SIDE ELEVATION
FORESTWOOD**
SCALE: 3/32" = 1'-0"

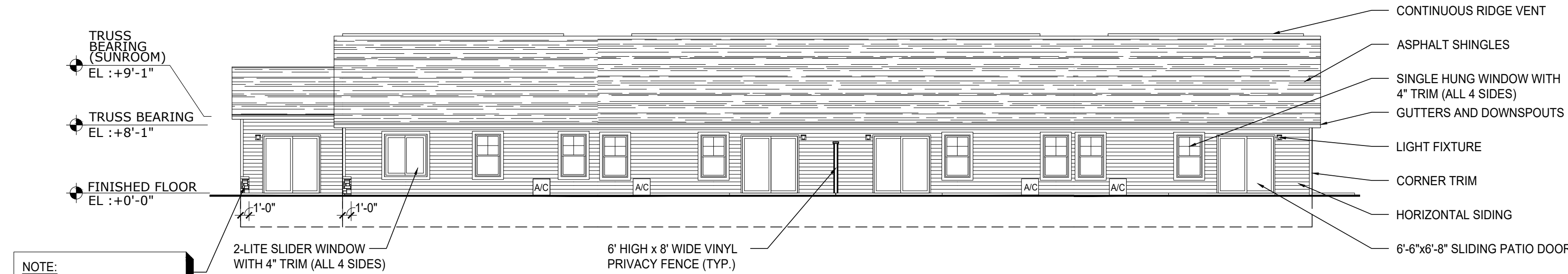


**4 STANDARD SIDE ELEVATION
MEADOWOOD**
SCALE: 3/32" = 1'-0"



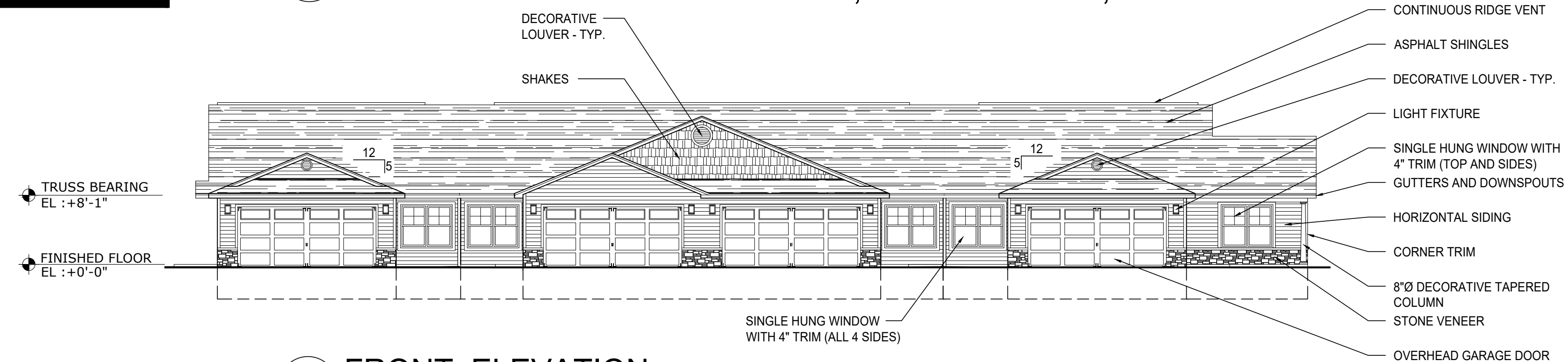
**3 HIGH PROFILE SIDE ELEVATION
CAPEWOOD**
SCALE: 3/32" = 1'-0"

NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY



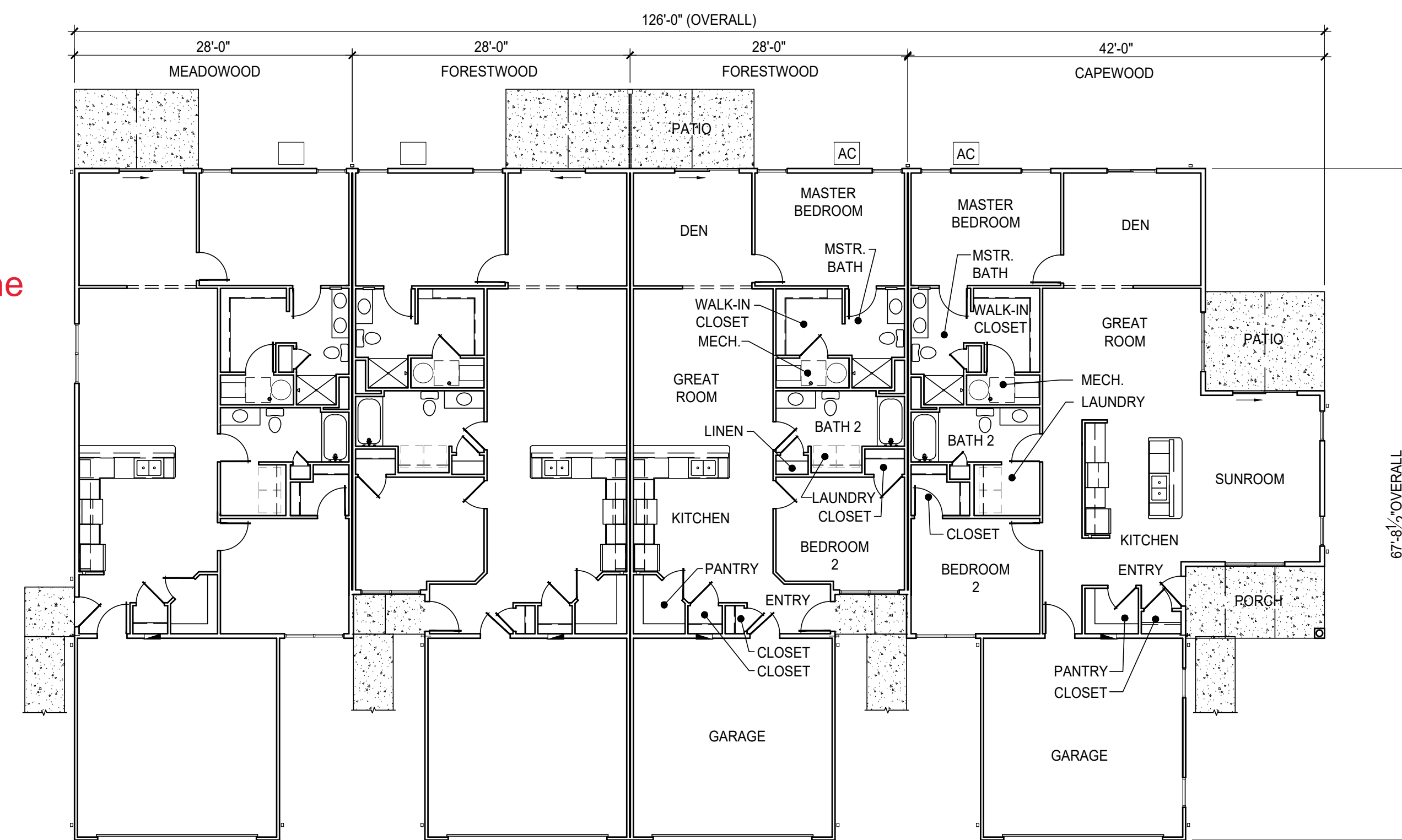
NOTE:
STONE RETURN OCCURS
ADJACENT TO HIGH
PROFILE SIDE ELEVATION
ONLY

**2 REAR ELEVATION
MEADOWOOD, FORESTWOOD, CAPEWOOD**
SCALE: 3/32" = 1'-0"



**1 FRONT ELEVATION
MEADOWOOD, FORESTWOOD, CAPEWOOD**
SCALE: 3/32" = 1'-0"

Extended Garage Footprint is the same with the exception of the garage being 4' longer to accommodate large vehicles



**OVERALL FLOOR PLAN
MEADOWOOD, FORESTWOOD**
SCALE: 3/32" = 1'-0"

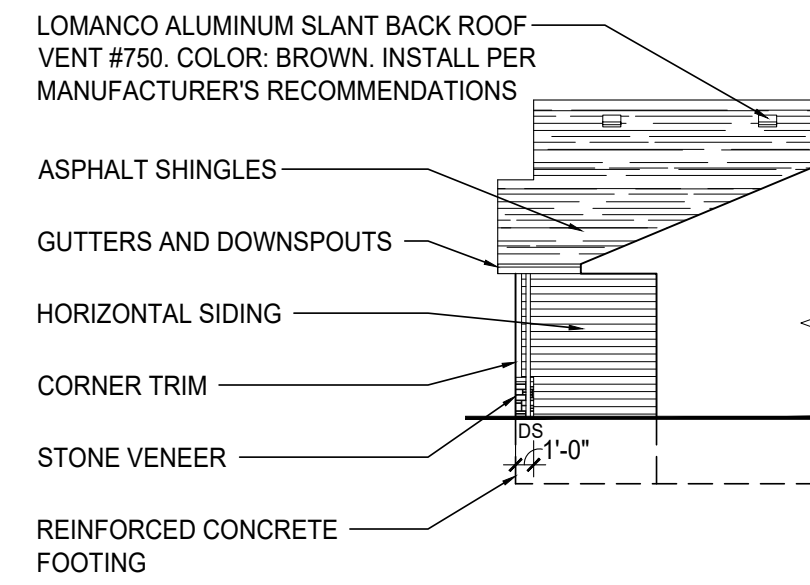
EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
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HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

