



APPLICATION FOR SITE PLAN APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · Fax: 616.396.2537

Applicant Information

Contact Name Lucas Ulberg
Address 3578 Maple Leaf Lane
Hamilton, MI 49419

Company Viking Construction Group
Phone (616) 379-0075
Fax / Email lulberg@vikingconstructiongroup.

Owner Information

Contact Name Tyce Holst
Address 62 S Waverly Rd
Holland, MI 49423

Company Holst Realty LLC
Phone (616) 392-8539
Fax / Email taylorholland@ameritech.net

Plan Preparer Information

Contact Name John M. Tenpas
Address 12330 James Street, Suite H80
Holland, MI 49424

Company Driesenga & Associates, Inc.
Phone (616) 396-0255
Fax / Email johnm@driesenga.com

Property Information

Address or Location 69 Coolidge Avenue, Holland, Michigan 49423
Parcel Number 70 - 16 - 28 - 298 - 021 Zoning District C-2 Community Commercial D
Present Use(s) Vacant

Description of Proposed Use – (attach additional pages as needed)

Development will include 8 units for multi-tenant building, in one building totalling 24,542 sft
Units will range from 1,996 sft to 3,425 sft and will include areas for shop, office, bathroom,
and mezzanine, and will also include 1-2 12' wide overhead doors.

Requesting Planning Commission Review: Yes No (Note: Zoning Administrator may refer to the Planning Commission)

A site plan review fee of \$100 shall be submitted with the required two (2) site plans. If a special meeting is requested before the Planning Commission, an additional fee of \$600 shall be submitted with eleven (11) complete copies of: this form and the site plan including an electronic copy of the site plan on CD or other file sharing device. The copies must be submitted to the Community Development Department no later than the deadline indicated on the Planning Commission's Notice of Regular Meetings. The applicant or its representative must be present at the meeting in order to receive consideration.

I, the undersigned, do hereby certify that the site plan(s) attached hereto have been completed according to all ordinance requirements. I do further understand that if my site plan is not complete or if I fail to attend the meeting, the Planning Commission, at its discretion, may table the decision until a later date.


Signature of Applicant

4/15/25
Date


Signature of Owner

4/16/25
Date

DO NOT WRITE BELOW THIS LINE

Date Received _____ Amount of Fee Paid \$ _____ Check No. _____

Application Accepted by _____



SITE PLAN CHECKLIST

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · Fax: 616.396.2537

All site plans submitted **MUST** contain all the following information unless certain information is waived by the Zoning Administrator: (Please check each item that is shown on the plan or note why it is not)

- A. Site plan, drawn to scale, based on an accurate certified land survey.
- B. Site plan content:
 - B1. Indication of existing Zoning District requirements.
 - C-2 Zoning District
 - Parcel Size Complies
 - Parcel Width Complies
 - Front Yard Setback Complies
 - Side Yard Setback Complies
 - Rear Yard Setback Complies
 - B2. Adjacent Zoning Districts, including Structures within one hundred (100) feet of the site's Lot lines.
 - B3. Location of existing water, sewer, and storm water utilities, including ditches and similar water courses.
 - B4. Existing topographical features including vegetation cover, trees in excess of six (6) inch caliper, and contour intervals no greater than five (5) feet.
 - B5. Location of R.O.W. lines, Lot lines, and applicable Setback lines.
 - B6. Location of existing streets, drives, and parking lots, including loading space(s) and arrangement and number of standard parking spaces and accessible parking spaces.
 - B7. Location of existing improvements, including the size and type of present Buildings or Structures, such as fencing, lighting, and signs to be retained or removed.
 - B8. Proposed topographical features including limits of removal for vegetation cover and contour intervals no greater than five (5) feet.
 - B9. Location of proposed water, sewer, and storm water utilities, including ditches or similar water courses.
 - B10. Location of proposed streets, drives, and parking lots, including loading space(s) and arrangement and number of standard parking spaces and accessible parking spaces.
 - B11. Location of all proposed Buildings or Structures, such as trash enclosures, fencing, light poles, and centralized mail delivery locations for residential communities (i.e., Neighborhood Delivery Centers or Cluster Box Units).
 - B12. Proposed landscaping, including specific ground cover(s), shrubs, and trees with an accurate description of species type and minimum size(s) to be installed.
 - B13. The date, north arrow, and scale. The scale shall not be less than 1" = 50' if the subject property is less than three (3) acres and 1" = 100' if three (3) acres or more.
 - B14. The name and address and phone number of the professional individual, if any, responsible for the preparation of the site plan.

- C. Building information:
 - C1. Preliminary architectural sketches and/or a general statement as to the type of construction and materials to be used in the proposed Buildings or Structures.
 - C2. Height and area of Buildings and Structures, including lot coverage by buildings.

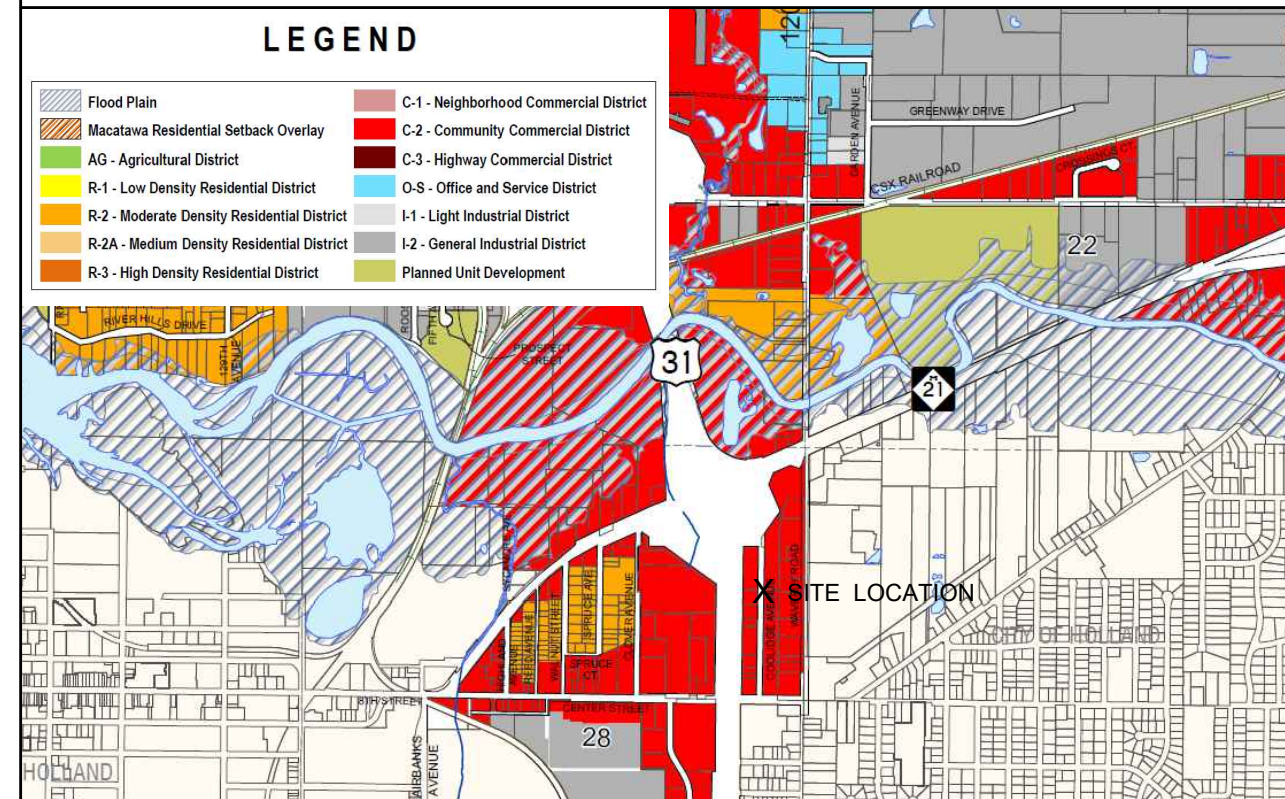
- D. Supplemental information:
 - D1. Project Narrative.
 - D2. The period of time within which the project will be completed.
 - D3. Proposed phasing of the project, if any.
 - D4. Delineation of the one hundred (100) year flood plain and any proposed uses therein.
 - D5. Current proof of ownership of the land to be utilized or evidence of a contractual ability to acquire such land, such as an option or purchase contract.
 - D6. Additional information which the body or official reviewing and approving the site plan may request - which is reasonably necessary to evaluate the site plan.

Planning Commission General Document Submittal Requirements:

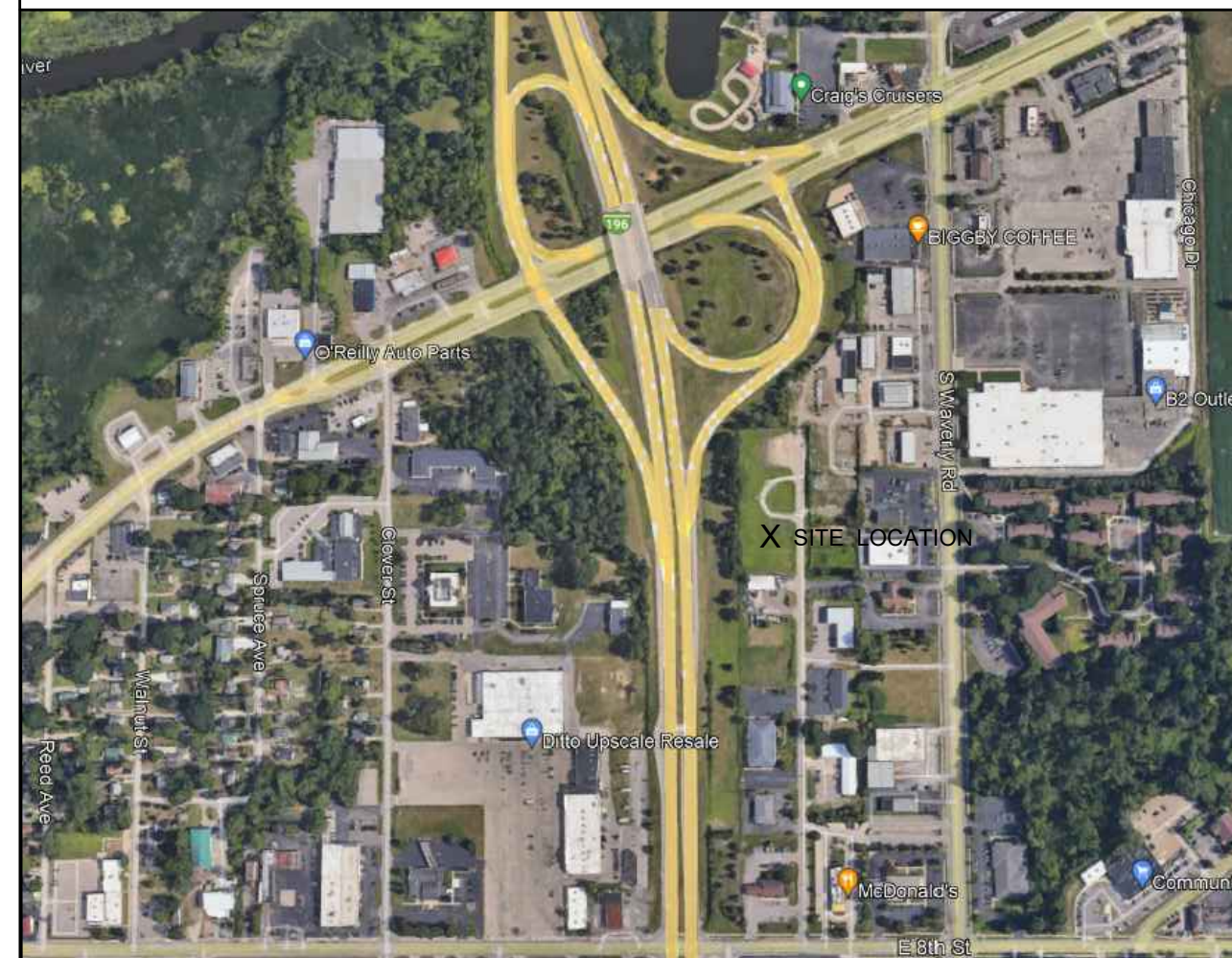
1. Failure to include any of the above information shall result in the rejection of the proposed site plan.
2. All information required on the application form shall be completed, including signature.
3. One original signature copy of the application must be submitted. The balance of the copies required may be photocopies.
4. All required documents/information must be submitted at the same time.
5. Rolled documents shall not be accepted. All documents must be folded to a size no larger than 9"x12".
6. If submittal contains multiple documents, the documents must be collated into "packets". Each packet shall be secured by clips, or rubber bands if necessary.
7. Two (2) sets of plans shall bear the original seal and signature of the architect or engineer who prepared them; the balance required may be copies.



