

PETITION FOR NONUSE VARIANCE HOLLAND CHARTER TOWNSHIP ZONING BOARD OF APPEALS

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

To the Petitioner: A nonuse variance (also known as a dimensional variance) is a variance granted upon showing of "practical difficulty" created by a dimensional requirement in a zoning ordinance. If granted, the variance is a license to violate the zoning law. Dimensional variances typically involve setbacks, height limitations, bulk, lot area and other numerical standards in an ordinance.

The Michigan Courts have set standards to be used when considering nonuse variances. These standards require the petitioner to demonstrate a "practical difficulty" unique to the property - not the petitioner - in order to qualify.

Please print or type:		
Applicant's Name:	Champion Windows	_ Phone: <u>616-871-2412</u> c5 E-mail: <u>5tyler@getchumpron</u> .com
Applicant's Address:	4717 Broadmoor SE SHILL	eJ E-mail: <u>Styler@getchanpoon.com</u>
	Kentwood MI 49512	
Property Address:	230 Mac Rose Ave, Hollar	nd mt 49424
Parcel Number:	70 - 16	Zoning:
Owner's Name:	Raymond Gutierrez	Phone: <u>6/6-377-8616</u>
Owner's Address:	Raymond Gutierrez 230 Mae Rose Ave	E-mail:
	Holland, MI 49424	
Provide a Brief Descr	umber(s) Relative To This Appeal:ription of Your Requesting	g a variation of the front yard setback
from 35' to 30', a.d	ecrease of 5' (or 14.28%) to install a 13'	x 13' patio cover on the side of the
house. The patio of	cover will sit back 1' from the front of the	house so it will not be incroaching
any farther than the	e house currently is. The house is curre	ently a legal non-conforming.
structure, likely from	m a change in zoning throughout the ye	ars.

Standards for Granting of Variance. No variance in the provisions or requirements of this ordinance (Zoning Ordinance) shall be authorized by the Zoning Board of Appeals unless it is found from the evidence that all the following conditions exist:

- 1. That compliance with the Zoning Ordinance would result in practical difficulties due to exceptional, extraordinary, or unique characteristics or conditions of the land or lot of record, including but not limited to:
 - a. Exceptional narrowness of the width or depth of a lot of record, or an irregular shape.
 - b. Exceptional natural or topographic features located on the lot of record, such as steep slopes, water, existing significant trees, or other unique or extreme physical conditions of the land.
 - c. Extraordinary location of an existing building or structure that allows no other practical or feasible location for expansion because of exceptional features of the land.
 - d. Other exceptional or extraordinary dimensional conditions or characteristics of land or lot of record.
- 2. That the unusual circumstances do not apply to most other lots of record in the same manner or to the same extent to other lots of record in the same zoning district.
- 3. That the variance is necessary for the preservation and enjoyment of a substantial property right. The possibility of increased financial return shall not of itself be deemed sufficient to warrant a variance.
- 4. That the granting of the variance will not be of substantial detriment to adjacent and nearby land uses and properties.
- 5. That the applicant shall not have created the problem for which the variance is being sought.
- 6. That the granting of the variance will not be contrary to the public interest and that the spirit of this ordinance shall be observed, public safety secured, and substantial justice done for both the applicant and other property owners in the district.

Describe how this petition meets all of the above conditions (attach additional sheets as necessary):

 The property was rezoned at some point making the house a legal nonconforming structure
2. If the property was not rezoned, they would be allow to build this patio cover.
3. The property owner cant use his lot to build on in the same manner as a property that
has not been rezoned.
4. The patio cover will have little to no effect on the neighboring properties.
5. The property owner did not request the property to be rezoned and did not create this issue
6. The patio cover will have no effect on the general public and will be a nice addition to this
property

A filing fee of \$400.00 must be submitted along with nine (9) complete copies of: this form, related documentation, and the site plan including an electronic copy of the site plan on CD or other file sharing device. This petition must be submitted as least four (4) weeks before the scheduled hearing date. Incomplete applications will not be scheduled for a hearing.

You or your authorized agent must be present at the hearing to present your petition. You will be notified as to the date and time. Your neighbors within 300 feet will also be notified concerning your hearing.

Property Owners Certification

I hereby certify that I am the owner of the above-described property and have authorized the applicant to seek this variance on by behalf. I further understand that conditions and restrictions may be place upon this property by the Holland Township Zoning Board of appeals and hereby agree to conform to and abide by any and all such conditions.

I further agree and authorize representatives from Holland Charter Township to enter my property in order to review the particulars of my request.

Property Owner's Signature: _	Raymon	d V. Gutil	errez	Date:	09/09/2024	
	0		0			
OFFICE USE ONLY:						

Permission

Raymond Gutierrez <seabeesw15@gmail.com>

Fri 2/9/2024 7:39 PM

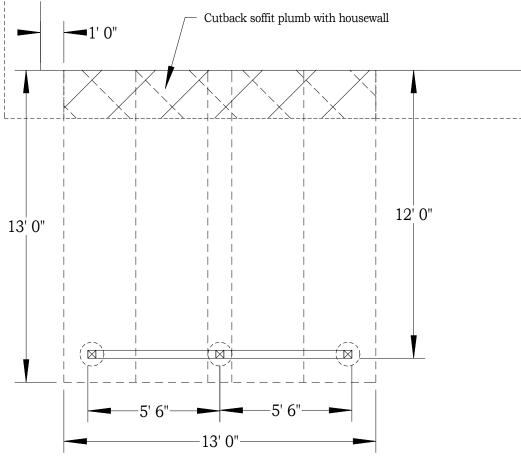
To:Chaffin,Brandon <bchaffin@getchampion.com>;Tyler,Julius <jtyler@getchampion.com>