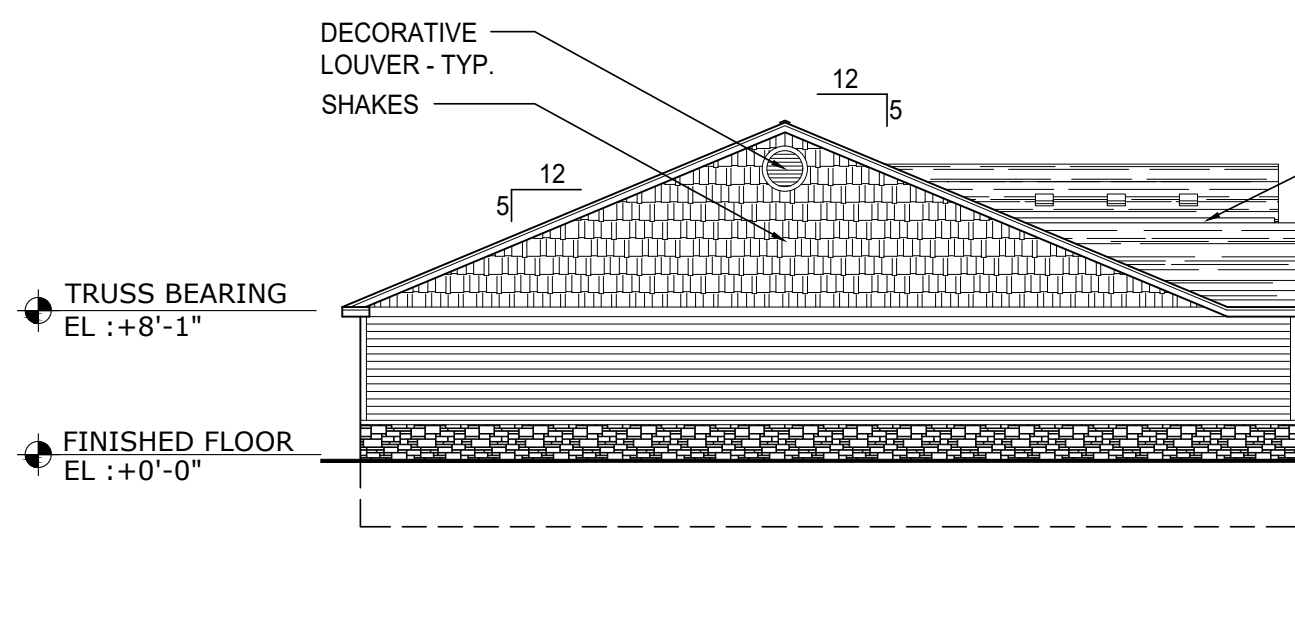
NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.

REVISIONS

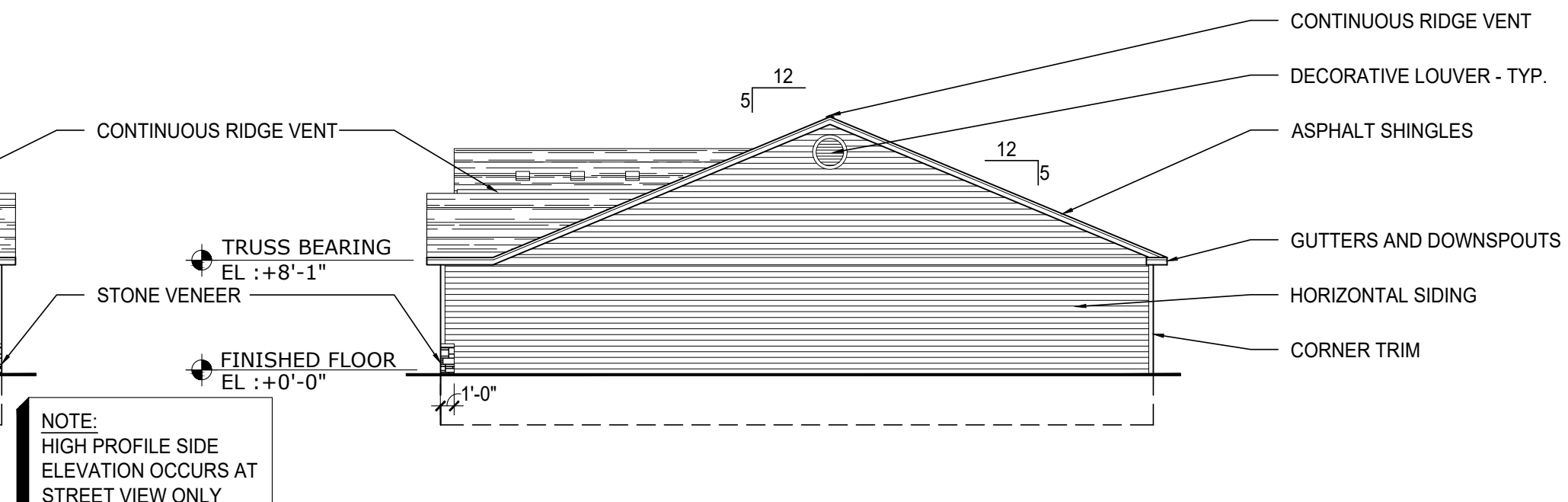
5 PARTIAL SIDE ELEVATION
WILLOWOOD
SCALE: 3/32" = 1'-0"



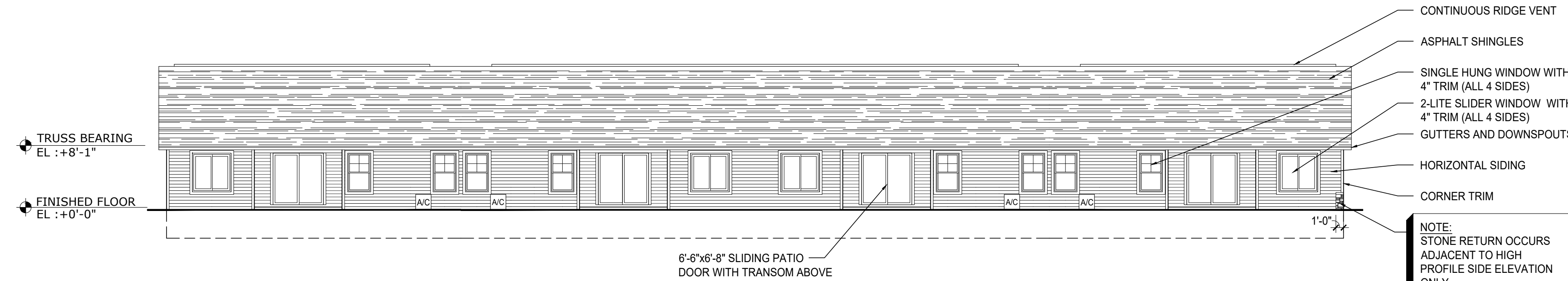
4 HIGH PROFILE SIDE ELEVATION
WILLOWOOD
SCALE: 3/32" = 1'-0"