LOCATION MAP - NO SCALE



ZONING MAP - NO SCALE



AERIAL - NO SCALE



VIKING CONSTRUCTION GROUP

COOLIDGE AVENUE

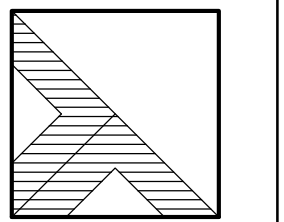
SECTION 28, T05N, R15W

HOLLAND, MICHIGAN 49423

SHEET INDEX

G-001	TITLE SHEET
V-101	EXISTING TOPOGRAPHIC PLAN
CD-101	CIVIL DEMOLITION PLAN
C-101	SITE PLAN
C-102	STORM SEWER, GRADING AND SOIL EROSION CONTROL PLAN
C-103	UTILITY PLAN
L-101	LANDSCAPE PLAN
C-501	DETAILS

SITE ADDRESS
COOLIDGE AVENUE COOLIDGE AVENUE HOLLAND, MI 49423
OWNER
HOLST REALTY LLC 62 S WAVERLY ROAD HOLLAND, MI 49423 (616)-392-8539 TYCE HOLST TAYLORHOLLAND@AMERITECH.NET
GENERAL CONTRACTOR
VIKING CONSTRUCTION GROUP 3578 MAPLE LEAF LANE HAMILTON, MI 49419 (616)-379-0075 LUCAS ULBERG LULBERG@VIKINGCONSTRUCTIONGROUP.COM
CIVIL ENGINEER
DRIESENGA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE H80 HOLLAND, MICHIGAN 49424 (616) 396-0255 JOHN TENPAS, P.E. john.t@driesenga.com



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Lansing, MI
517-889-6210
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734-368-9483

COOLIDGE AVENUE
COOLIDGE AVENUE, HOLLAND, MI, 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
-FOR-
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

ISSUED FOR:

1 ISSUED FOR REVIEW
04-14-2025 D:AA.C.JMT

Project Manager:

JOHN TENPAS

Project #

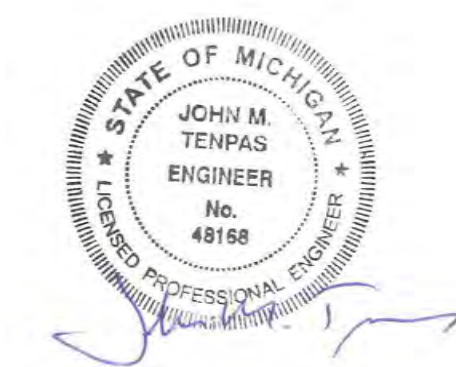
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Sheet Title:

TITLE SHEET

Sheet #

G-001
1 of 8

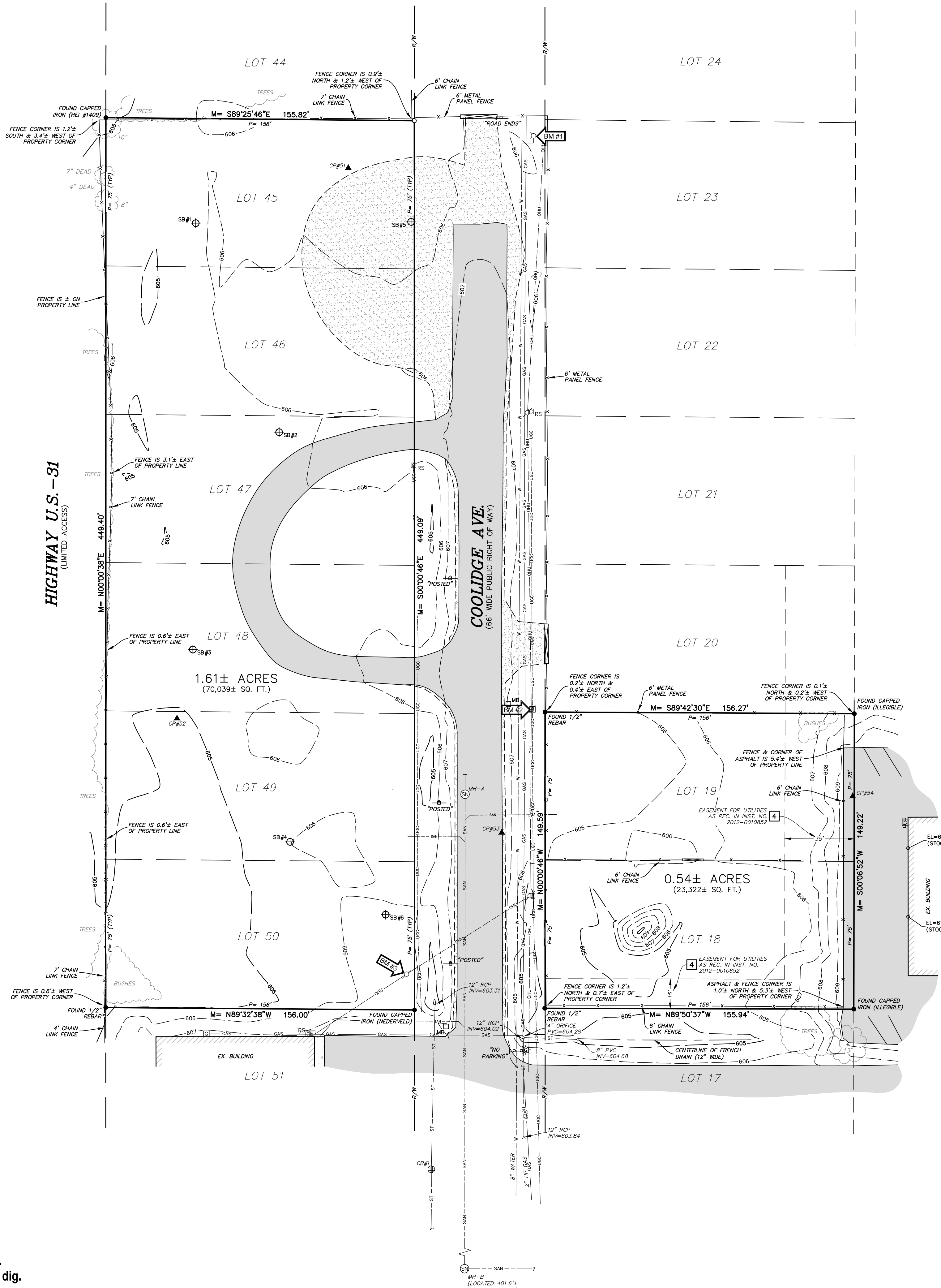


ISSUED FOR
APPROVAL



Know what's below.
Call before you dig.

TOPOGRAPHIC / BOUNDARY SURVEY



SCHEDULE "A" LEGAL DESCRIPTION
 FROM: FIRST AMERICAN TITLE INSURANCE COMPANY
 COMMITMENT NO. 4012-129744 (EFFECTIVE DATE: AUGUST 14, 2013)

PARCEL 1:
 LOTS 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 45, 46, 47, 48, 49 AND 50, RIVERVIEW SUBDIVISION OF A PART OF LOT 5 VILLAGE OF CEDAR SWAMP, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 8 OF PLATS, PAGE 52; EXCEPT THAT PART OF LOTS 26, 27, AND 28 LYING NORTHWESTERLY OF A LINE BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 26; THENCE NORTHEASTERLY TO THE NORTHEAST CORNER OF SAID LOT 28.

SCHEDULE "B-II" PART TWO: SPECIFIC EXCEPTIONS
 FROM: FIRST AMERICAN TITLE INSURANCE COMPANY
 COMMITMENT NO. 4012-129744 (EFFECTIVE DATE: AUGUST 14, 2013)

- INTEREST OF JOHN GRONBERG, AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 782, PAGE 551, LIBER 861, PAGE 674, AND LIBER 937, PAGE 22. (NO EASEMENT TO DEPICT)
- EASEMENT FOR PUBLIC UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE ABANDONED COOLIDGE AVENUE AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 22 OF MISCELLANEOUS RECORDS, PAGE 98. (NO SUPPORTING DOCUMENTATION RECEIVED OR REVIEWED)
- HIGHWAY U.S. 31 IS A LIMITED ACCESS HIGHWAY AS DISCLOSED BY INSTRUMENTS RECORDED IN LIBER 466, PAGE 250 AND LIBER 469, PAGE 393. (NO SUPPORTING DOCUMENTATION RECEIVED OR REVIEWED)
- TERMS AND CONDITIONS CONTAINED IN GRANT OF EASEMENT FOR UTILITIES AS DISCLOSED BY INSTRUMENT RECORDED IN INSTRUMENT NO. 2012-0010852. (SHOWN ON DRAWING)

NOTE: BOUNDARY SURVEY PERFORMED ON LOTS 18-19 AND 45-50 ONLY OF PARCEL 1 AS PART OF THIS PROJECT. PARCEL 2 WAS NOT INCLUDED.