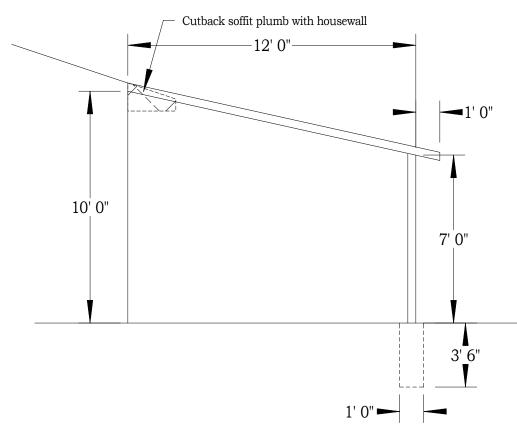
**** EXTERNAL EMAIL - USE CAUTION WHEN CLICKING LINKS OR OPENING ATTACHMENTS ****

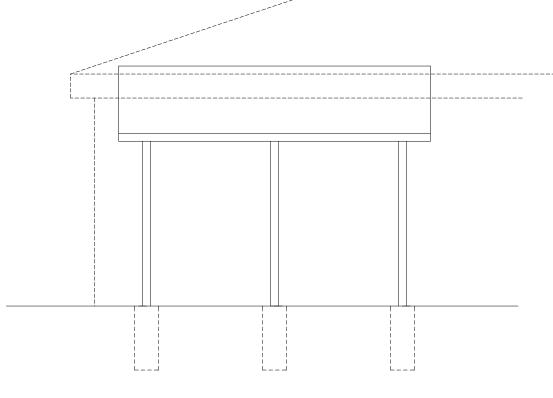
To whom it may concern: By this brief note I authorize Champion Windows to apply for a variance on my behalf. Raymond V Gutierrez 02/08/2024

DESCRIPTION The premises located in Ottawa County, Michigan, described as; LOT 40 ESSENBURGS SUB NO. 2 (Quit Claim Deed, Document No. 2016-0049392, dated December 28, 2016, Ottawa County Register of Deeds) **MAE ROSE AVENUE** S89°48'00"E 217.00' STREET 62.70 48.4' 23.8 40 41 13,606 SQ. FT. 36TH DECK **EXISTING** BLDG EXISTING HOUSE #230 DECK N89°48'00"W 217.00' FENCE 1.5' E OF CONC COR 0.4' N Hendges CONC COR 0.1' N OF PROP LINE OF PROP LINE CONC COR 1.5'S License No. 39 **LEGEND** Scott A. Hendges Licensed Professional Surveyor No. 4001047953 SCALE: 1" = 30' 15' NORTH 0 Iron-Found Champion Windows Julius Tyler Fence 4717 Broadmoor Avenue SE Suite J Existing Building Grand Rapids, MI 49512 We hereby certify that we have examined the premises herein described, that the improvements 230 Mae Rose Ave Holland are located entirely thereon as shown and that they do not encroach except as shown hereon. Concrete 347 Hoover Blvd. Holland, MI 49423 DRAWN BY: HM DATE: 2-29-24 PRJ#: 24200236 This survey was made from the legal description shown above. The description should be Ann Arbor, Chicago, Columbus. REV. BY: REV. DATE: compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions. 1 OF 1 Grand Rapids, Indianapolis

Patio cover off garage No egress violations







CODES

2015 Michigan Residential Code

CHAMPION

Modular aluminum construction.
Seasonal, unheated, non-habitable space.
3-SEASON window room with 365 glass
Framing to be white aluminum.
Exterior panel to be white.
Interior panel to be white.
All sashes & door glass to be tempered.

CHAMPION PATIO ROOMS 4717 Broadmoor SE Suite J Kentwood, MI 49512 616-554-1600

PATIO ROOM MANAGER JOSH DELPIERRE

RESIDENCE Raymond Gutierez 230 Mary Rose Ave.

230 Mary Rose Ave. Holland, MI 49424

CUSTOMER ID NO. 5700003286

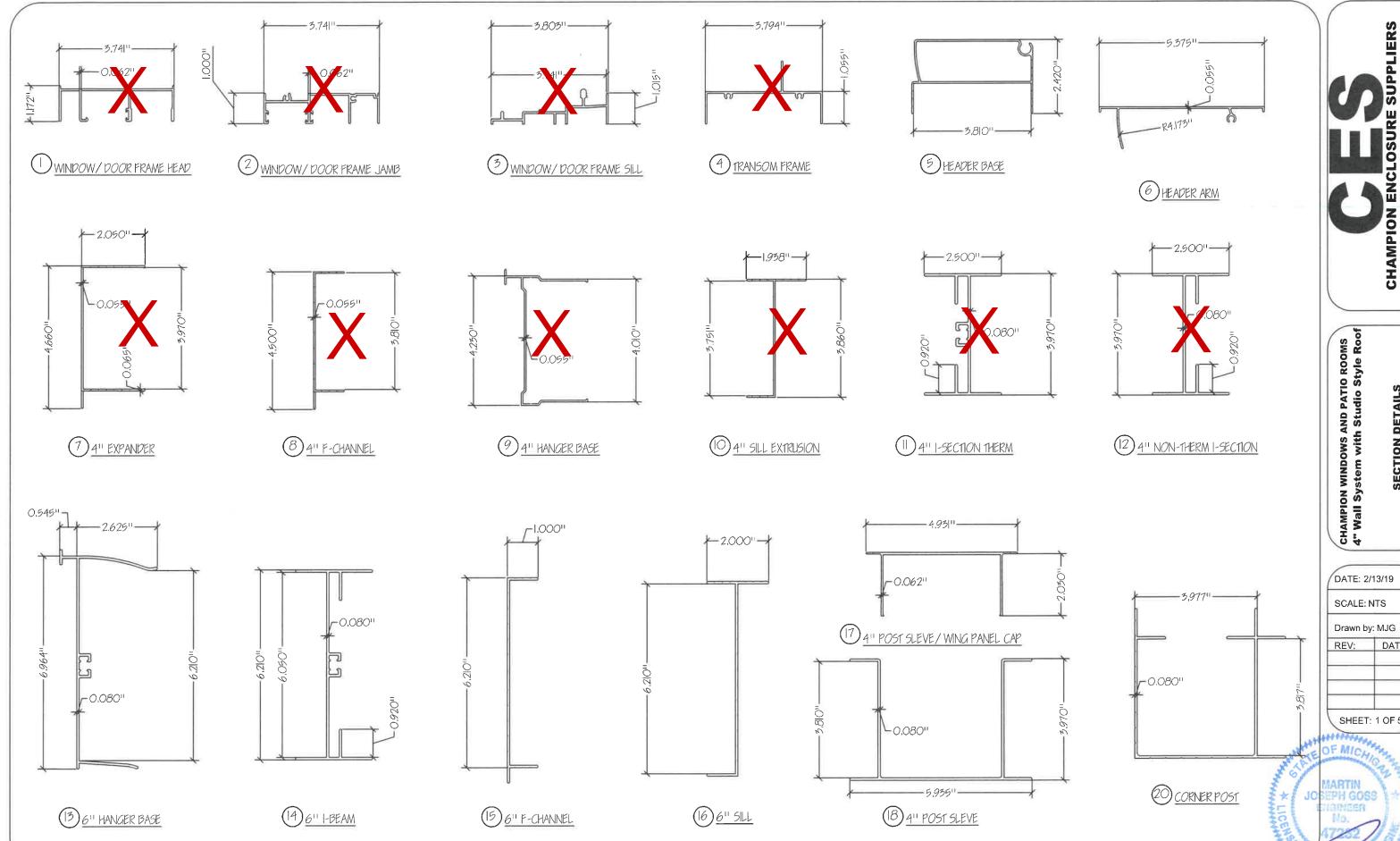
SCALE: 1/4'' = 1'