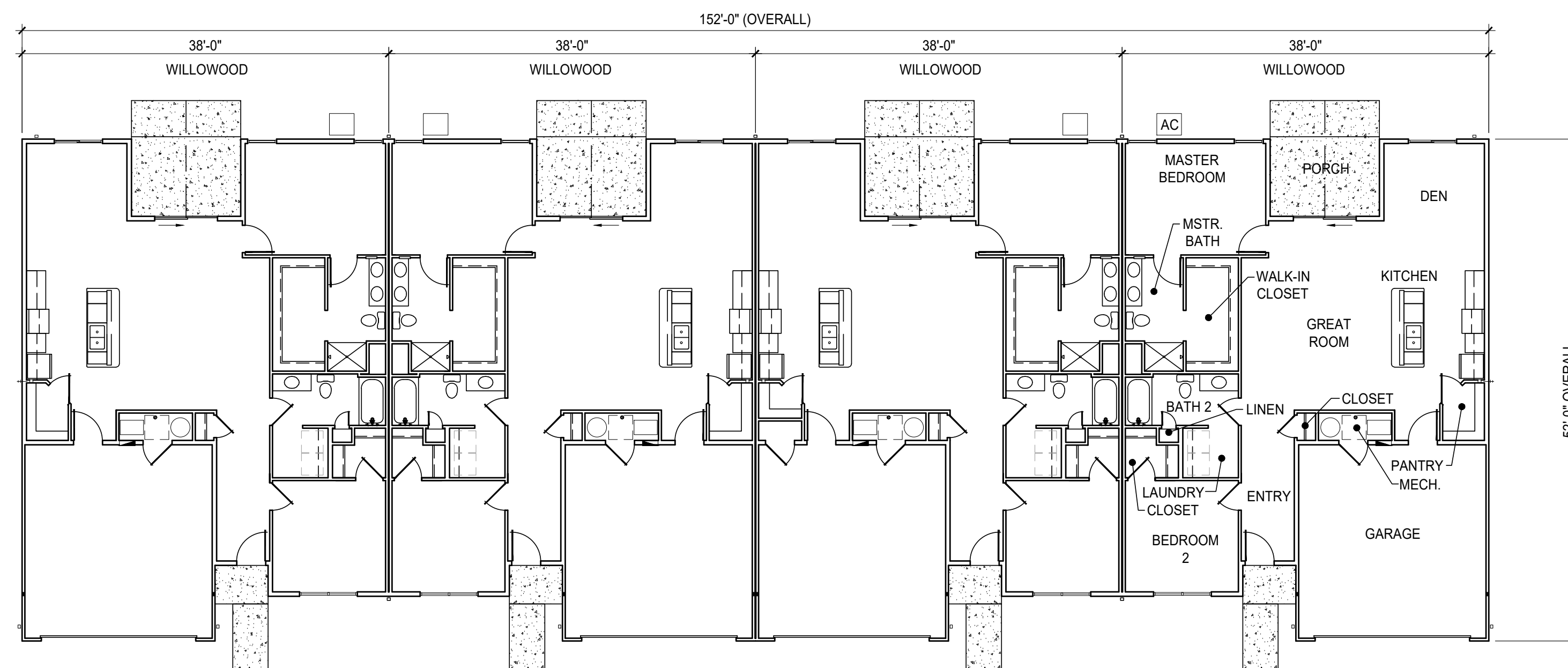
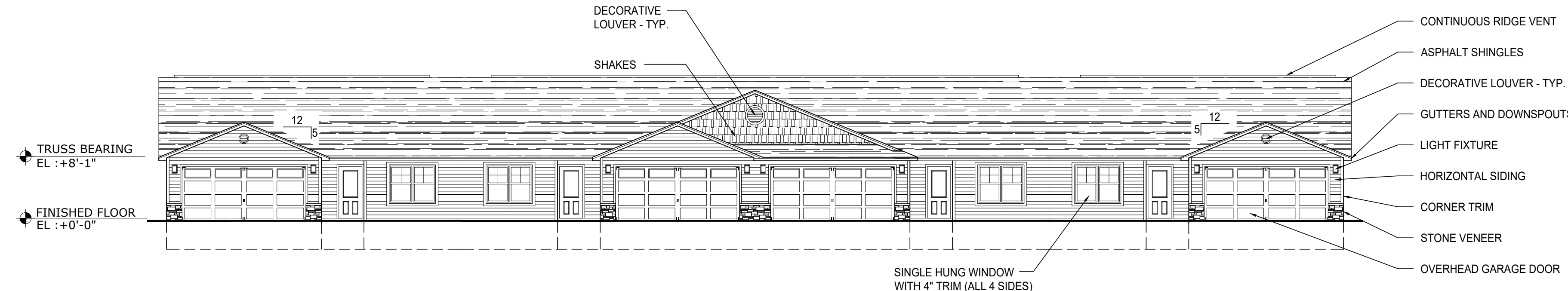
3 STANDARD SIDE ELEVATION
WILLOWOOD
SCALE: 3/32" = 1'-0"



2 REAR ELEVATION
WILLOWOOD
SCALE: 3/32" = 1'-0"



1 FRONT ELEVATION
WILLOWOOD
SCALE: 3/32" = 1'-0"



OVERALL FLOOR PLAN
WILLOWOOD
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
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6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE:
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BUILDING FLOOR PLAN AND ELEVATIONS

DATE: JANUARY 8, 2021

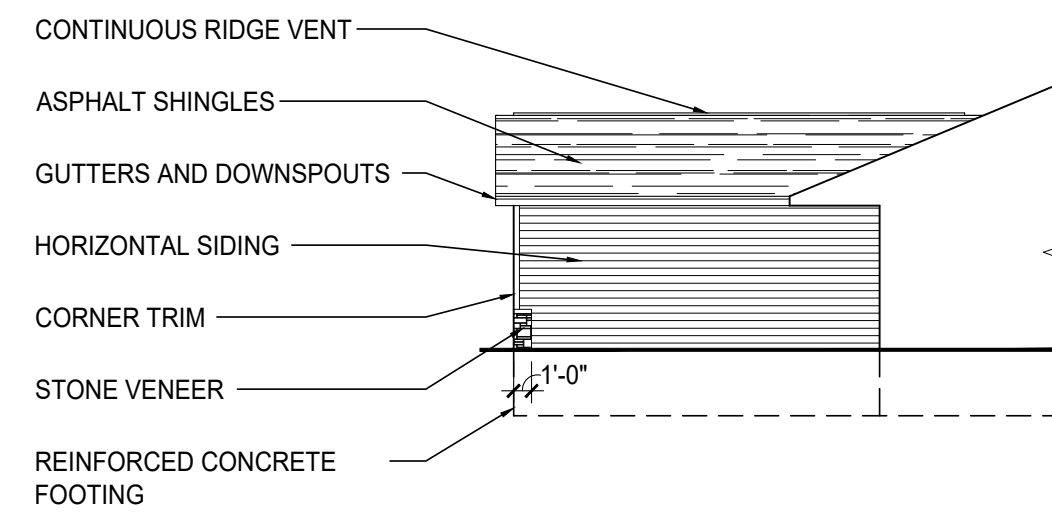
PROJECT #: 9920

REDWOOD STANDARDS

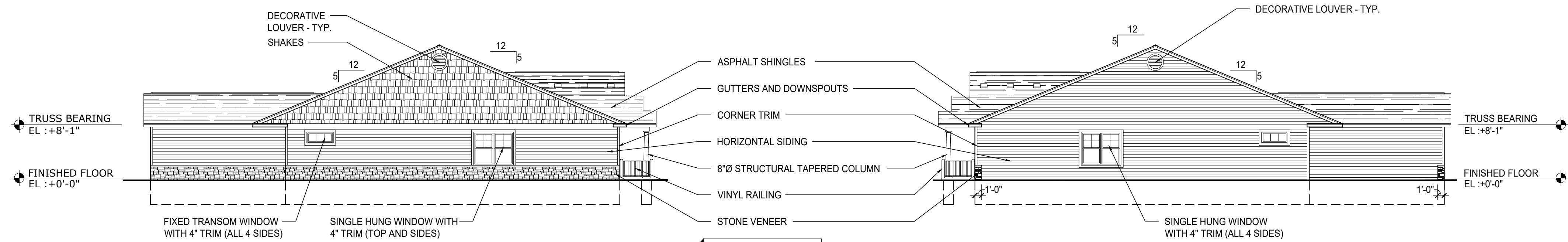


phone 330.666.5770
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3660 Embassy Parkway
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MPG ARCHITECTS
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mpg-architects.com

REVISIONS



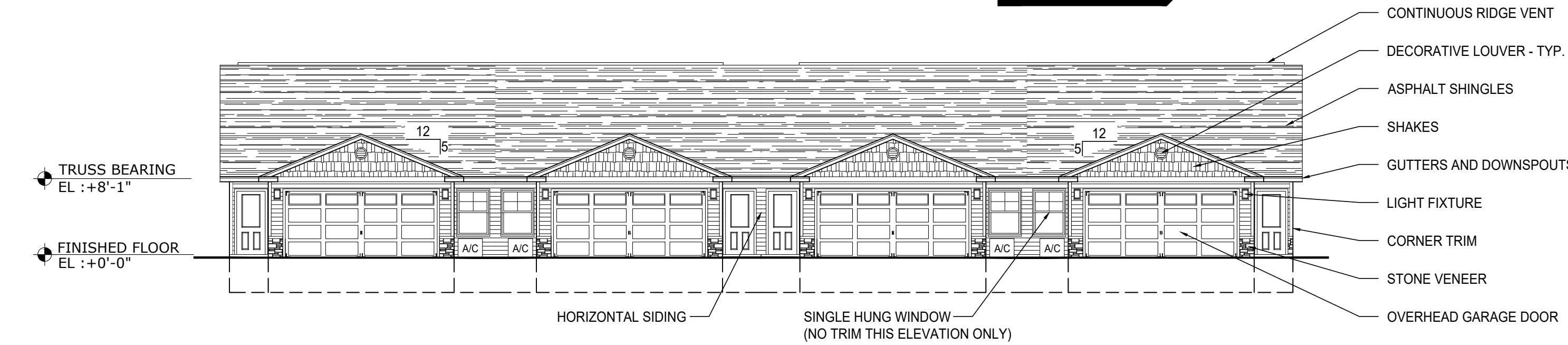
5 PARTIAL SIDE ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD



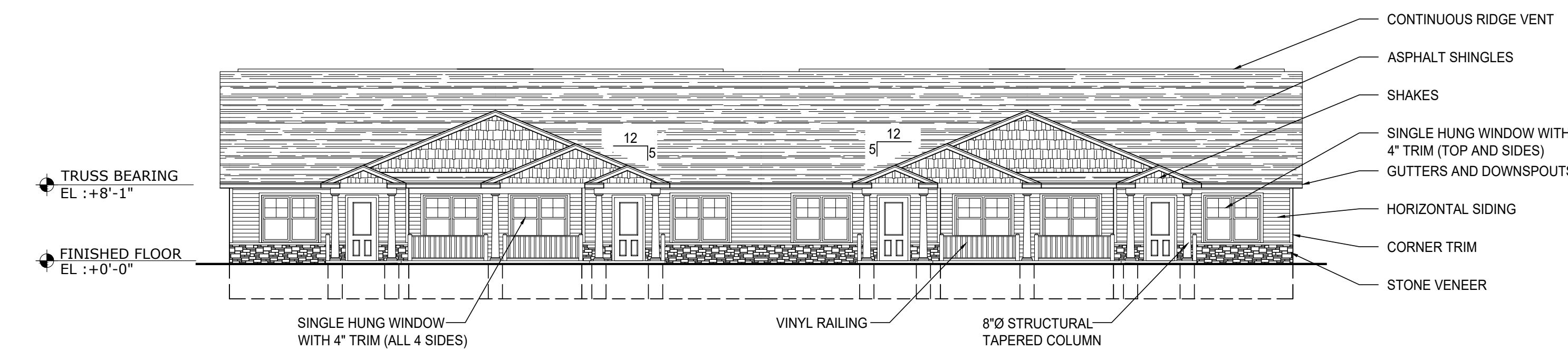
4 HIGH PROFILE SIDE ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD

NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY

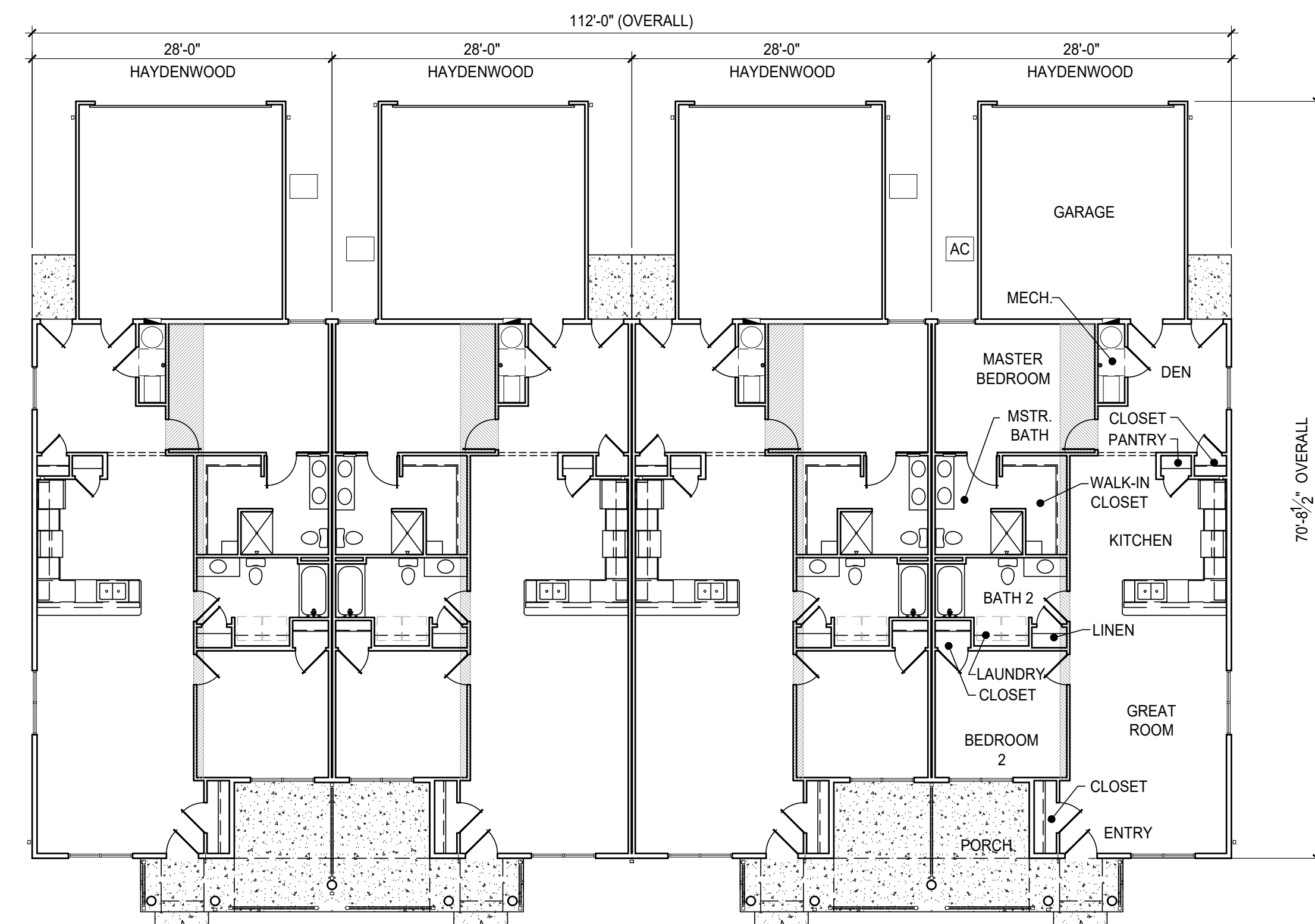
3 STANDARD SIDE ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD



2 REAR ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD



OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0"
HAYDENWOOD

EXTERIOR FINISH MATERIAL SELECTIONS

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CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

NOTE:
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BUILDING FLOOR PLAN AND ELEVATIONS