BENCHMARK DATA

NAVD '88 BASED ON PREVIOUS DRIESENKA & ASSOCIATES, INC. TOPOGRAPHIC / PARTIAL BOUNDARY SURVEY, JOB NO. 1610351.5A, DATED 05-24-2016.

BM #1 EL = 607.82' (NAVD '88 DATUM)
 SOUTHEAST UPPER FLANGE BOLT UNDER THE 'E' IN 'EJW' ON HYDRANT, LOCATED ON THE EAST SIDE OF COOLIDGE AVENUE, 21'± SOUTHEAST OF THE GATE ENTRANCE ON THE NORTH END OF COOLIDGE AVE.

BM #2 EL = 607.33' (NAVD '88 DATUM)
 TOP OF HEAD OF RAILROAD SPIKE IN SOUTHWEST FACE OF UTILITY POLE, LOCATED 26'± EAST OF CENTERLINE OF COOLIDGE AVE., AND 7'± WEST OF NORTHWEST CORNER OF LOT 19.

BM #3 EL = 607.88' (NAVD '88 DATUM)
 TOP OF RAILROAD SPIKE IN NORTH FACE OF POWER POLE, LOCATED NEAR THE SOUTH ENTRANCE TO SITE, 18'± NORTHWESTERLY OF THE SOUTHEAST PROPERTY CORNER OF LOT 50, AND 38'± WEST OF THE CENTERLINE OF COOLIDGE AVE.

SURVEY CONTROL

POINT NUMBER	NORTHING (ASSUMED)	EASTING (ASSUMED)	ELEVATION (NAVD '88)
51	5402.1498'	4943.2662'	605.82'
52	5124.1407'	4856.7303'	604.74'
53	5066.4832'	5020.8037'	607.49'
54	5084.8087'	5198.1053'	609.28'

STORM STRUCTURE DATA

CB #1 - 4'Ø CONCRETE BLOCK
 RIM = 605.99
 INV (N) 12" RCP = 603.29
 INV (S) 15" RCP = 603.14
 SUMP = 601.49

SANITARY STRUCTURE DATA

MH-A - 4'Ø CONCRETE
 RIM = 607.61
 INV (N) CONC STUB = 597.84
 INV (S) 8" PVC = 597.49

 MH-B - 4'Ø CONCRETE
 RIM = 607.72
 INV (N) 8" PVC = 595.86
 INV (E) 8" PVC = 595.70
 INV (S) 8" PVC = 595.77

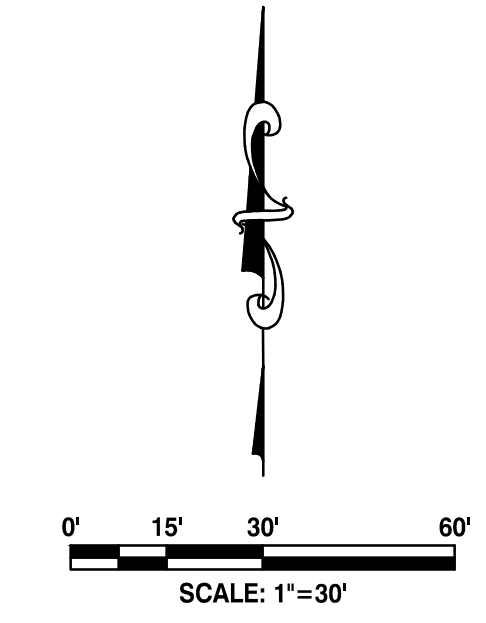
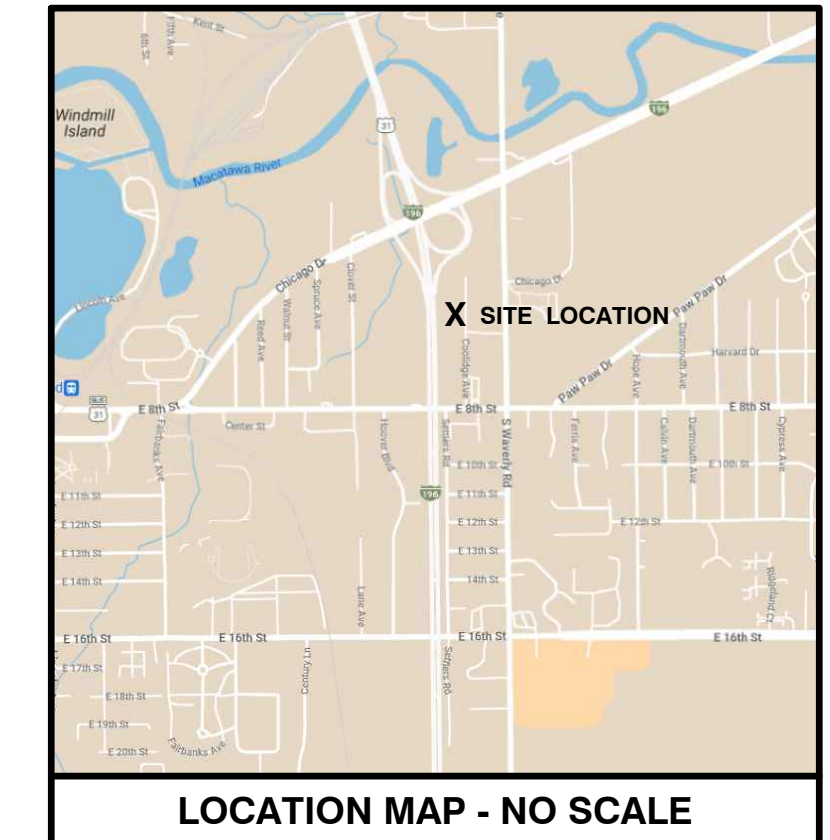
MISS DIG INFORMATION

MISS DIG SURVEY TICKET # 2024041703294 REV: 000
 (INCLUDES INFORMATION RECEIVED THROUGH 05-07-2024)

- CHARTER COMMUNICATIONS / SPECTRUM - 04/17/2024 (CLEAR)
- SEMCO ENERGY - 04/18/2024 (MAPS RECEIVED)
- CCI SYSTEMS - 04/19/2024 (MAPS RECEIVED - CLEAR)
- HOLLAND BOARD OF PUBLIC WORKS - 04/23/2024 (MAPS RECEIVED)
- AT&T - 04/25/2024 (MAPS RECEIVED)

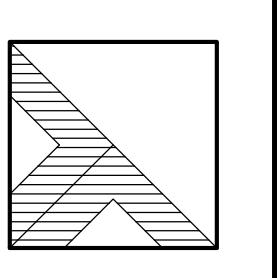
SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" (NO SCREEN) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26139C0312E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 16, 2011. ZONE "X" (NO SCREEN) AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE FIELD WORK WAS COMPLETED ON APRIL 24, 2024.



LEGEND

- BENCHMARK: BM #1
- SET CAPPED REBAR #62895
- FOUND IRON
- CONTROL POINT
- PLATTED
- MEASURED
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- GAS METER
- UTILITY RISER
- UTILITY POLE
- ELECTRIC METER
- SIGN
- SOIL BORING
- POST
- MAIL BOX
- UNDERGROUND GAS LINE MARKER
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



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COOLIDGE AVENUE
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 SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
 -FOR-
VIKING CONSTRUCTION GROUP
 3578 MAPLE LEAF LANE, HAMILTON, MI 49419

REVISIONS

NO.	DESCRIPTION
1	

Drawn By: **GLK**

Scale: 1" = 30'

Date: 05-07-2024

Project # 2410277.5A

Sheet Title:

TOPOGRAPHIC / BOUNDARY SURVEY

Sheet #

V-101
 1 of 1

Tax Parcel No.: 70-16-28-298-021 & Part of 70-16-28-299-046



Marc Elwood Lohela II
 P.S. No. 4001062695

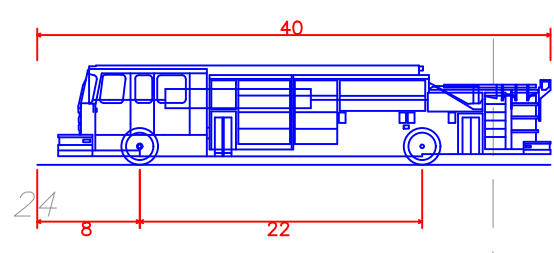
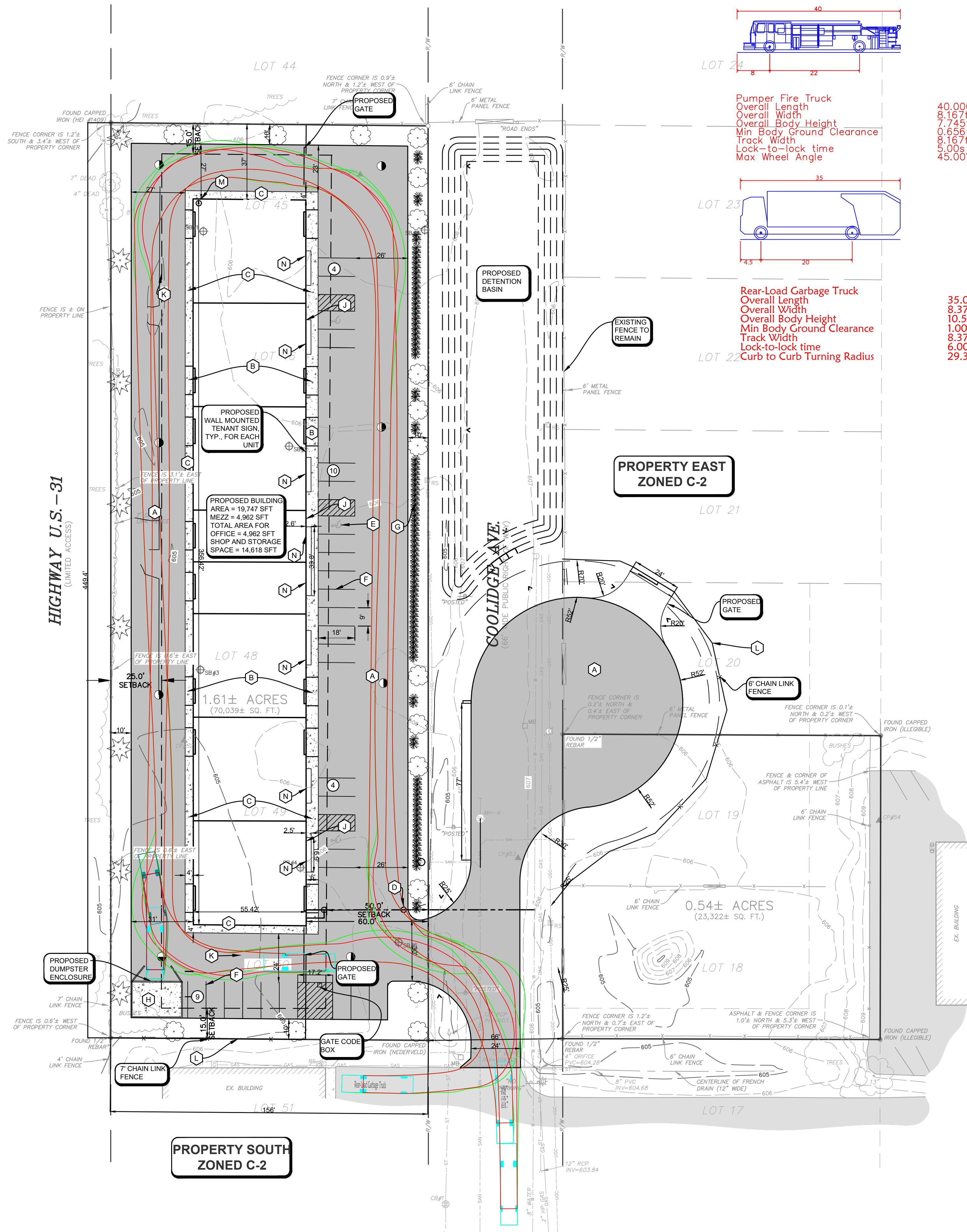
THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.