DATE 01/10/2024

<u>SHEET NO.</u> 1 of 1

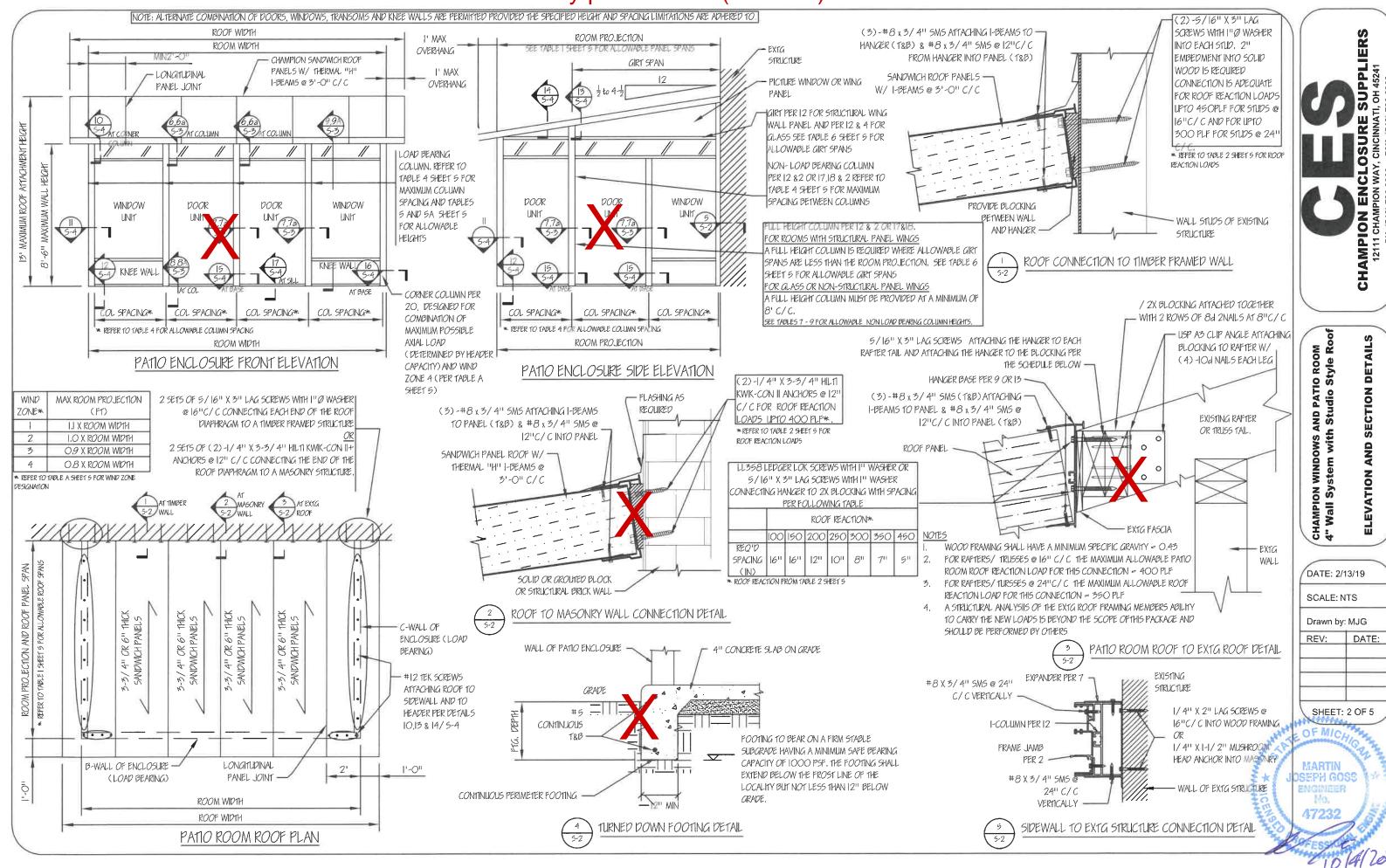
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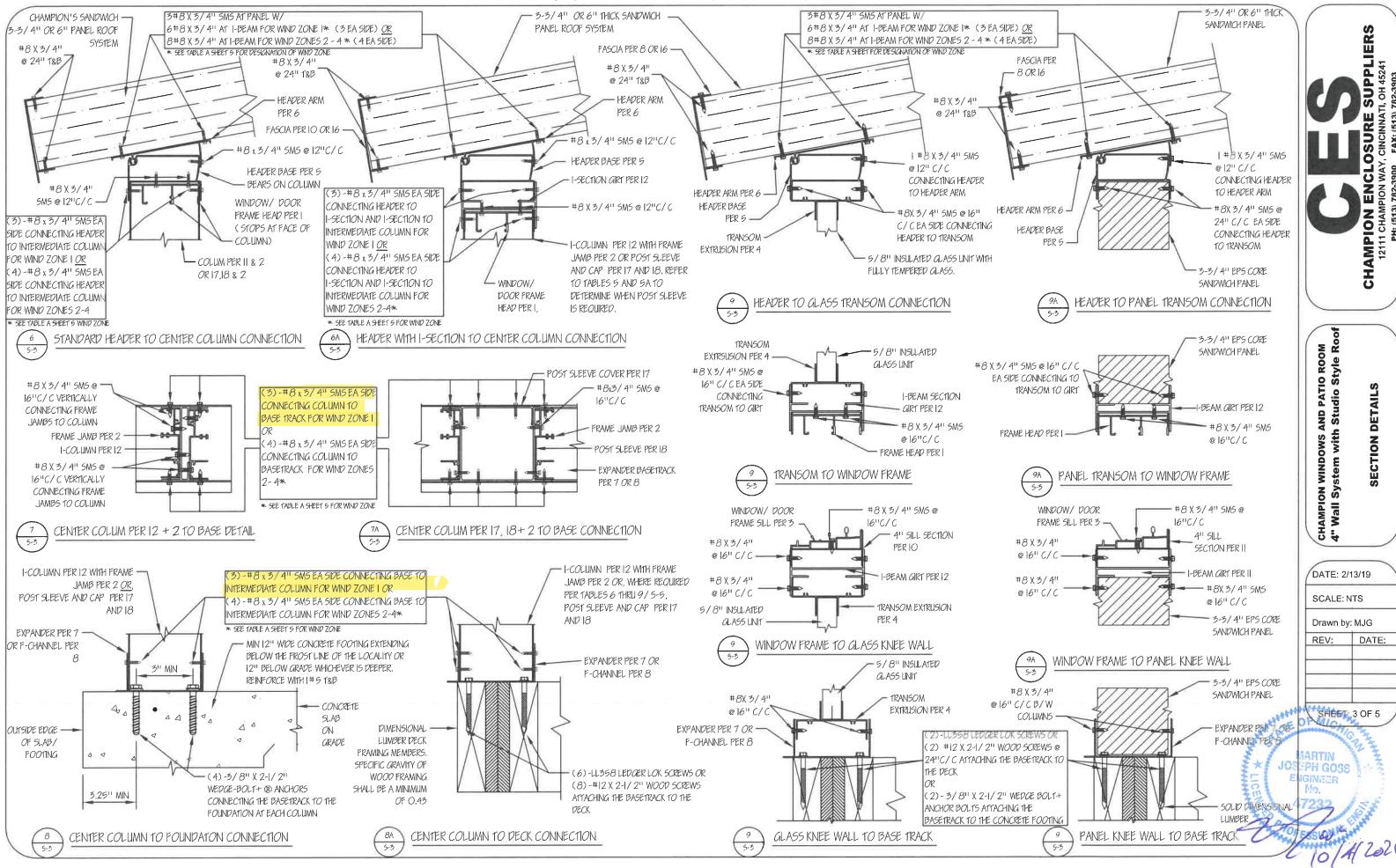
No egrees issues per section R-310 of the 2015 Michigan Residential Code



DATE:

SHEET: 1 OF 5





Roof only patio cover (no walls) - CHAMPION SANDWICH 3-3/4" | 4#12 X SMS WITH I" WASHERS AT EACH FULL HEIGHT COLUMN CONNECTING THE ROOF 3#8 X 3/4" SMS EA SIDE (6 TOTAL) CONNECTING THE 1st - CHAMPION'S SANDWICH - 3-3/4" OR 6" THICK SANDWICH _I-BEAMS IN FROM THE EDGE OF THE ROOF AND PANELS TO WALL PLATE PLUS #12 SMS WITH I'' WASHERS CONNECTING THE PANELS #8 X 3/4" 5M5 @ 3-3/4" OR 6" PANEL OR 6" PANEL ROOF SYSTEM PANEL ROOF SYSTEM #8 X 3/4" 5M5 @ TO THE WALL PLATE BETWEEN COLUMNS AT THE FOLLOWING SPACING: 6#8 X 3/4" SMS (3 EA SIDE) CONNECTING HEADER ARM 24" C/CT&B-ROOF SYSTTEM 24" C/CT&B-24"C/CFOR WIND ZONE I. 12" C/CFOR WIND ZONE 2 TO THE 1st AND 2nd PANELS FROM EDGE. 8" C/C FOR WIND ZONE 3, 6"C/C FOR WND ZONE 4 4#12 X SMS WITH I'' NEOPRENE WASHER FOR 3-3/4" THCIK PANELS USE 4-3/4" LONG SMS CONNECTING THE EDGE PANEL TO THE HEADER ARM FOR 6" THICK PANELS USE 7" LONG SMS FOR 3-3/4" THICK PANEL USE 4-3/4" LONG SMS * SEE TABLE A SHEET 5 WIND ZONE OR 6" PANEL USE 7" LONG SMS FASCIA PER 8 OR 15 HEADER ARM PER 6 FASCIA PER 8 OR 15 #8 x 3/ 4" 5MS @12"C/C 1-BEAM PER 11 OR 14 #8 X 3/ 4" 5M5 @ HEADER BASE PER 5 #8 X 3/4" SMS @ 16" 12" C/CEASIDE C/CEASIDE +8 X 3/4" 5M5 @ 24" C/C T&B #8 X 3/4" SMS CHAMPION E 12111 CHAMP PH: (513). CORNER COLUMN TO HEADER CONNECTION WING PANEL CAP (TYPICAL AT ALL I-BEAM TO PANEL WING PANEL CAP PROVIDE 24" C/C T&B CORNER COLUMN PER 3-3/4" EPS CORE CONNECTIONS) PER 17 (TYPICAL AT ALL 4#8 X 3/4" SMS CONNECTING FOR WIND ZONE 1: 6 #8 X 3/4" SMS 20 WITH FRAME JAMB SANDWICH PANEL 1-BEAM TO PANEL COLUMN TO THE EXAPNDER EACH SIDE FOR WIND ZONE 2: 7 #8 X 3/4" SMS PER 2 #8 X 3/4" 5M5 @ 16" CONNECTIONS) FOR WIND ZONE 3: 8 #8 X 3/4" SMS C/CEASIDE FULL HEIGHT I-COLUMN PER 12 POST SLEEVE FOR WIND ZONE 4: 10 #8 X 3/4" SMS - I-BEAM GIRT PER 12 COLUMN PER 17 AND 18, REFER TO TABLES 7 - 9 * SEE TABLE A SHEET 5 WIND ZONE DESIGNATION 3/4" SMS@ FOR ALLOWABLE COLUMN HEIGHTS 16" C/CEASIDE TRANSOM EXTRUSION PER 4 CORNER COLUMN TO ROOF CONNECTION NON AXIAL BEARING COLUMN TO ROOF CONNECTION ROOF TO NON BEARING WALL CONNECTION CONCRETE ON WINDOWS AND PATIO ROOM System with Studio Style Ro FOOTING CORNER COLUMN TO HEADER EXPANDER BASE PER 7 CONNECTION PROVIDE AND 8 EXPANDER BASE FRAME JAMB PER 2 CORNER PER 7 AND 8 POST CAP PER 17 FOR WIND ZONE I: COLUMN 6#8 X 3/4" SMS PERI2 POST SLEEVE PER 18 FOR WIND ZONE 