DATE: JANUARY 8, 2021

PROJECT #: 9920

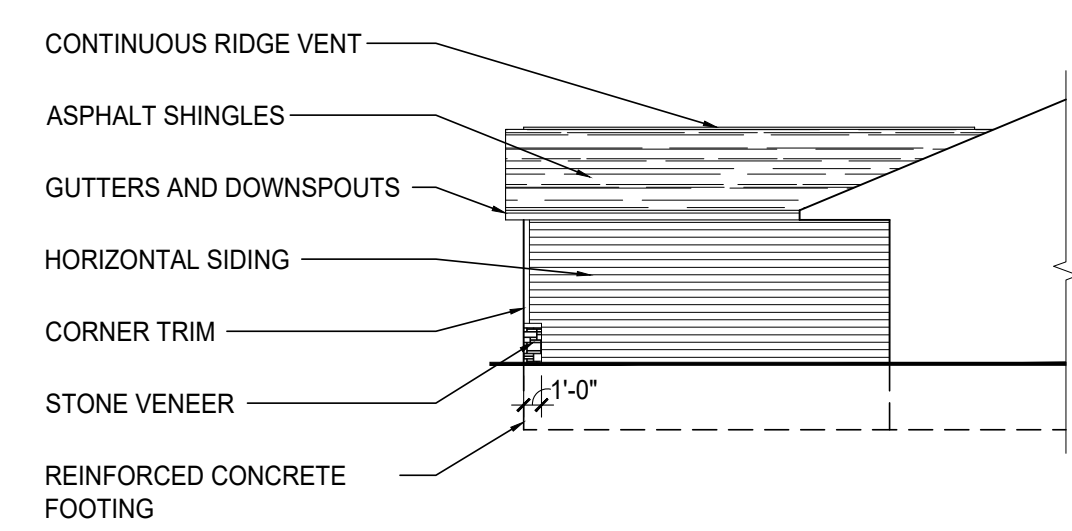
REDWOOD STANDARDS



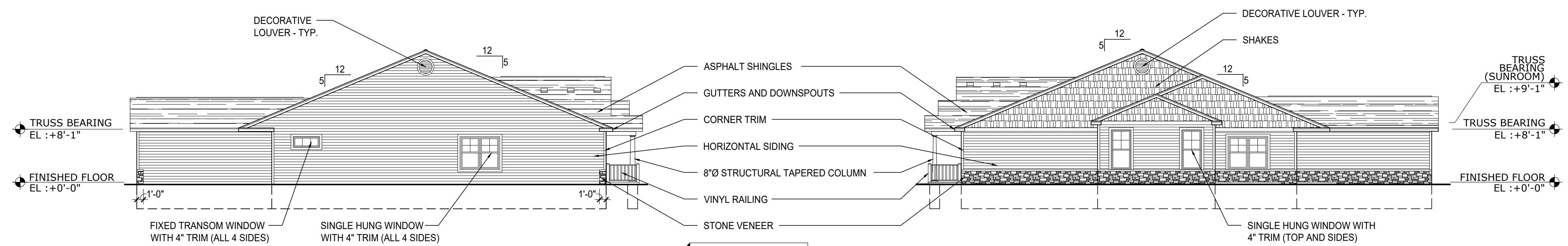
phone 330.666.5770
fax 330.666.8812
3660 Embassy Parkway
Fairlawn, OH 44333
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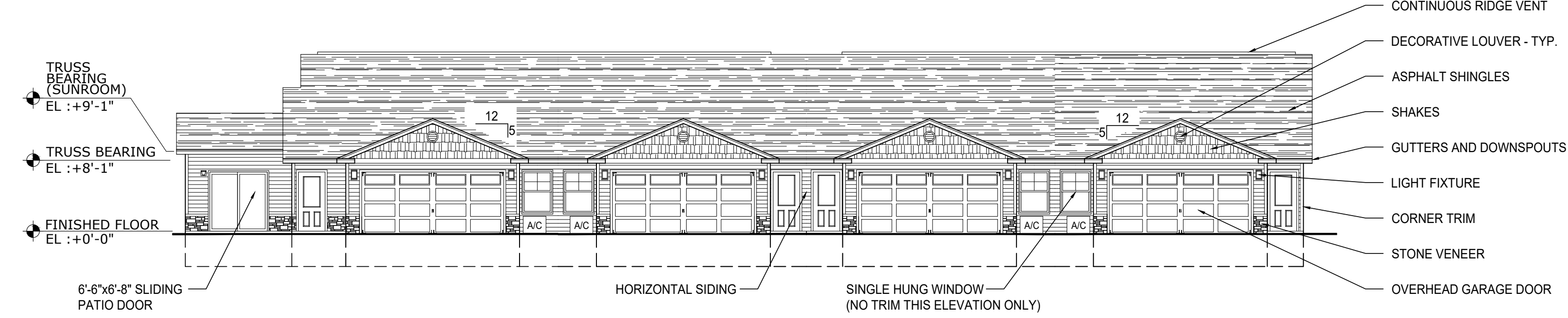
**5 PARTIAL SIDE ELEVATION
HAYDENWOOD**
SCALE: 3/32" = 1'-0"



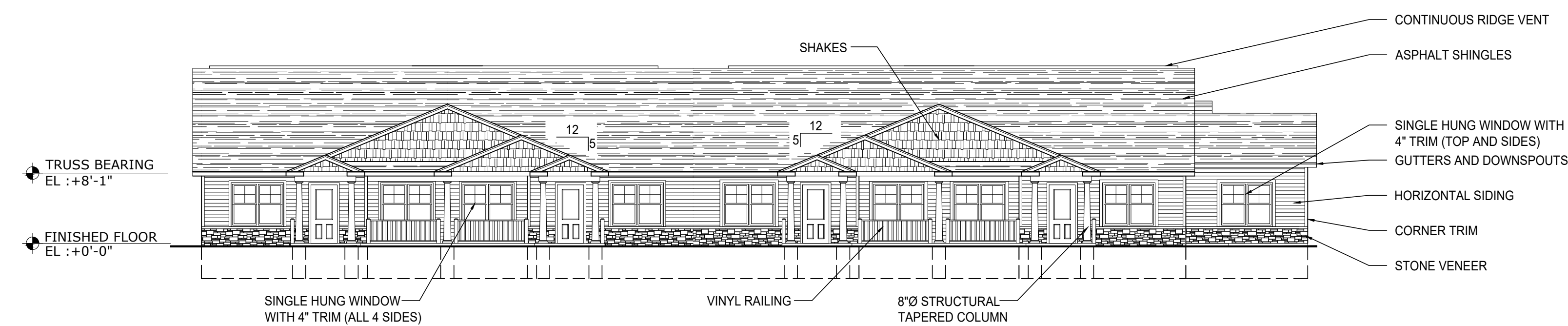
**4 STANDARD SIDE ELEVATION
HAYDENWOOD**
SCALE: 3/32" = 1'-0"

NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY

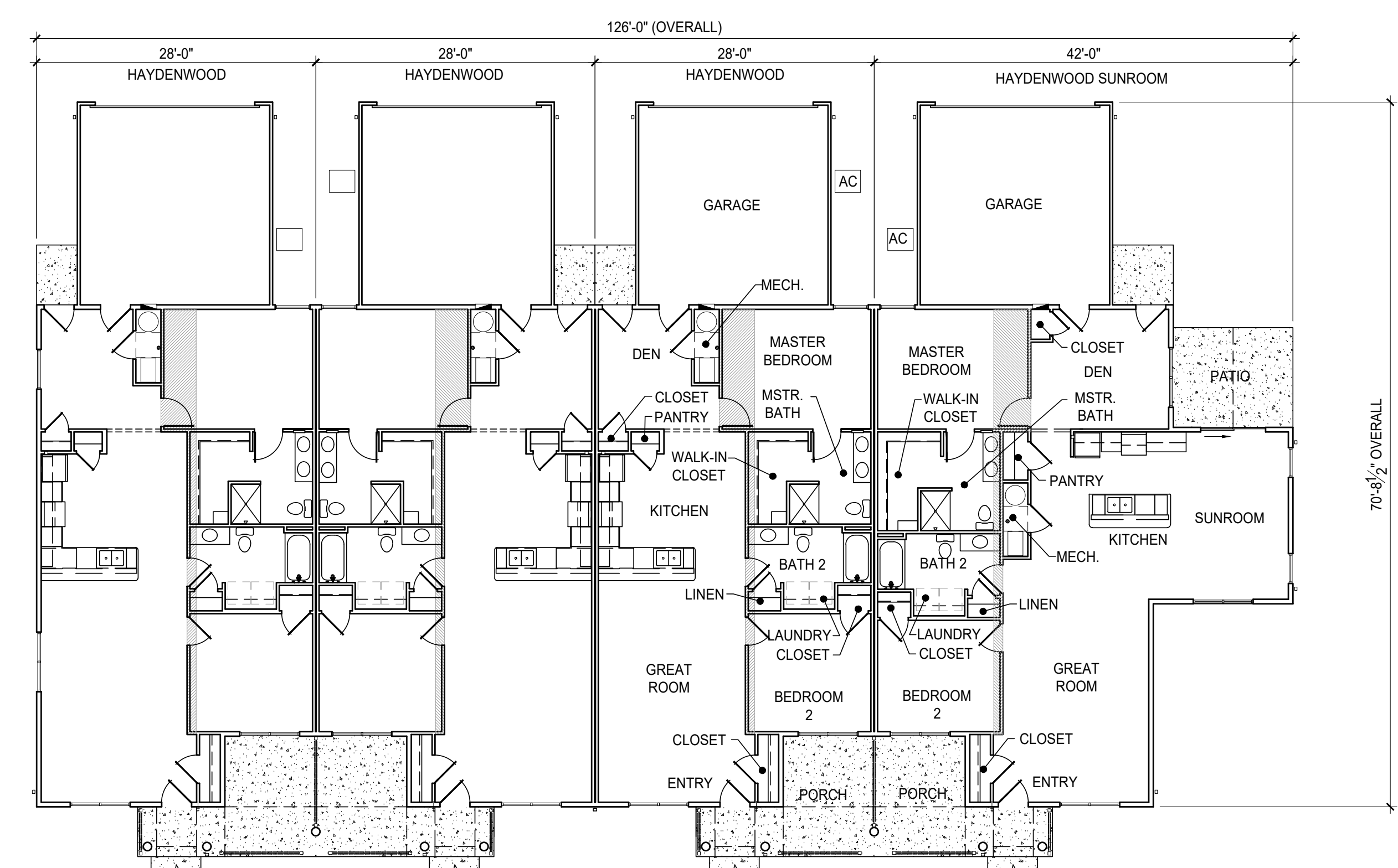
**3 HIGH PROFILE SIDE ELEVATION
HAYDENWOOD SUNROOM**
SCALE: 3/32" = 1'-0"



**2 REAR ELEVATION
HAYDENWOOD, HAYDENWOOD SUNROOM**
SCALE: 3/32" = 1'-0"



**1 FRONT ELEVATION
HAYDENWOOD, HAYDENWOOD SUNROOM**
SCALE: 3/32" = 1'-0"



**OVERALL FLOOR PLAN
HAYDENWOOD, HAYDENWOOD SUNROOM**
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.

BUILDING FLOOR PLAN AND ELEVATIONS

DATE: JANUARY 8, 2021

PROJECT #: 9920

REDWOOD STANDARDS



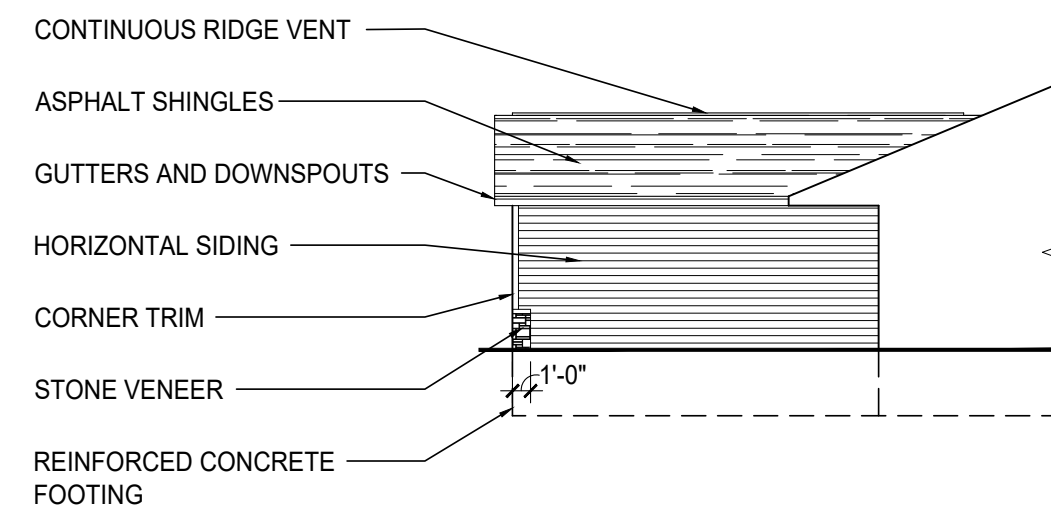
phone 330.666.5770
fax 330.666.8812
3660 Embassy Parkway
Fairlawn, OH 44333
MPG ARCHITECTS
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mpg-architects.com