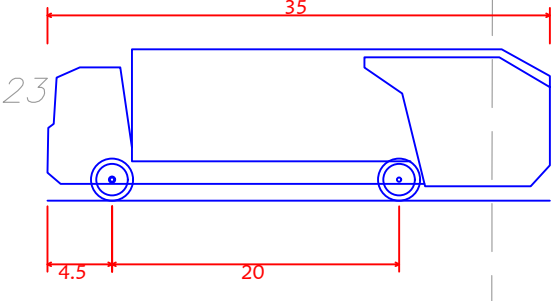
Know what's below.
 Call before you dig.



Know what's below.
Call before you dig.



Pumper Fire Truck
Overall Length 40
Overall Width 8
Overall Body Height 22
Min Body Ground Clearance 8
Track Width 8
Lock-to-lock time 8
Max Wheel Angle 8



Rear-Load Garbage Truck
Overall Length 35
Overall Width 4.5
Overall Body Height 20
Min Body Ground Clearance 2
Track Width 2
Lock-to-lock time 2
Curb to Curb Turning Radius 2

PROJECT SUMMARY

- PARCEL INFORMATION**
CURRENT ZONING: C-2 COMMUNITY COMMERCIAL DISTRICT
SITE ADDRESS: TBD AND 69 COOLIDGE AVE
PARCEL NUMBER: 70-16-28-298-021
- BUILDING**
MIN. LAND AREA: 15,000 SFT
MIN. LOT WIDTH: 90 FT
REQUIRED: 15,000 SFT, 90 FT
PROVIDED: 1.61 AC, 449 FT
- SETBACKS**
FRONT (MIN.): 50 FT
NORTH SIDE (MIN.) (NON RESIDENTIAL): 15 FT
SOUTH SIDE (MIN.) (NON RESIDENTIAL): 15 FT
REAR (MIN.) (RESIDENTIAL): 25 FT
REQUIRED: 50 FT, 15 FT, 15 FT, 25 FT
PROVIDED: 60 FT, 37 FT, 55.84 FT, 40.5 FT
- PARKING**
DIMENSIONS: 9'X18'
1300 SFT OFFICE (4,962 SFT; 628 SFT PER UNIT FOR 6 UNIT + 1,206 SFT; 607 SFT PER UNIT FOR 2 UNIT) + 1/2000 SFT WAREHOUSE AND MEZZ (4,962 + 19580 SFT) = 27
TOTAL SPACES = 27
ADA SPACES = 2
REQUIRED: 9'X18', 27
PROVIDED: 27
- REGULATORY APPROVALS**
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)
• HOLLAND TOWNSHIP SITE PLAN
• HOLLAND TOWNSHIP FIRE DEPARTMENT
• OTTAWA COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT
• OTTAWA COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT
• OTTAWA COUNTY ROAD COMMISSION ROW/DRIVEWAY
- IMPACT ON PUBLIC SERVICES**
PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS.
- IMPACT TO SURROUNDING PROPERTIES**
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.
- SIGNAGE**
WALL SIGN: NONE PROPOSED
MAX. NUMBER: NO LIMIT
MAX. SIZE: 2% OF WALL AREA
GROUND SIGN: NONE PROPOSED
PYLON SIGN: NONE PROPOSED
REQUIRED: NONE, NO LIMIT, 2% OF WALL AREA
PROVIDED: 1 FOR THE SITE, 1 FOR EACH TENANT, TBD
- STORM WATER MANAGEMENT**
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCH BASINS AND PIPES, AND ROUTED TO DETENTION BASIN ON-SITE. DETENTION BASIN WILL DISCHARGE TO A PROPOSED EXTENSION OF EXISTING ROADSIDE DITCH ALONG THE WEST SIDE OF COOLIDGE AVENUE.
- WATER/SEWER SERVICE**
SITE WILL BE SERVED BY NEW PRIVATE WATER AND SEWER CONNECTIONS CONNECTED TO EXISTING PUBLIC UTILITIES ADJACENT TO THE SITE.
- WETLANDS**
THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS**
THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26139C0312E.
- LANDSCAPING**
SEE LANDSCAPING PLAN.
- SITE LIGHTING**
PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT POLES AND WALL PACKS AT LOCATIONS SHOWN. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- LOADING/UNLOADING OPERATIONS**
LOADING/UNLOADING OPERATIONS WILL OCCUR INSIDE EACH UNIT. DELIVERIES/SHIPMENTS WILL BE DONE USING BOX TRUCKS OR SMALL TRAILERS (NO SEMI-TRUCKS WILL BE ALLOWED). DELIVERIES/SHIPMENTS WILL GENERALLY OCCUR THROUGHOUT THE WEEK DURING DAYTIME HOURS.
- REFUSE MANAGEMENT**
A NEW DUMPSTER ENCLOSURE IS PROPOSED, LOCATED OFF THE SOUTHWEST CORNER OF THE BUILDING. ENCLOSURE WILL CONSIST OF CONCRETE PAD, PRIVACY FENCE AND DOUBLE SWING GATE, AND COMPLY WITH TOWNSHIP REQUIREMENTS.
- CONSTRUCTION SCHEDULE**
CONSTRUCTION IS ANTICIPATED TO START IN JULY, 2025 AND BE COMPLETED IN DECEMBER, 2025.

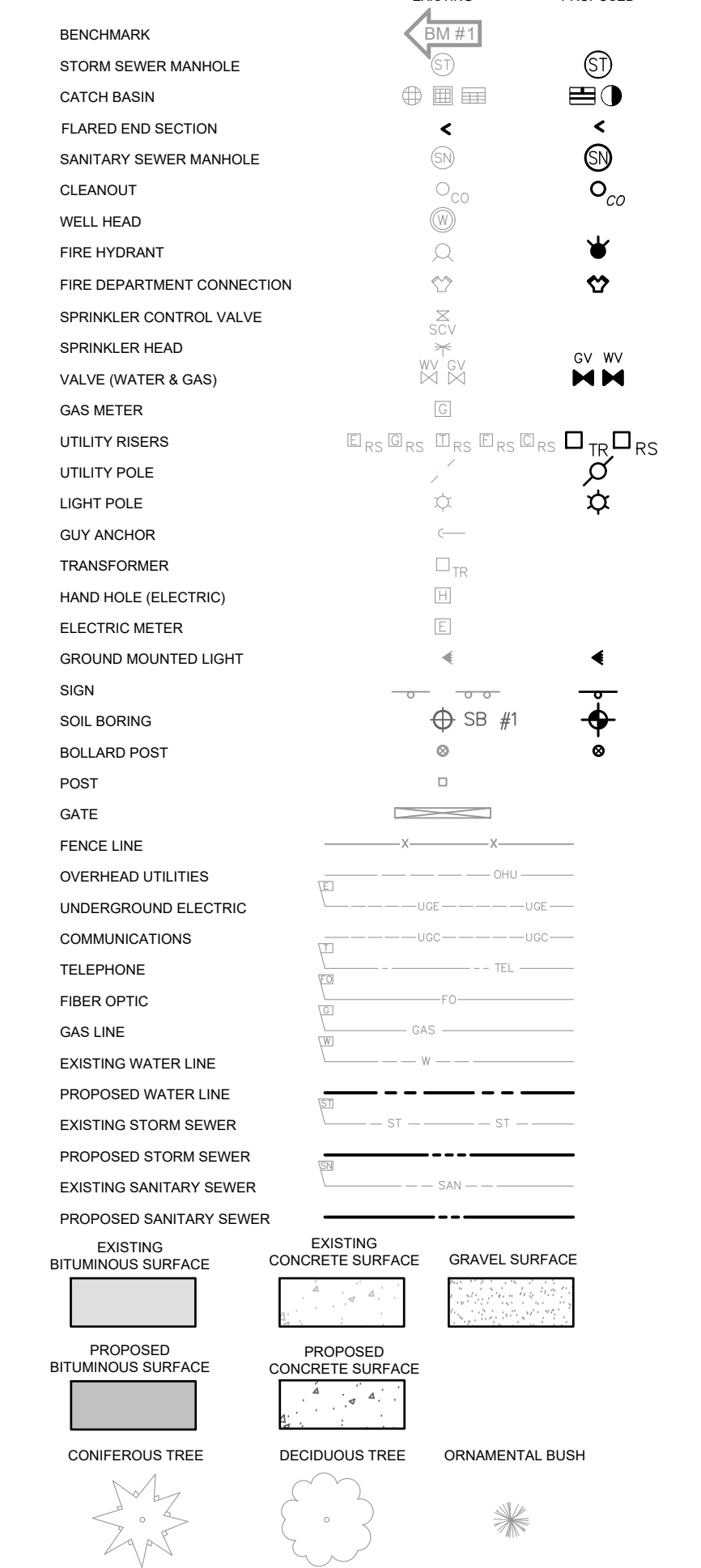
GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

LAYOUT NOTES:

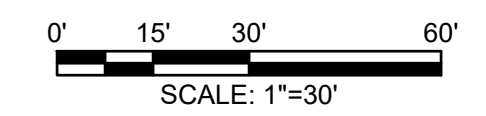
- CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.