2: ECTION 7 #8 X 3/4" SMS 2 #8 X 3/4" SMS 3/8" X 2-1/2" -1-SECTION 1-SECTION @ 1611 C/C FOR WIND ZONE 3: WEDGE-BOLT+ ® ANCHORS COCIMN PER 12 COLUMN PER 12 VERTICALLY 8 #8 X 3/4" 5MS CONNECTING THE BASETRACK TO ATTACHING BOTH 3/8" X 2-1/2" WEDGE-BOLT+® THE CONCRETE FOUNDATION AT FRAME JAMBS TO FOR WIND ZONE 4: ANCHORS CONNECTING THE BASETRACK EACH COLUMN (4-TOTAL) AMPI CORNER COLUMN 10 #8 X 3/4" 5MS TO THE CONCRETE FOUNDATION AT EACH * SEE TABLE A SHEET 5 WIND ZONE COLUMN (4-TOTAL) EXTERIOR FACE OF FOOTING EXTERIOR FACE OF FOUNDATION CORNER COLUMN TO BASE CONNECTION CONNECTION OF CENTER COLUMN PER 12 & 2 TO BASE/FOUNDATION CONNECTION OF CENTER COLUMN PER 17 & 18 TO FOUNDATION DATE: 2/13/19 3,25 CONRNER COLUN PER 20 -- EXPANDER PER 7 OR EXTERIOR FACE OF FOOTING #8 X 3/4" @ 16" -SCALE: NTS CORNER COLUMN TO BASE WITH FRAME JAMB PER 2 F-CHANNEL PER 8 c/cEASIDE #8 X 3/4" @ 16" -DOOR SILL PER 3 CONNECTION PROVIDE c/cEASIDE Drawn by: MJG MIN 12" WIDE CONCRETE FOOTING DOOR SILL PER 3 FOR WIND ZONE 1: #8 X 3/4" @ 16" EXTENDING BELOW THE FROST LINE REV: DATE: - EXPANDER PER 7 OR 8 6#8 X 3/4" SMS c/cEASIDE OF THE LOCALITY OR 12" BELOW EXPANDER PER 7 GRADE WHICHEVER IS DEEPER. 3" MIN OR 8 SILL EXTRUSION FOR WIND ZONE 2: REINFORCE WITH 1#5 T&B PER 10 BASETRACK/EXPANDER 7 #8 X 3/4" 5M5 EXTRUSION PER 7 AND 8 #8 X 3/4" ATTACHMENT OF BASE TO TIMBER PER 10 FOR WIND ZONE 3: @ 161 DECK OR FOUNDATION CORNER POST PER 20 SHEET: 4 OF 5 DIMENSIONAL 8 #8 X 3/4" 5M5 c/cEASIDE 6 #12 X 2-1/2' WOOD SCREWS LUMBER DEG CONNECTING THE BASEPLATE TO FRAMINA 3/8" X 2-1/2" FOR WIND ZONE 4: THE DECK OR MEMBER WEDGE-BOLT+ ® ANCHORS 0 0 10 #8 X 3/ 4" 5MS (4)-3/8" X 2-1/2" CONNECTING THE SEE TABLE A SHEET 5 WIND ZONE BASE TRACK ATTACHED TO THE DECK WIR BASE TRACK ATTACHED TO THE WEDGE-BOLT+® ANCHORS BASETRACK TO THE SEPH GOS 3,25" MIN (2) LL358 LEDGER LOK SCREWS @ 24 C7 CONCRETE FOUNDATION WITH (2) OUTSIDE EDGE OF CONNECTING THE BASETRACK TO CONCRETE SLAB CONCRETE FOUNDATION AT 3.25" MIN 3/8" X 2-1/2" WEDGE BOLT+ FOUNDATION THE FOUNDATION AT EACH COLUMN ON GRADE OR No. EXTERIOR FACE OF EACH COLUMN (4-TOTAL) (2) #12 X 2-1/2" WOOD SCREWS @ 24" ANCHOR BOLTS @ 24" C/C (SEE DETAIL 16/5-4 FOR WEDGE 47232 DECK FOUNDATION C/C BOLT SPACING) CORNER POST TO FOUNDATION CONNECTION DOOR THRESHOLD TO FOUNDATION CORNER COLUMN TO FOUNDATION CONNECTION DOOR THRESHOLD TO DECK