A1.5

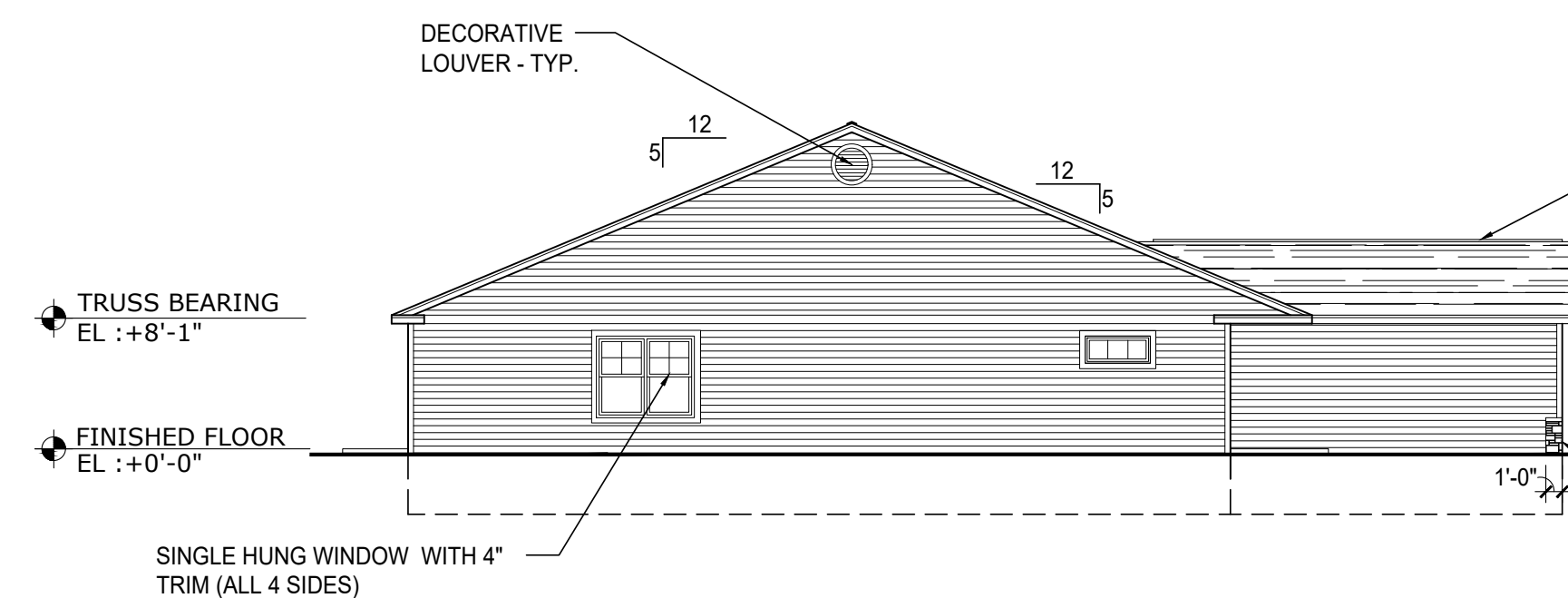
REVISIONS

phone 330.666.5770
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3660 Embassy Parkway
Fairlawn, OH 44333
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BUILDING FLOOR PLAN AND ELEVATIONS
DATE: JANUARY 8, 2021
PROJECT #: 9920
REDWOOD STANDARDS
Redwood
APARTMENT NEIGHBORHOODS