LEGEND

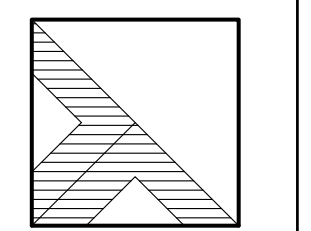


KEY NOTES:

- (A) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)
- (B) 6" CONCRETE SIDEWALK, FLUSH, TYP. (SEE DETAIL)
- (C) 4" CONCRETE SIDEWALK, FLUSH, TYP. (SEE DETAIL)
- (D) CURB STOP IN PAVEMENT (SEE DETAIL)
- (E) 4" BLUE PVMT. MARKING & SYMBOL PER ADA STANDARDS, TYP (SEE DETAIL)
- (F) 4" WHITE PAVEMENT MARKINGS, TYP
- (G) LIGHT POLE (PER HOLLAND TOWNSHIP REQUIREMENTS)
- (H) DUMPSTER PAD (SEE DETAIL)
- (J) BARRIER FREE SIGN, VAN ACCESSIBLE WALL MOUNTED (SEE DETAIL)
- (K) DIRECTIONAL ARROW, TYP. (SEE DETAIL)
- (L) CHAIN LINK FENCE, TYP. (SEE DETAIL)
- (M) EXTERIOR DOWNSPOUT CONNECTION (SEE DETAIL)
- (N) WALL MOUNTED TENANT SIGN, TYP



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-FOR-
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

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04-14-2025 D:AA C:JMT

Project Manager:
JOHN TENPAS

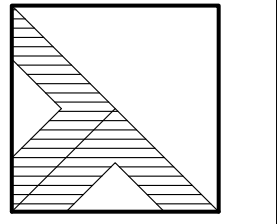
Project #
2410277.1A

Sheet Title:

SITE PLAN

Sheet #

C-101
4 of 8



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JOHN TENPAS

Project #

2410277.1A

Sheet Title:

STORM SEWER,
GRADING AND
SOIL EROSION
CONTROL PLAN

Sheet #

C-102
5 of 8

GRADING NOTES:

- 1. ALL SURFACES SHALL BE GRADED TO PROVIDE SMOOTH CONTOURING AND POSITIVE SLOPE AWAY FROM BUILDINGS, WITH NO PONDING OF WATER.
2. IN ALL AREAS OF NEW CONSTRUCTION, GRADING, OR MATERIAL STOCKPILE AREAS, STRIP AND STOCKPILE EXISTING TOPSOIL PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
3. UNLESS OTHERWISE INDICATED, GRADES AND CONTOURS SHOWN REPRESENT FINISHED GRADE, AFTER PLACEMENT OF PAVEMENT, TOPSOIL, AND OTHER SURFACE IMPROVEMENTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES, AND CLEAN-OUTS TO MEET FINISHED GRADE.

SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
2. PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
3. CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
4. INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
5. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
6. DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
7. TEMPORARY SEEDING SHALL CONSIST OF OATS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL RYEGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
8. TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
9. CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
10. INSTALL INLET SEDIMENT TRAPS ('SILT SACK' OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
11. CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
12. PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES, ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT LADEN WATER.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
14. THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
15. ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.

CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

PAVING: REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

SEEDING: INSPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.

REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.

IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS, AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.

TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

SESC SITE SUMMARY:

- 1. NATIVE SITE SOIL IS CLASSIFIED AS SANDY LOAM PER USDA WEB SOIL SURVEY OR SOIL BORINGS.
2. WETLANDS: THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
3. FLOODPLAINS: THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN. 26139C0312E.
4. AREA OF DISTURBANCE: 2.15 ACRES

RESTORATION NOTES:

- 1. EXISTING ONSITE TOPSOIL MAY BE USED IF APPROVED BY ENGINEER IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL BE USED.
2. RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE JKFW STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT LEVEL.
3. DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
4. ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
5. ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.

OPERATION TIME SCHEDULE - JULY 2025 - DEC 2025. Table with columns for months and rows for construction phases: CONSTRUCTION SEQUENCE, SITE CLEARING AND INSTALL CONTROLS, ROUGH GRADE SITE, INSTALL UTILITIES, BUILDING CONSTRUCTION, FINAL GRADING, PAVING, SEEDING & STABILIZATION.

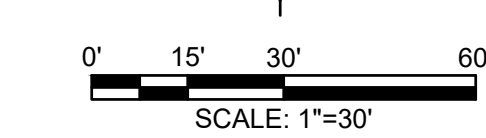
Material specification table with columns for material code (E6, E8, S58), material name (MULCH, PERMANENT SEEDING, INLET PROTECTION FABRIC DROP), and description of use.

LEGEND

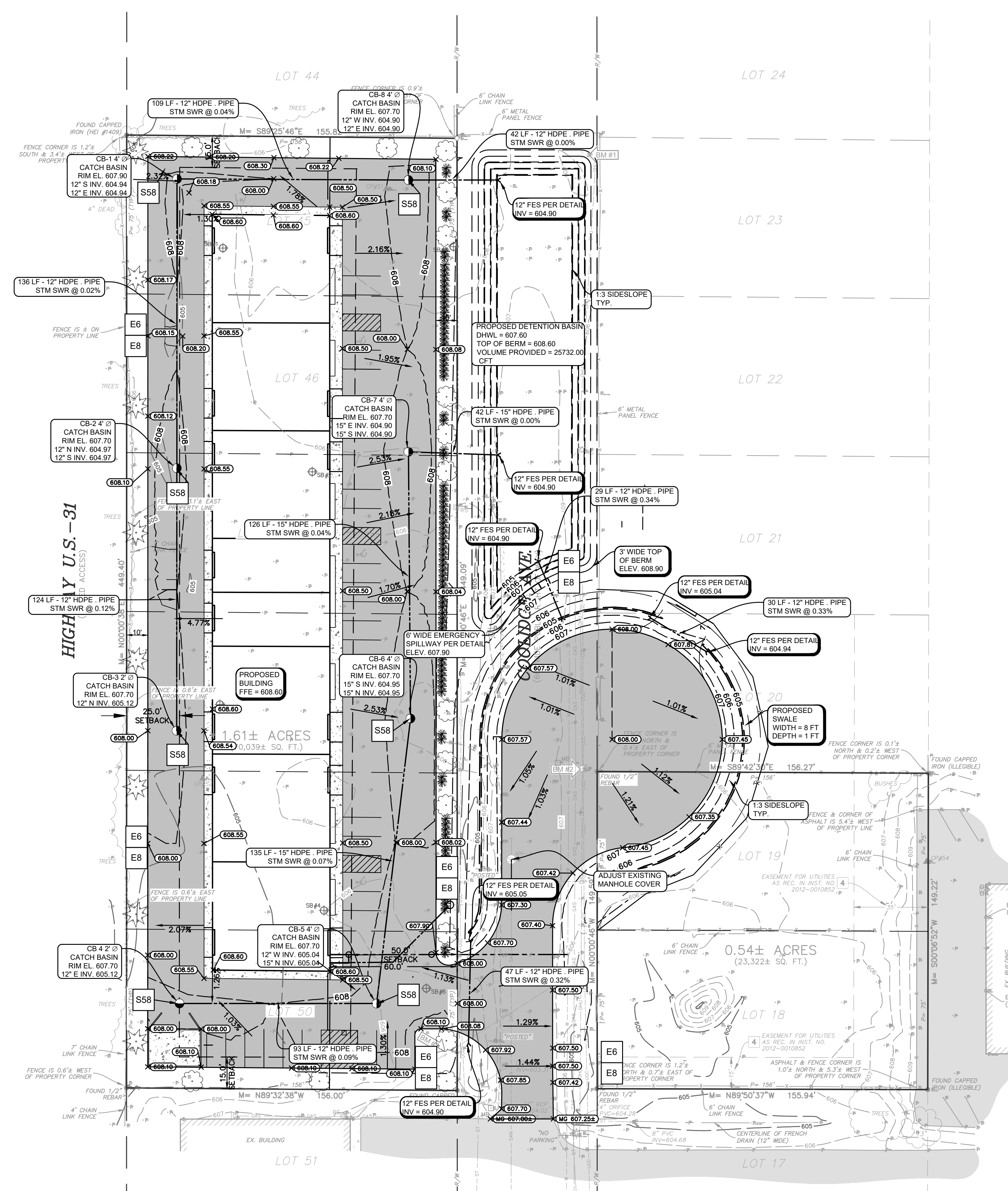
- XXX.XX FINISH GRADE ELEVATION
MG XXX.XX MATCH EXISTING GRADE ELEVATION
TC XXX.XX FINISH GRADE ELEVATION AT BACK OF CURB
FL XXX.XX FINISH GRADE ELEVATION AT FLOWLINE
TW XXX.XX FINISH GRADE ELEVATION AT TOP OF WALL
BW XXX.XX FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
PROPOSED SWALE
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
627.00 MINIMUM OPENING ELEV. (M.O.E.)
623.60 MINIMUM BASEMENT ELEV. (M.B.E.)

LEGEND

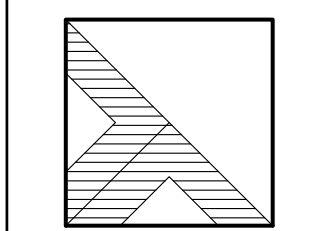
- BENCHMARK
STORM SEWER MANHOLE
CATCH BASIN
FLARED END SECTION
SANITARY SEWER MANHOLE
CLEANOUT
WELL HEAD
FIRE HYDRANT
FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE
SPRINKLER HEAD
VALVE (WATER & GAS)
GAS METER
UTILITY RISERS
UTILITY POLE
LIGHT POLE
GUY ANCHOR
TRANSFORMER
HAND HOLE (ELECTRIC)
ELECTRIC METER
GROUND MOUNTED LIGHT
SIGN
SOIL BORING
BOLLARD POST
POST
GATE
FENCE LINE
OVERHEAD UTILITIES
UNDERGROUND ELECTRIC
COMMUNICATIONS
TELEPHONE
FIBER OPTIC
GAS LINE
EXISTING WATER LINE
PROPOSED WATER LINE
EXISTING STORM SEWER
PROPOSED STORM SEWER
EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
BITUMINOUS SURFACE
CONCRETE SURFACE
GRAVEL SURFACE
PROPOSED BITUMINOUS SURFACE
PROPOSED CONCRETE SURFACE
CONIFEROUS TREE
DECIDUOUS TREE
ORNAMENTAL BUSH



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Project Manager:
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Project #
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Sheet Title:

LANDSCAPE PLAN

Sheet #

L-101
7 of 8

LANDSCAPING SUMMARY:
LANDSCAPING PER HCT. ARTICLE 11

A. FRONT YARD LANDSCAPING

	REQUIRED	PROVIDED
1. (450 FEET SECTION OF EAST PROP. LINE, AREA DISTURBED) 1 CANOPY OR EVERGREEN TREE PER 40 LFT = 450/40 =	11	11
AREA WHERE PARKING LOT SCREENING IS NOT REQUIRED (261 LFT): 3 SHRUBS PER 40 LFT = (261/40)*3 =	20	20