			IGN WIND SPEED AN						TABLE I: A	LLOWABLE	SANDWICH	1 ROOF PAI	NEL SPANS	5 (FT-IN)			
STRENGTH DESIGN WIND SPEED	115 MPH RISK CAT II	130 MPH RISK CAT II	140 MPH RISK CAT II	150 MPH RISK CAT II		PANEL	LIVE LOAD										
LLOWABLE STRESS	90 MPH	IOO MPH	IIO MPH	120 MPH		1HICKNESS	(PSF)				Į.	ROOF SNOW	N LOAD (F	'SF)			
WIND SPEED	90 MIN	IOO MITI	110 148 11	120 141/11		(IN)	20	20	25	30	35	40	45	50	55	60	70
EXPB	WIND ZONE I	WIND ZONE 2	WIND ZONE 3	WIND ZONE 4		3-3/4"	17'-4"	16'-8"	15'-5"	14'-5"	13'-7"	12'-10"	12'-2"	11-6"	11'-0"	10'-7"	9'-10"
			110110 7018 4	SPECIAL DESIGN		6"	20'	20'	19' 2"	17'-7"	16'-4"	15'-4"	14'-6"	13'-9"	13'-2"	12'-8"	II'-8"
EXP C	WIND ZONE 2	WIND ZONE 3	WIND ZONE 4	REQUIRED		ROOF DEFLE				LINIKONA	alow! a	AND LC COA	INMONE				
EXP D	WIND ZONE 3	WIND ZONE 4	SPECIAL DESIGN	SPECIAL DESIGN	2	7/1	OWABLE SPA 3 ROOF PANE							CHART SH	ALL EQUAL	THE DESIGN	1

2. FOR OSB ROOF PANELS WITH ASPHALT SHINGLES, THE INPUT ROOF LOAD FOR THIS CHART SHALL EQUAL THE DESIGN SNOW/ ROOF LIVE LOAD + 5PSF.

- EXPOSURE CATEGORIES ARE AS DEFINED IN THE IRC, IBC AND ASCE-7
- TABLE APPLIES TO PATIO ROOMS WITH MEAN ROOF HEIGHTS UP TO 30' IN EXPOSURE B AND UP TO 15' IN EXPOSURES C AND D. FOR ROOMS IN EXPOSURE CATEGORIES C AND D WITH MEAN ROOF HEIGHTS WITH MEAN ROOF HEIGHTS BETWEEN 15' AND 30' THE NEXT HIGHEST WIND ZONE DESIGNATION SHALL BE SELECTED OR A SITE SPECIFIC DESIGN WILL BE UTILIZED,
- SITE SPECIFIC DETERMINATION OF WIND PRESSURES IS REQUIRED FOR SITES ON ISOLATED HILLS, RIDGES OR ESCARPMENTS THAT ARE ABRUPT CHANGES FROM THE GENERAL TOPOGRAPHY OF THE AREA.

REQUIRED

REQUIRED

		TAB	LE 2: 1	APPLIED	ROOF I	OADS	(PLF) (ON WINI	20W AN	10 DOO	R HEADI	ER		
PANEL SPAN	ROOF LIVE/SNOW LOAD (PSF) WIND ZONE											?ONE *		
(F1)	20	25	30	35	40	45	50	55	60	70	_1	2	3	4
6	92	112	132	140	172	192	2 2	232	252	292	-98	-121	-145	-173
8	115	140	165	190	215	240	265	290	3 5	365	-109	-136	-163	-193
10	138	168	198	228	258	288	318	348	378	438	-120	-148	-179	-214
12	161	196	231	266	3OI	336	371	406	441	511	-132	-163	-197	-234
14	184	224	264	304	344	384	424	464	504		-143	-176	-213	-254
16	207	252	297	342	387	432					-155	-192	-232	-276
18	230	280	330	380							-166	-206	-250	-296
20	253	308		7		i de					-178	-220	-266	-3 8

- TABLE LINCLUDES THE DEAD LOAD OF THE STANDARD ROOF PANEL, FOR OSB ROOF PANELS WITH ASPHALT SHINGLES, THE INPUT ROOF LOAD FOR THIS CHART SHALL EQUAL THE DESIGN SNOW/ ROOF LIVE LOAD + SPSF
- NEGATIVE VALUES INDICATE UPLIFT LOADS

COLUMN

SPACING

(INCHES)

60"

6811

78"

84"

96"

8.5'

8.5'

8,51

8,5'

8.0'

TABLE 5: ALLOWABLE HEIGHT OF LOAD BEARING

I-COLUMN PER 12 AND 2

8.5'

8.5'

8.0'

WIND ZONE *

8.5'

8.0'

7.5'

8.0'

8.01

		ABLE HEIGH COLUMN I									
COLUMN WIND ZONE *											
(INCHES)	1	2	3	4							
60"	8.5'	8.5'	8.5'	8.5'							
68"	8.5'	8.5'	8.5'	8.5'							
78"	8,5'	8.5'	8.5'								
84"	8.5'	8.5'									
96"	8.5'										