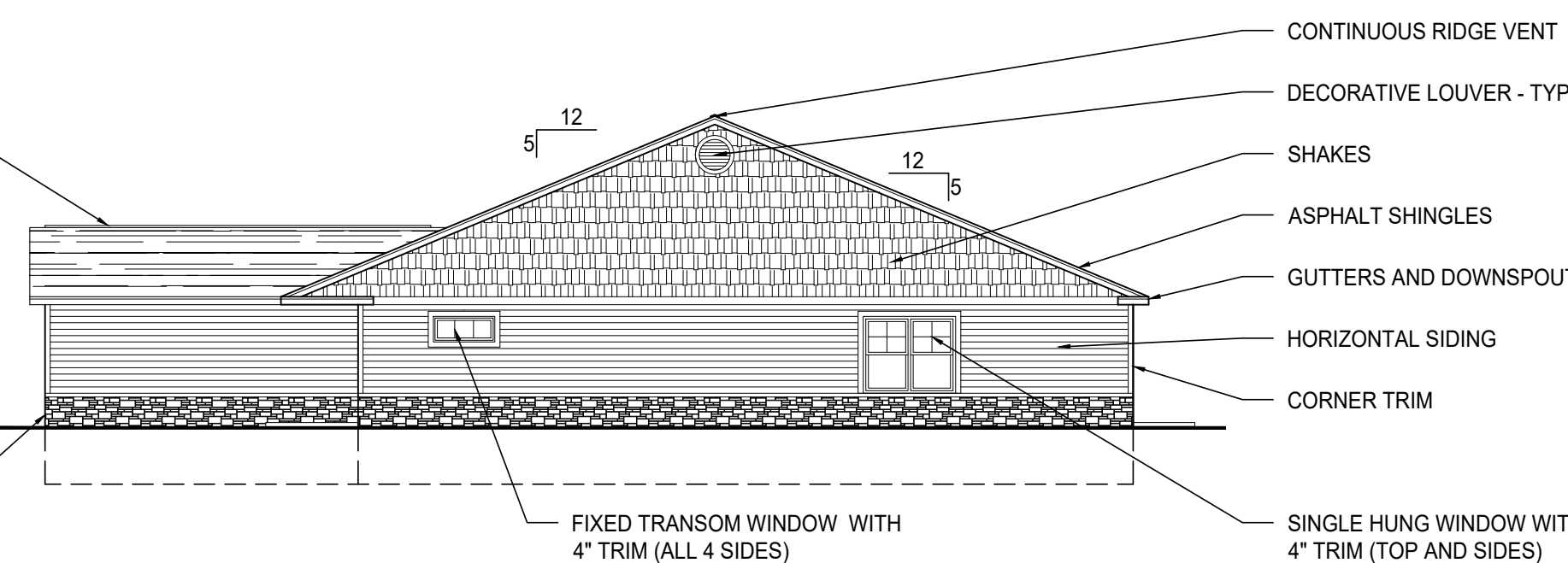


5 PARTIAL SIDE ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

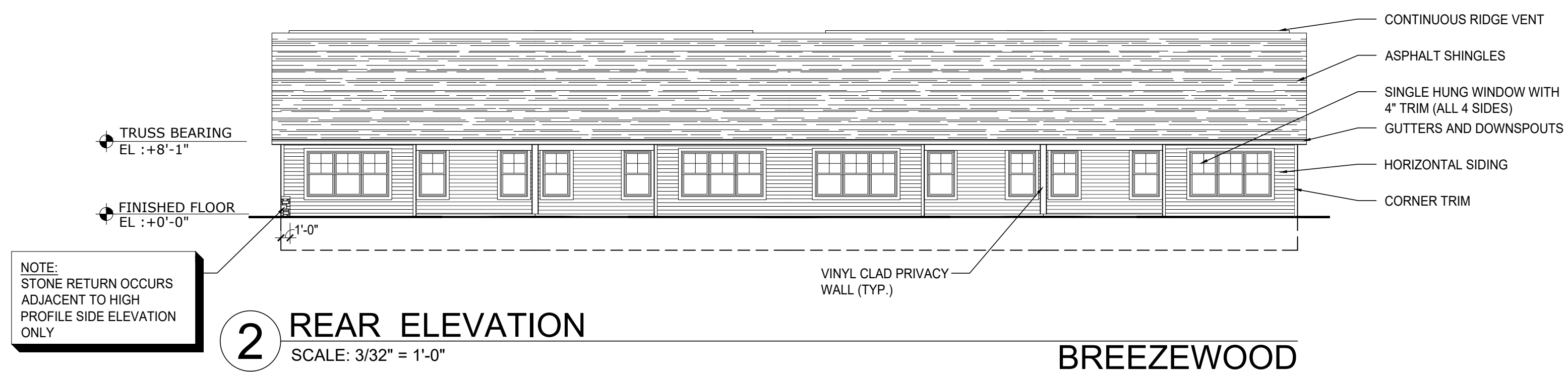


4 STANDARD SIDE ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

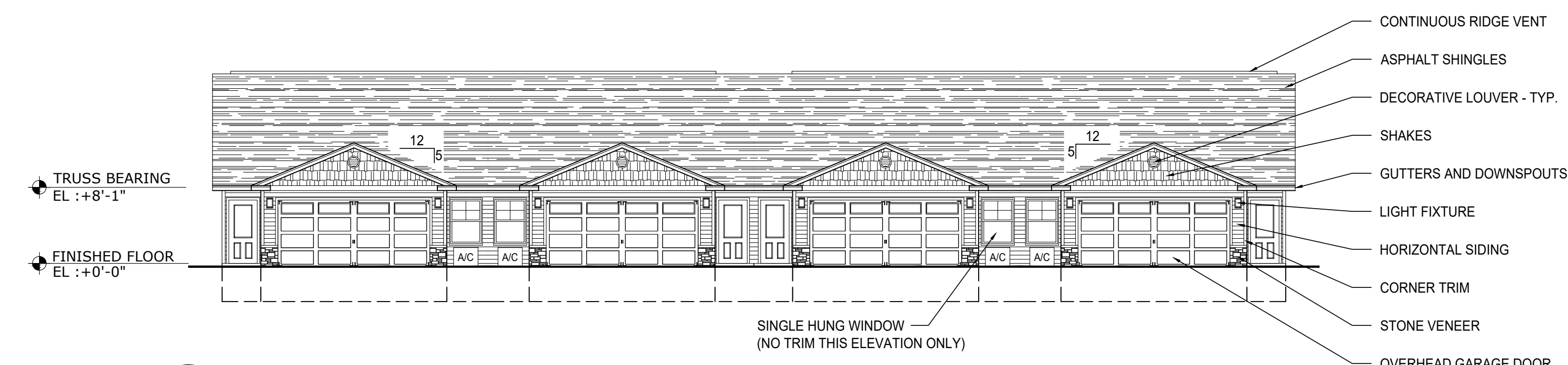
NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY



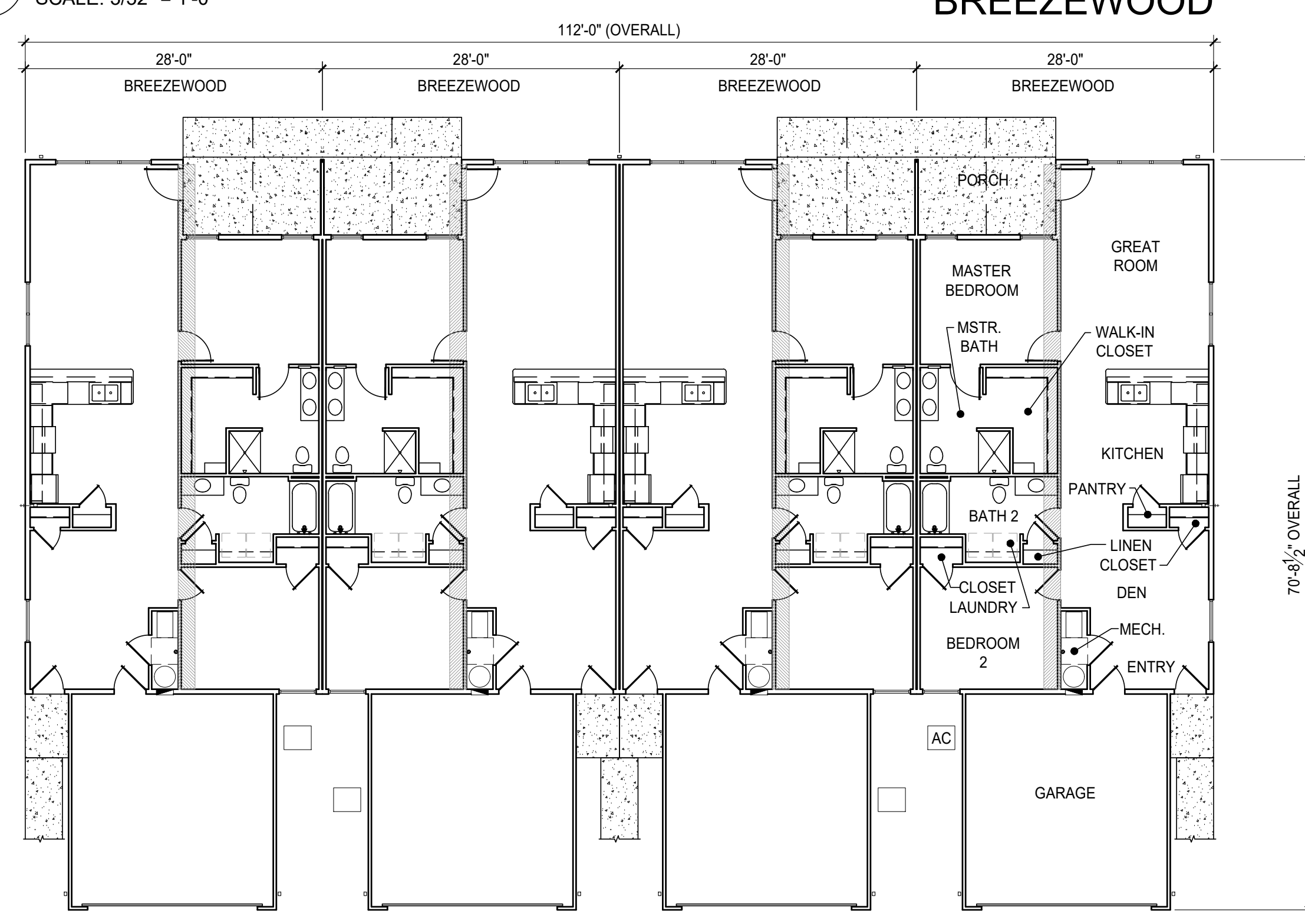
3 HIGH PROFILE SIDE ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD



2 REAR ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

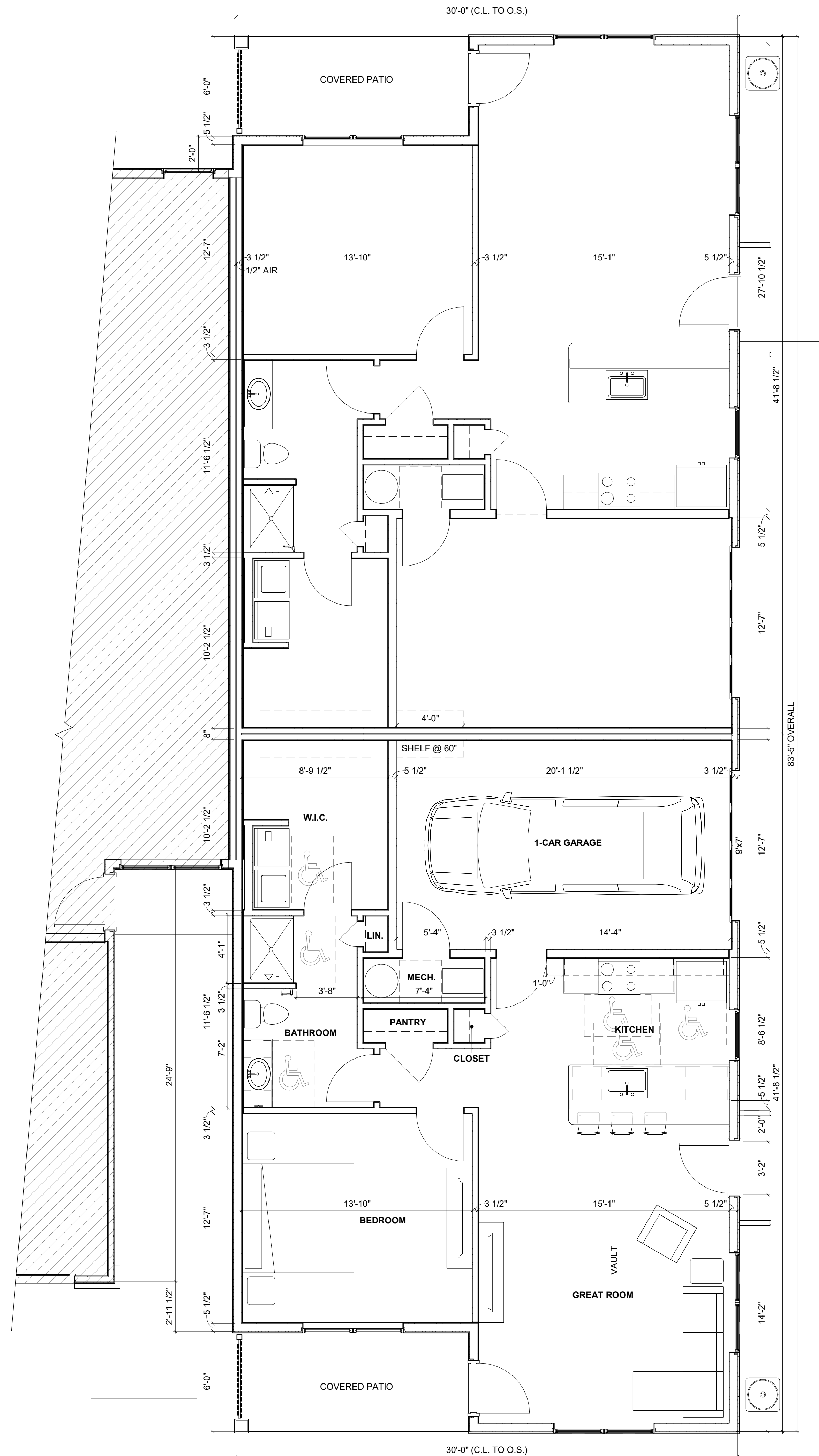


OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0"
BREEZEWOOD

EXTERIOR FINISH MATERIAL SELECTIONS

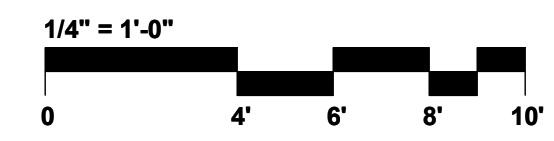
ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.



1 PLAN REDWOOD 1-BEDROOM
 1/4" = 1'-0"

TOTAL SF: 1,166 SF
 LIVEABLE SF: 896 SF
 GARAGE SF: 270 SF



PRELIMINARY

NOTE!!!
 THIS DRAWING IS NOT
 FOR CONSTRUCTION

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PRELIMINARY ONE BED LAYOUT

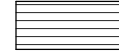

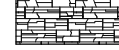
REDWOOD 1-BEDROOM

7007 E. PLEASANT VALLEY RD.
 INDEPENDENCE, OHIO 44131

PROJECT #: 01723

PSK01

EXTERIOR MATERIAL LEGEND

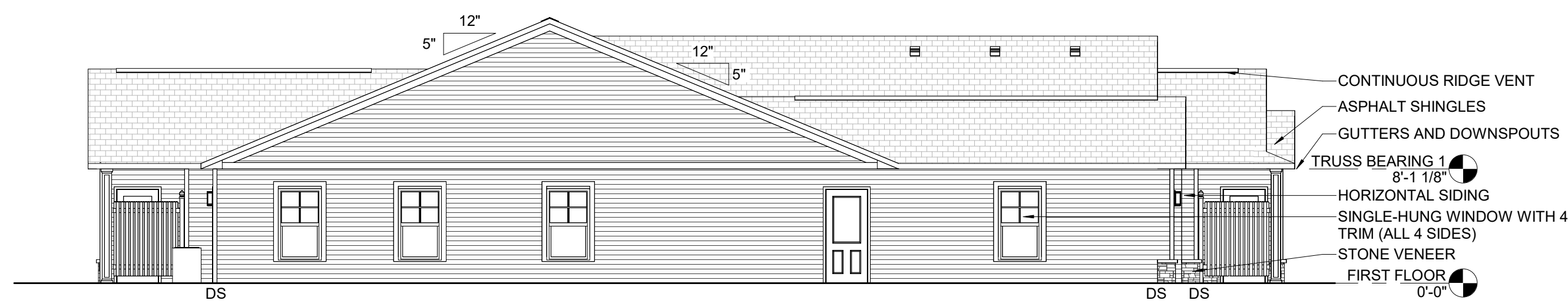
-  PREMIUM VINYL LAP SIDING
-  PREMIUM VINYL SHAKE SIDING
-  STONE VENEER

PRELIMINARY

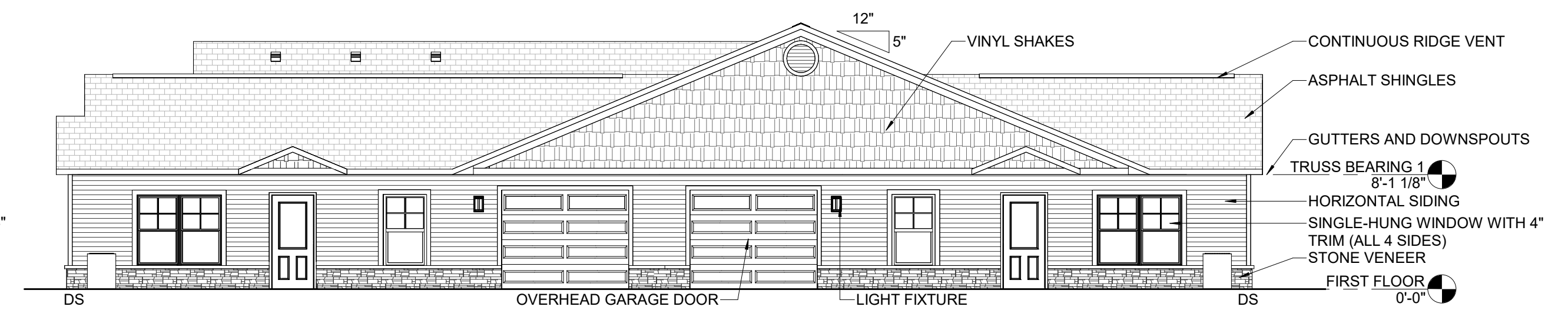
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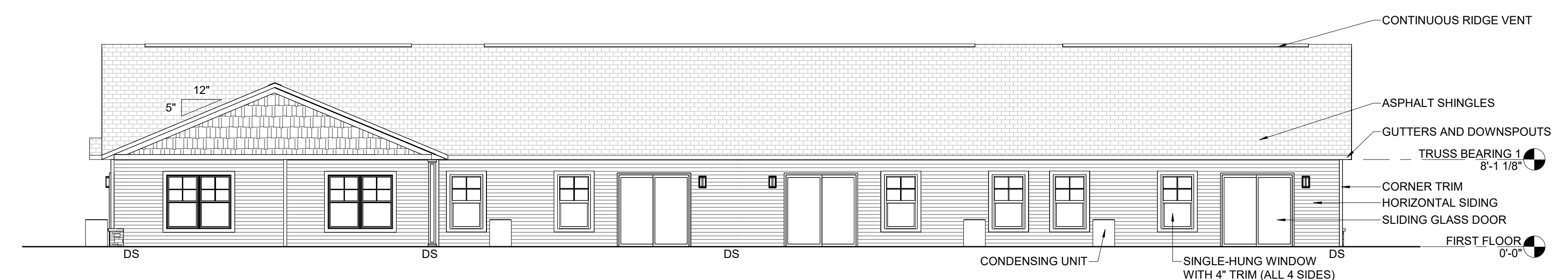
REVISIONS



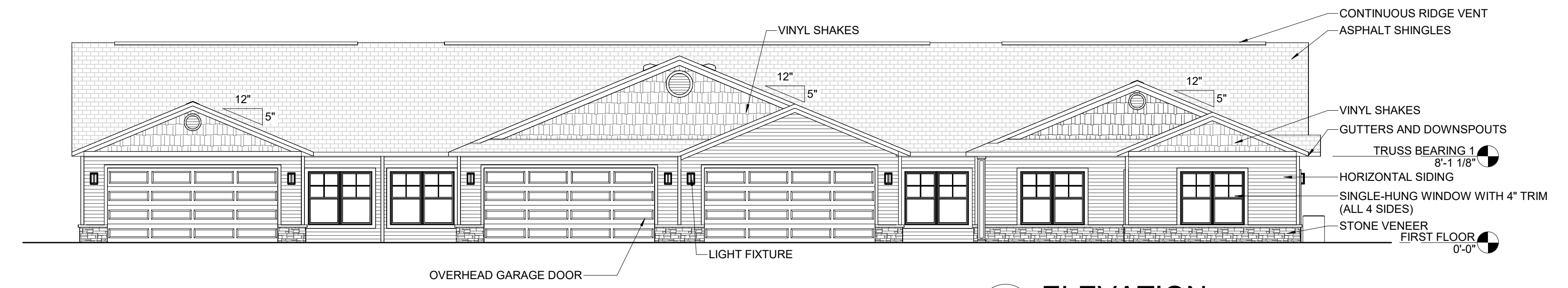
4 ELEVATION LEFT SIDE - OPTION A
1/8" = 1'-0"



3 ELEVATION RIGHT SIDE - OPTION A
1/8" = 1'-0"



2 ELEVATION REAR - OPTION A
1/8" = 1'-0"



1 ELEVATION FRONT - OPTION A
1/8" = 1'-0"



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EXTERIOR ELEVATIONS - OPTION A

REDWOOD 1-BEDROOM

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PSK02a