B. BUFFERS

BUFFER BETWEEN COMMERCIAL-IMPROVED AND COMMERCIAL-IMPROVED -TYPE D
-10 FEET WIDE
-NO SCREEN REQUIRED

	REQUIRED	PROVIDED
1. (450 FEET SECTION OF WEST PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 450/60 =	8	8
2. (156 FEET SECTION OF SOUTH PROP. LINE) 1 CANOPY OR EVERGREEN TREE PER 60 LFT = 156/60 =	3	3

- C. PARKING LOT LANDSCAPING**
- SCREENING:**
189 LFT OF PARKING ADJACENT TO ROW
1 SHRUB/2.5LFT = 76 SHRUBS
PROVIDED = 76 SHRUBS
 - PARKING LOT CANOPY TREES:**
27 TOTAL PARKING SPACES
1 TREE AND 100 SFT OF LANDSCAPED AREA PER 12 SPACES = 2 TREES + 200 SFT OF LANDSCAPED AREA
PROVIDED = 2 TREES + 3,650 SFT OF LANDSCAPED AREA

LANDSCAPING KEY:

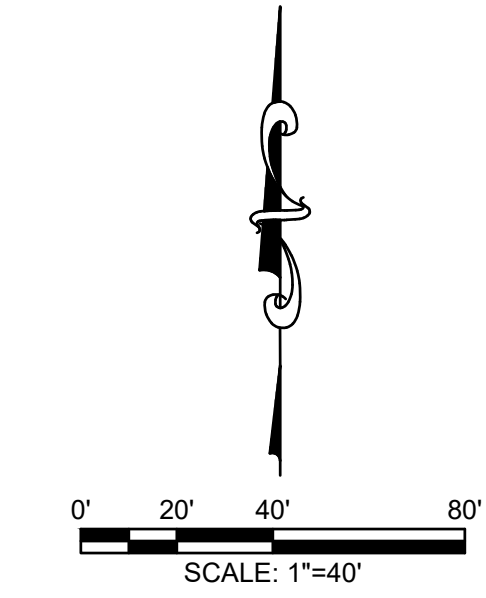
- (A) WHITE SPRUCE, PICEA GLAUCA, 6' HT (4 EA)
- (B) CRIMSON KING MAPLE, ACER PLATANOIDES 'CRIMSON KING', 2 1/2" CAL (2 EA)
- (C) GREEN VELVET BOXWOOD, BUXUS 'GREEN VELVET', 24" HT (26 EA @ 2.5' O.C.)
- (D) LAWN AREA PER LANDSCAPING NOTES

LANDSCAPING NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND LOCAL STANDARDS AND CODES.
- CALL "MISS DIG", 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY DIGGING.
- LANDSCAPE CONTRACTOR SHALL ENSURE PROPER WATERING OF PLANTED AND SEEDED AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS WITH SPRINKLER HEADS AND LINES. LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE REDO OF COMPLETED LANDSCAPE WORK, AND DAMAGE TO PLANT MATERIAL.
- ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN LAYOUT WORK.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN DIGGING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY TRENCHING AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS.
- PRIOR TO SPREADING THE TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.
- CONTRACTOR SHALL NOTIFY ENGINEER IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE BORDER IS SPECIFIED.
- ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 3" LAYER OF LANDSCAPE MULCH.
- PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
- CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO BE SODDED.
- LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- SEED LAWN AREAS WITH COMMON SUNNY MIX GRASS SEED
40% GNOME KENTUCKY BLUEGRASS
20% PERNILLE OR BOREAL KENTUCKY BLUEGRASS
20% CREEPER CREEPING RED FESCUE
20% PERENNIAL RYEGRASS
SEED AT A RATE OF 5 LBS. PER 1,000 SFT.

LEGEND

BENCHMARK	EXISTING	PROPOSED
STORM SEWER MANHOLE		
CATCH BASIN		
FLARED END SECTION		
SANITARY SEWER MANHOLE		
CLEANOUT		
WELL HEAD		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
SPRINKLER CONTROL VALVE		
SPRINKLER HEAD		
VALVE (WATER & GAS)		
GAS METER		
UTILITY RISERS		
UTILITY POLE		
LIGHT POLE		
GUY ANCHOR		
TRANSFORMER		
HAND HOLE (ELECTRIC)		
ELECTRIC METER		
GROUND MOUNTED LIGHT		
SIGN		
SOIL BORING		
BOLLARD POST		
POST		
GATE		
FENCE LINE		
OVERHEAD UTILITIES		
UNDERGROUND ELECTRIC		
COMMUNICATIONS		
TELEPHONE		
FIBER OPTIC		
GAS LINE		
EXISTING WATER LINE		
PROPOSED WATER LINE		
EXISTING STORM SEWER		
PROPOSED STORM SEWER		
EXISTING SANITARY SEWER		
PROPOSED SANITARY SEWER		
BITUMINOUS SURFACE		
EXISTING CONCRETE SURFACE		
GRAVEL SURFACE		
PROPOSED BITUMINOUS SURFACE		
PROPOSED CONCRETE SURFACE		
CONFEROUS TREE		
DECIDUOUS TREE		
ORNAMENTAL BUSH		



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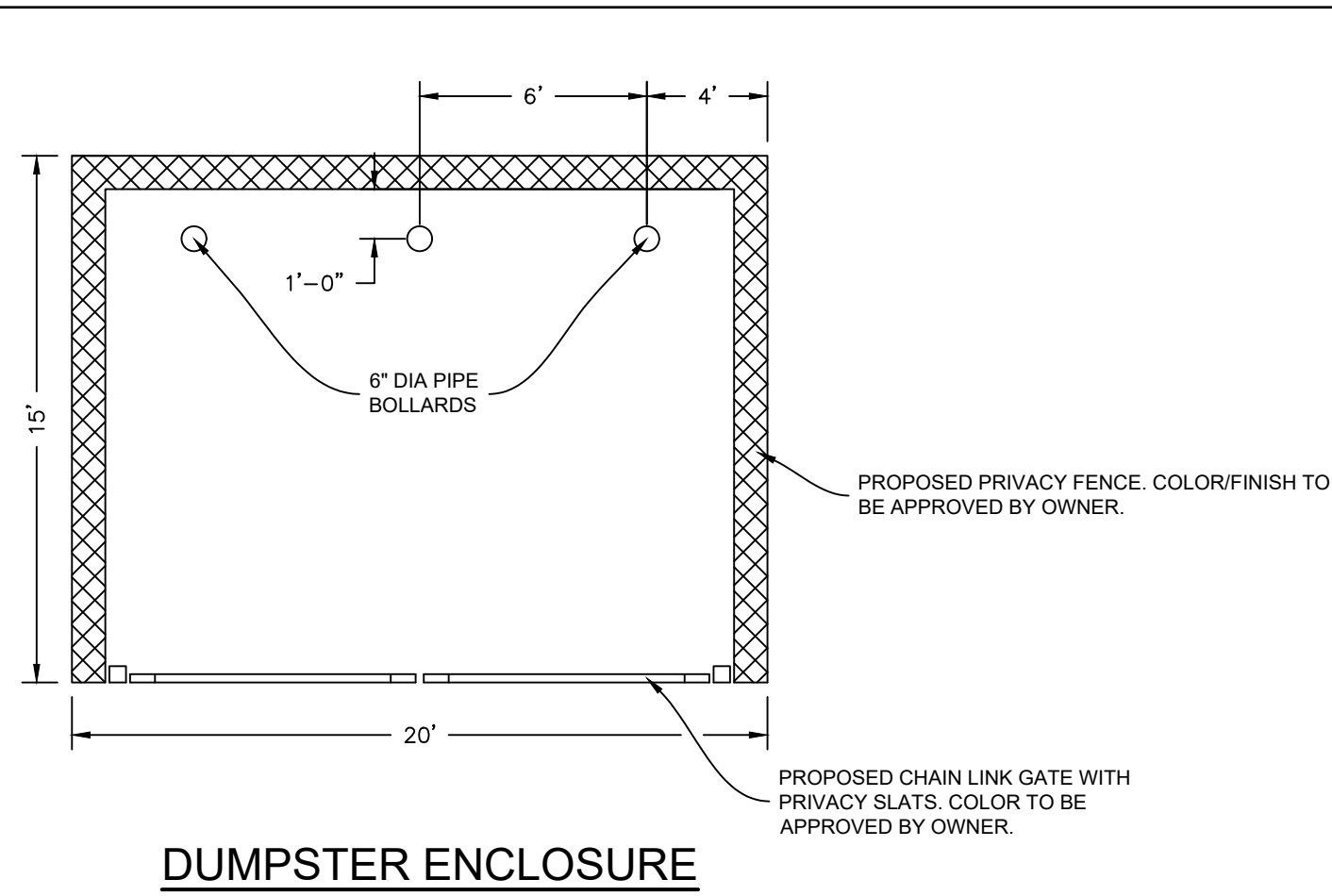
PROPERTY WEST ZONED C-2