* SEE TABLE A SHEET 5 FOR DESIGNATION

- 4					
*	SEE TABLE	A SHEET S	FOR DES	HANATION OF	WIND ZONE

200 110001	12101210	K VV XIAINTIII	211 01 111110	20140							
1		'ABLE HEIG									
BEARIN	BEARING COLUMN I-COLUMN PER 12 AND 2 SEPARATING TWO DOORS										
	SEPARA	<u>11NG 1WO</u>	DUURS								
COLUMN SPACING		WND =	ONE *								
(INCHES)			3	4							
60"	10' 0"	15	8' 10"	8' 5"							
68"	9' 8"	9' 0"	8' 7"	8' 2"							
78''	9' 3"	8' 8"	8' 2"								
84''	9' 0"	8' 5"									
96"	8' 8"										

* 5	SEE.	TABLE	A	SHEET	5	FOR	DESIGNATION	OF	WND	ZONE
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TABLE 8: ALLOWABLE HEIGHT OF NON-LOAD BEARING COLUMN I-COLUMN PER 12 AND 2 ADJOINING AT LEAST ONE WINDOW COLUMN SPACING (INCHES) 2 3 4 60" 15' 0" 12'9' 11' 2" 10' 5" 68" 12' 7" 6'N 10' 8" 10' 0" 78" 11' 10" 10' 10' 10' 2"											
SPACING (INCHES) 2 3 4 60" 13" 0" 12" 12" 11" 2" 10" 5" 68" 12" 7" 61" 10" 8" 10" 0"	BEARING COLUMN 1-COLUMN PER 12 AND 2										
60" 13' 0" 12' 1 12' 1 10' 5" 68" 12' 7" 61' 10' 8" 10' 0"	SPACING		WIND Z	ONE *							
68" 12' 7" 16" 10' 8" 10' 0"	(INCHES)	1	2	3	4						
	60"	13' 0"	12' (11' 2"	10'5"						
78" 10" 10' 10' 2"	68"	12' 7"	611	10'8"	10' 0"						
	78"	11' 10"	10' 10"	10' 2"							
84" 5" 10' 7"	84"	11' 5"	10' 7"								
96" 10'10"	96"	10'10"									

* SEE TABLE A SHEET 5 FOR DESIGNATION OF WIND ZONE

	TABLE 3:	ALLOWA	ABLE SPA	NS F <i>O</i> R H	EADERS C	VER DOC	R AND W	NDOW O	PENINGS		
APPLIED LOAD* (PLF)	70	100	125	150	175	200	250	300	350	400	500
STANDARD HEADER	96"	78"	72"	64"	60"	56"	48"	N/A	N/A	N/A	N/A
HEADER WITH I-BEAM	96"	96"	96"	95"	88"	18 ¹¹	72"	66"	60"	56"	48"

* APPLIED LOAD IS THE LARGER OF THE APPLIED ROOF LOAD FROM SNOW LOADING OR FROM WIND LOADING DETERMINED FROM TABLE 2 SHEET S

TABLE 4: ALL	OWABLE COLUMN	SPACING BASED ON	DOOR/ WINDOW L	NIT CAPACITY
WIND ZONE		2	3	4
ALLOWABLE COLUMN SPACING	96"	84"	78"	68"

* SEE TABLE A SHEET & FOR DESIGNATION OF WIND TONE

TABLE 6: ALLOWABL	E SPANS (FT) FO	R GIRTS ON WALLS	WITH STRUCTURAL	SANDWICH WING		
PANELS						
WIND ZONE	1	2	3	4		
MAX GIRT SPAN (FT)	13' 6"	12' 5"	II' 2''	10' 5"		

* SEE TABLE A SHEET 5 FOR DESIGNATION OF WIND ZONE

BEARING	1905T SLE	EVE COLL	IMN PER 17	AND 18	
COLUMN SPACING (INCHES)	WIND ZONE *				
	I		3	4	
60''	13' 0"	A O"	12' 0"	11' 2"	
68"	13' Q'	12' "	11' 4"	10' 7"	
<i>18</i> ''	12' 9"	11' 7"	10' 9"		
84"	12' 4"	11'3"			
96"	II' 8''				