PROPERTY EAST ZONED C-2

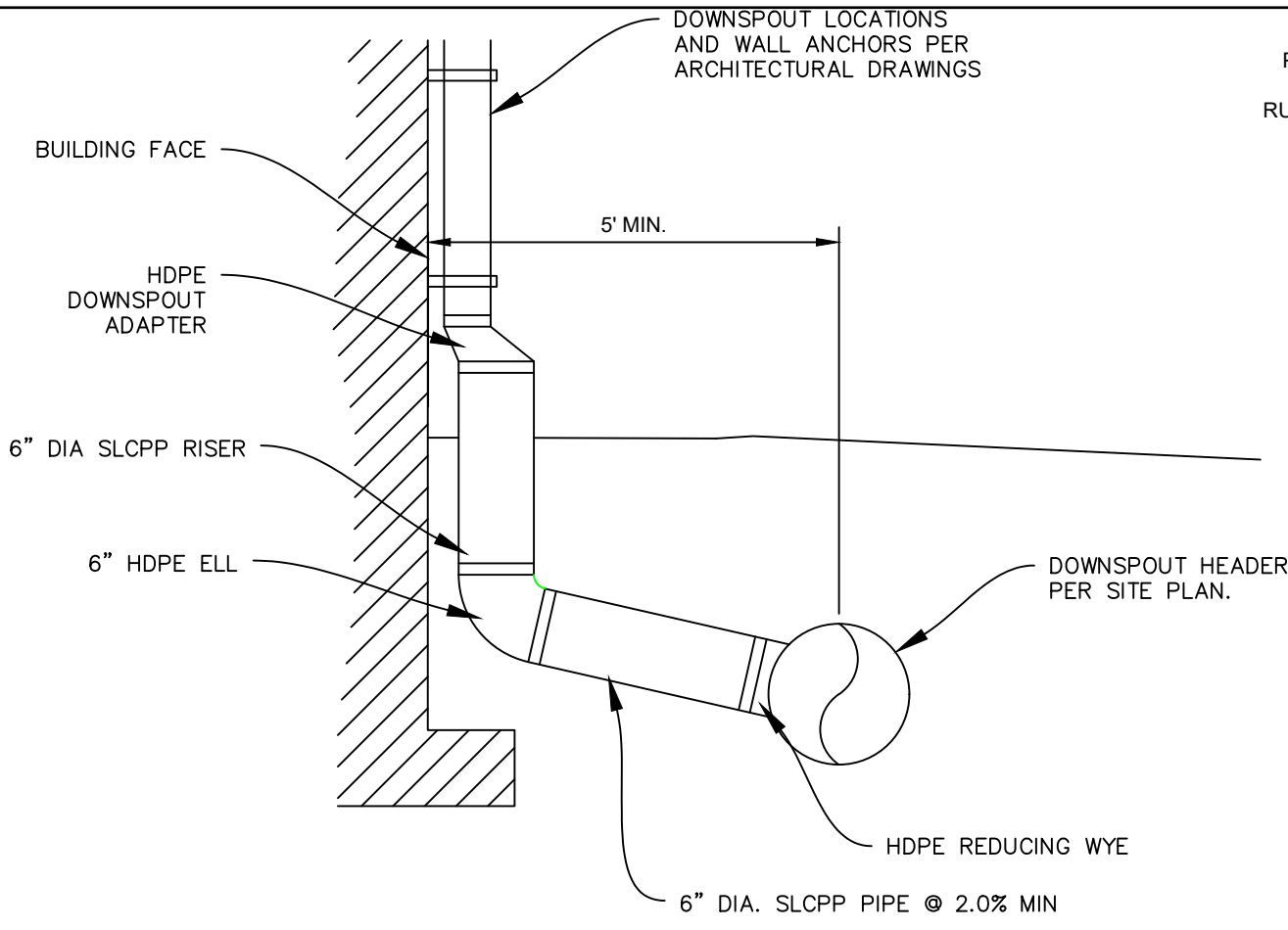
PROPERTY SOUTH ZONED C-2



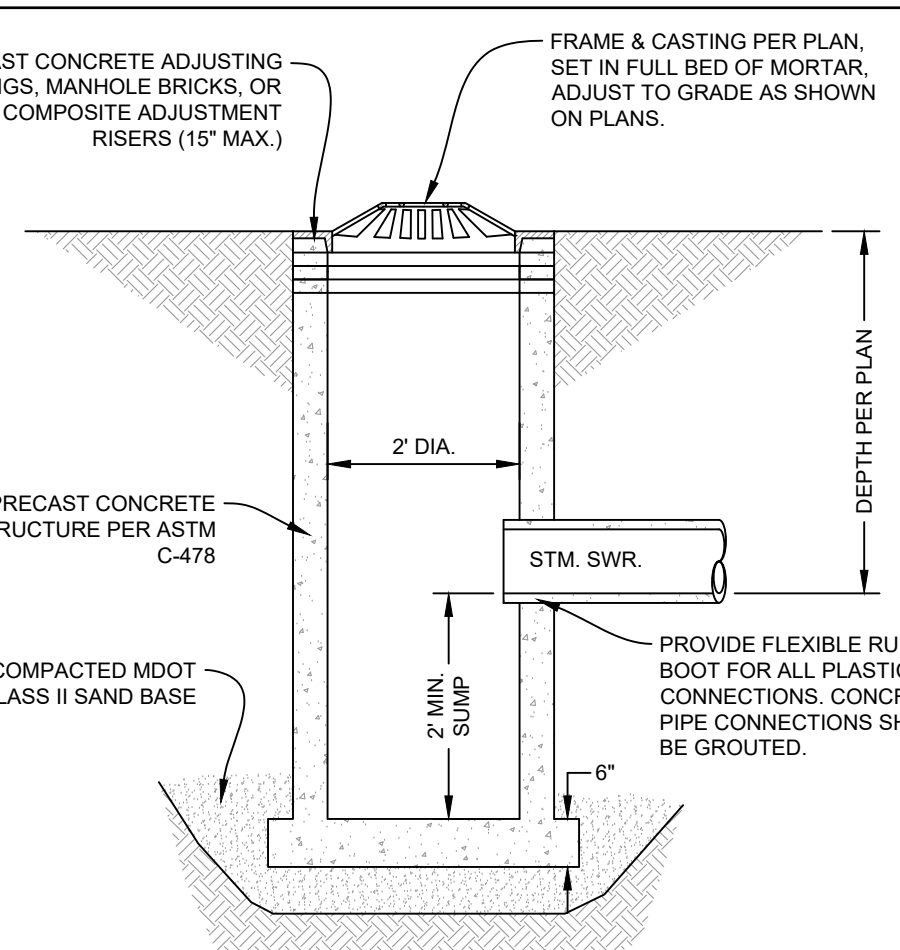
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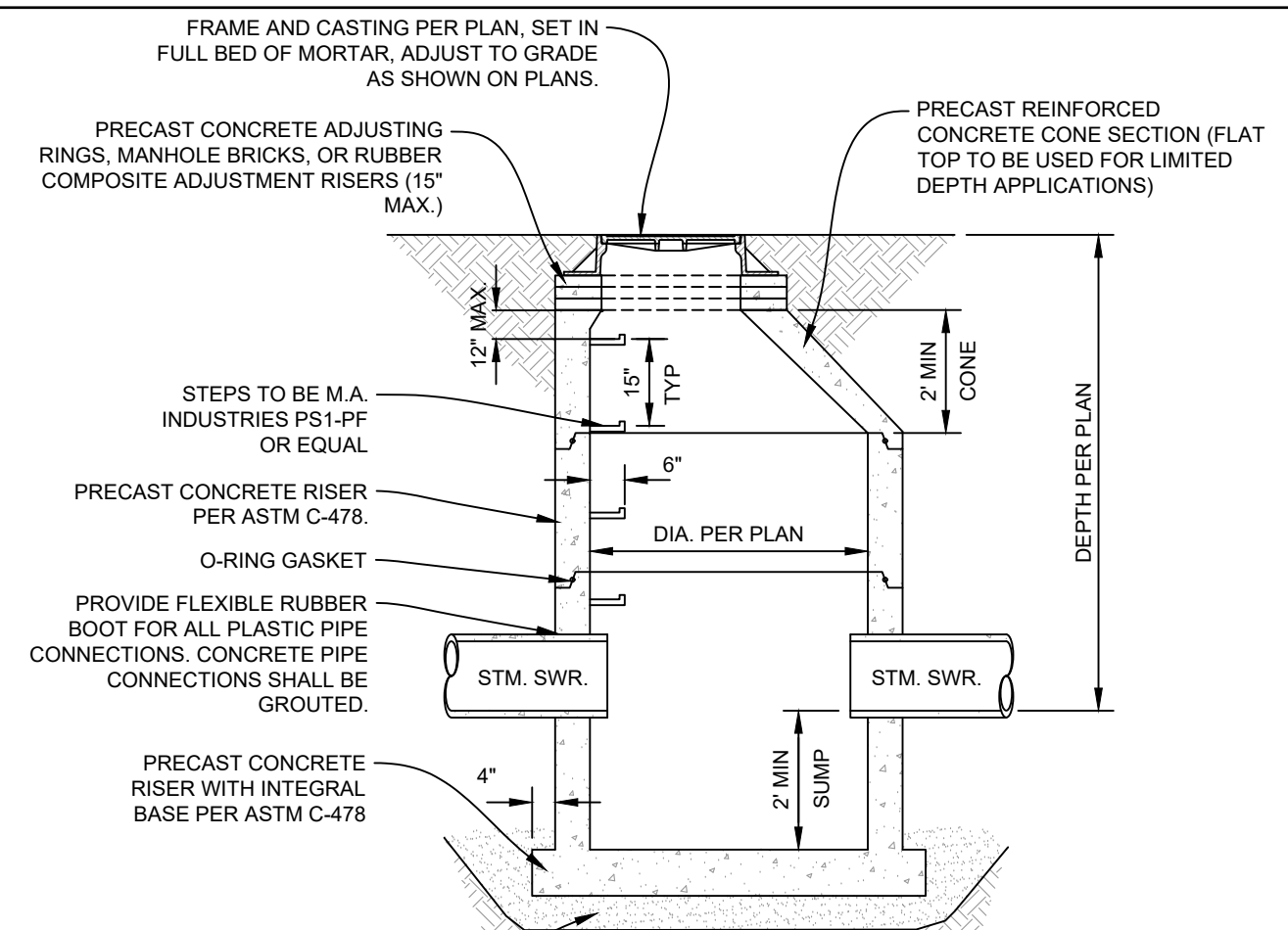
DUMPSTER ENCLOSURE
NO SCALE