* SEE TABLE A SHEET 5 FOR DESIGNATION OF WIND ZONE

GENERAL NOTES AND SPECIFICATIONS

- THE STRUCTURAL DESIGN FOR CHAMPION PATIO ROOMS HAS BEEN PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF 2009, 2012, 2015 AND 2018 EDITIONS OF THE IRC CODES, 2019 RESIDENTIAL CODE OF OHIO, 2015 NEW YORK STATE RESIDENTIAL CODE, 2018 SOUTH CAROLINA RESIDENTIAL CODE, 2018 NORTH CAROLINA BUILDING CODE, 2018 KENTUCKY RESIDENTIAL CODE, 9th ED OF THE MASSACHUSETTS RESIDENTIAL CODE, 2019 RHODE ISLAND SBC-2 ONE AND TWO FAMILY DWELLING CODE, DENVER 2015 IRC, 2016 DENVER BUILDING CODE, 2020 GEORGIA AMENDMENTS AND UTILIZING THE FOLLOWING REFERENCED STANDARDS; 2005 AND 2010 EDITIONS OF ASCE 7, 2005 AND 2010 ALLIMINUM DESIGN MANUAL, 2005, 2012 AND 2018 NDS FOR WOOD AND AAMA/ NPEA/ NSA 2100 FOR SUNROOMS.
- THESE PLANS COVER THE DESIGN OF THE PATIO ROOM AND IT'S CONNECTION TO THE EXISTING STRUCTURE. THE STRUCTURAL ADEQUACY OF THE EXISTING STRUCTURE TO SUPPORT THE TRANSFERRED LOADS IS BEYOND THE SCOPE OF THIS PACKAGE AND SHOULD BE VERIFIED BY OTHERS.
- THE SNOW LOAD TABLES PRESENTED IN THIS PACKAGE ARE FOR LINIFORM ROOF SNOW LOADS. CONSIDERATION SHALL BE GIVEN TO SITE SPECIFIC CONDITIONS SUCH AS SLIDING, DRIFTING OR UNBALANCED
- BASIC WIND SPEEDS ARE 3-SECOND GUST AT 33 FT ABOVE THE GROUND IN EXPOSURE C.
- SEISMIC DESIGN FOR ROOMS CONSTRUCTED IN SEISMIC DESIGN CATEGORIES D2 WITH UNIFORM ROOF SNOW LOADS UP TO 30PSF HAS BEEN CONSIDERED IN THIS PACKAGE, A SITE SPECIFIC SEISMIC EVALUATION IS REQUIRED FOR ENCLOSURES IN SDC D OR HIGHER WITH DESIGN ROOF SNOW LOADS IN EXCESS OF 30 PSF.
- THE PATIO ROOM PROJECTION SHALL BE A MAXIMUM OF 1.1 TIMES THE PATIO ROOM WIDTH.
- CHAMPION PATIO ENCLOSURES CAN BE CONSTRUCTED ON TIMBER FRAMED DECKS PROVIDED THE DECK AND ITS FOOTINGS HAVE BEEN ENGINEERED TO SAFELY CARRY THE ENCLOSURE'S AND THE DECK'S DESIGN LOADS.
- THE DOOR AND WINDOW UNITS USED IN THE CHAMPION PATIO ROOM SYSTEM, SUPPLIED BY ENCLOSURE SUPPLIERS LLC. ARE GLAZED WITH FULLY TEMPERED INSULATED GLASS CONFORMING TO THE REQUIREMENTS OF ANSI Z97,1 AND CPSC 16 CFR 1201 CATEGORY II. IN WIND BORNE DEBRIS REGIONS GLAZED OPENINGS SHALL BE PROTECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING CODE.
- THIS ENCLOSURE MEETS THE REQUIREMENTS OF A CATEGORY II SUNROOM AS DEFINED IN AAMA/ NPEA/ NSA 2100.

MATERIALS

50115

I, ALL FOOTINGS SHALL BEAR ON LEVEL(WITHIN 1:12) UNDISTURBED SOIL OR APPROVED ENGINEERING FILL WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 1000 PSF, FOOTINGS SHALL EXTEND BELOW THE FROST LINE OF THE LOCALITY BUT NOT LESS THAN 12" BELOW GRADE.

CONCRETE

- ALL CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND WHERE EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL HAVE AN ENTRAINED AIR CONTENT OF BETWEEN 5.0% TO
- 3, ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 60 KSI DEFORMED BARS AND ASTM A185 MESH,

STRUCTURAL ALLIMINUM

- ALL EXTRUSIONS SHALL BE AL 6063-T6 ALUMINUM PROVIDED BY ENCLOSURE SUPPLIERS LLC.
- ROOF PANELS SHALL BE 3-3/4" OR 6" THICK STANDARD OR OSB SANDWICH PANELS MANUFACTURED BY ENCLOSURE SUPPLIERS LLC.

STANDARD ROOF PANEL SKINS CONSISTS OF 0,024" THICK ALUMINUM SHEETHING (3105 H374). OSB ROOF PANELS SKINS CONSISTS OF A 0.024" ALIMINUM SHEETHING AND Z" OSB COMBINED TOP SKINS AND A O.O24" ALUMINUM SHEETHING BOTTOM SKIN.

THE CORE FOR ALL PANELS SHALL BE ASTM C578 TYPE II EXPANDED POLYSTYRENE.

THE PANELS SHALL BE A MAXIMUM OF THREE FEET (3') WIDE AND SHALL BE SLOTTED BETWEEN AL 6063-T6 1-BEAMS.

THE ALLOWABLE PANEL SPAN CHART IN THIS PACKAGE APPLIES TO BOTH THE STANDARD AND OSB ROOF PANELS.

MECHANICAL FASTENERS

- SHEET METAL SCREWS (SMS) SHALL BE STAINLESS STEEL WITH TYPE AB SCREW THREADS.
- LAG SCREWS SHALL BE GALVANIZED STEEL "FULL BODIED" SCREWS WITH A MINIMUM BENDING YIELD STRENGTH OF 60,000 PSI FOR A" DIAMETER AND 40,000 PSI FOR A" AND LARGER DIAMETER. LAG SCREWS SHALL HAVE A MINIMUM EMBEDMENT DEPTH OF 8 X LAG SCREW DIAMETER
- WOOD SCREWS SHALL HAVE A MINIMUM BENDING YIELD STRENGTH OF 80,000 PSI
- LL358 LEDGER LOK® SCREWS BY FASTENMASTER AND SHALL HAVE A MINIMUM BENDING STRENGTHOP 183,000 PSI AND SHALL HAVE A MINIMUM EMBEDMENT OF 2" INTO THE MAIN WOOD SUPPORTING MEMBER.
- ANCHOR BOLTS INTO CONCRETE SHALL BE ?! Ø X 2-1/2" WEDGE-BOLT+ ANCHORS BY POWERS FISHEN RS. PIN ANCHORS SHALL BE ZAMAC NAILIN ANCHORS MANUFACTURED BY POWERS FASTENERS, BREWSTER
- EQUIVALENT 7. FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL OR SHALL BE HOW DIPPED GALVANIZED PER ASTM A153, HOT DIPPED CONNECTOR PRODUCTS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE ASTM-A653 COATING DESIGNATION G-185

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DATE: 2/13/19

SCALE: NTS

Drawn by: MJG

2019 RCO 1/19/19 2015 SC 8/8/19 DENVER CO 11/6/19

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