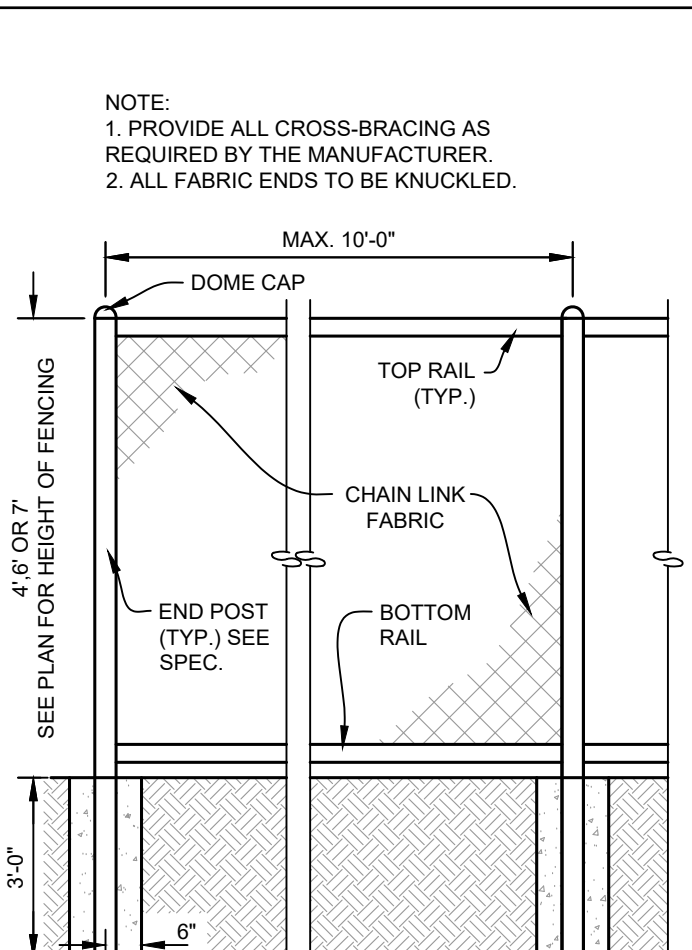
EXTERIOR DOWNSPOUT CONNECTION
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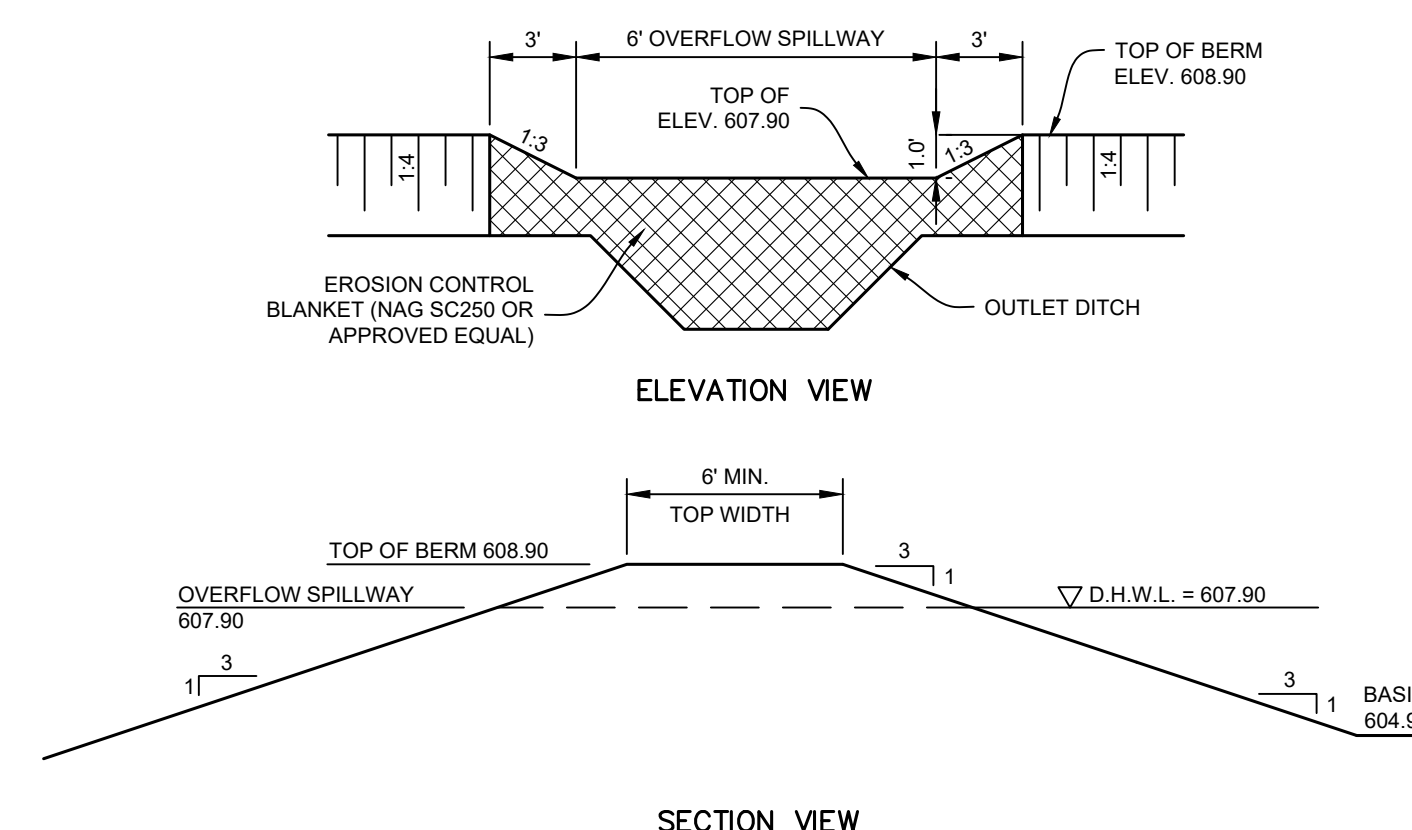
24" CATCH BASIN
NO SCALE



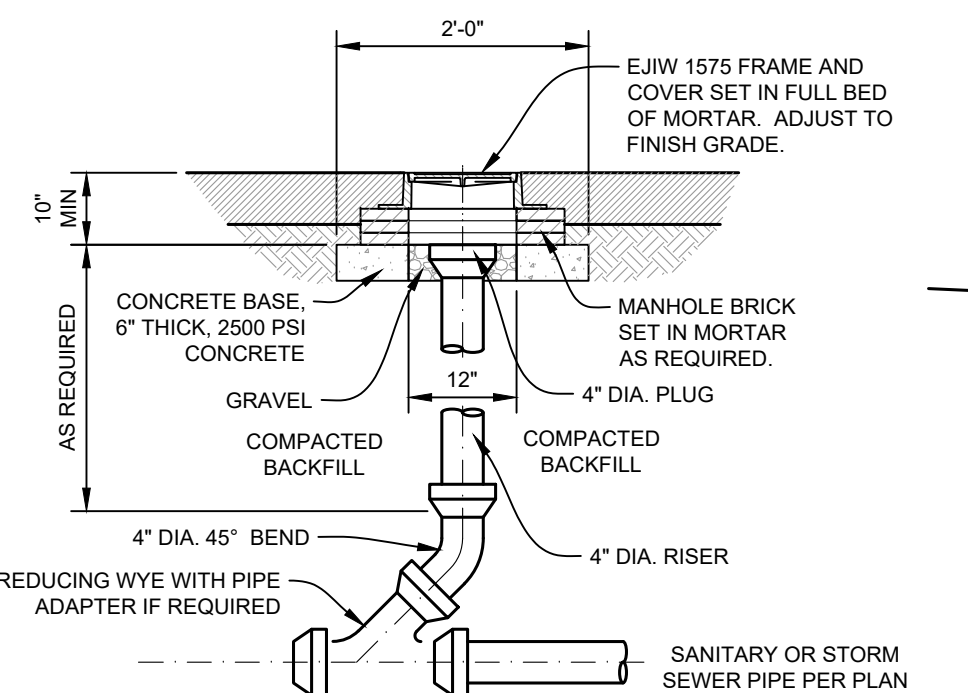
CATCH BASIN
NO SCALE



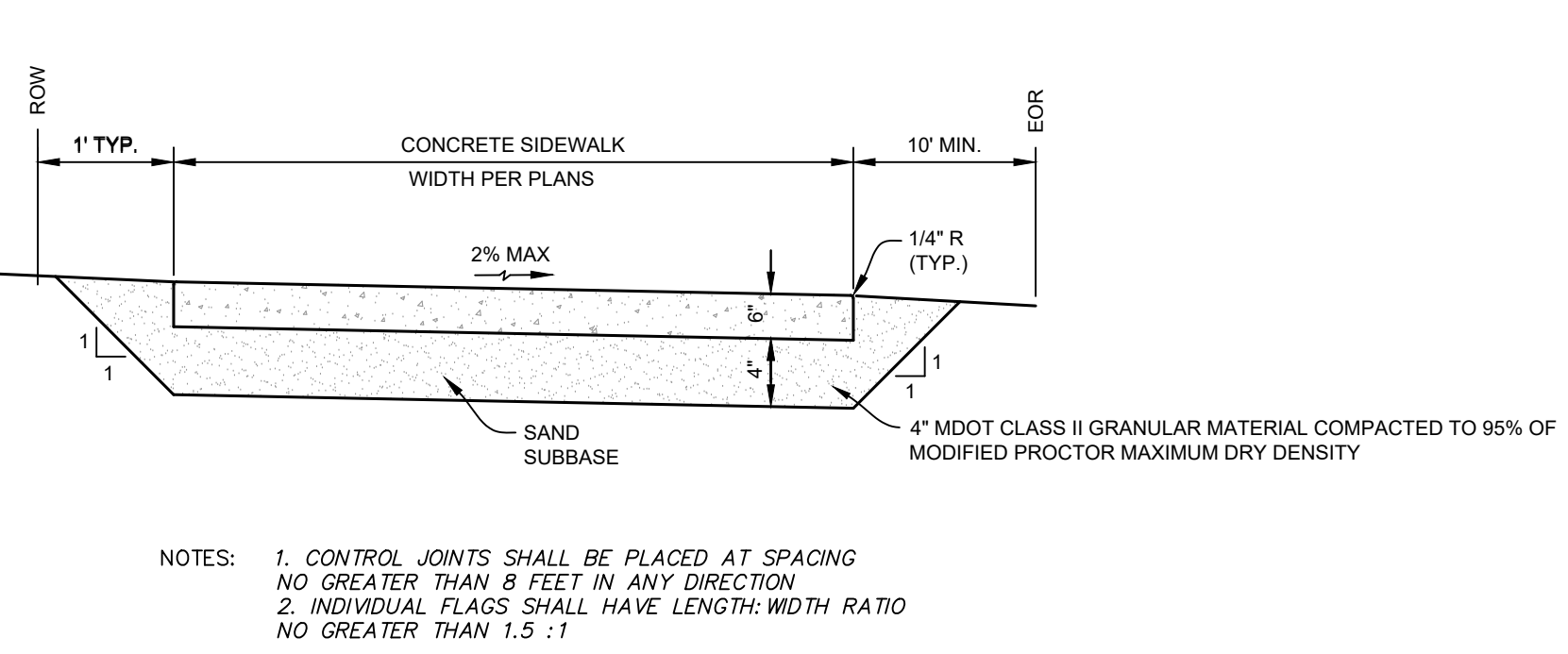
CHAIN LINK FENCE DETAIL
NO SCALE



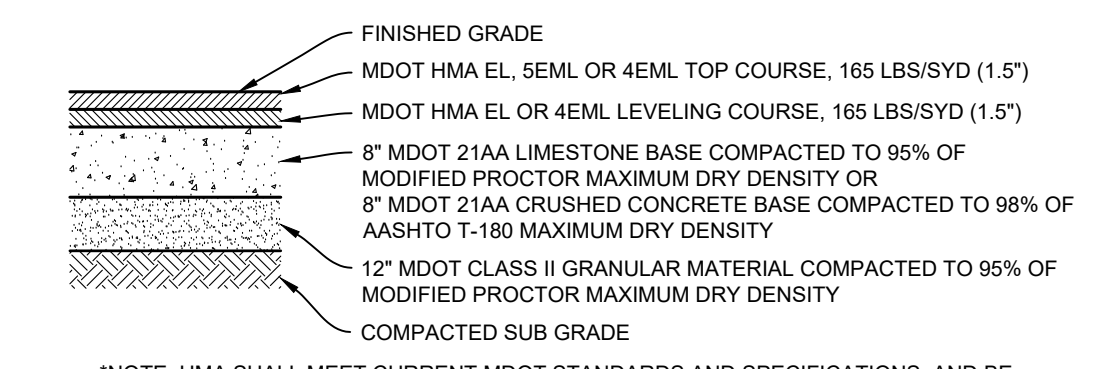
EAST DETENTION BASINS - OVERFLOW WEIR
NO SCALE



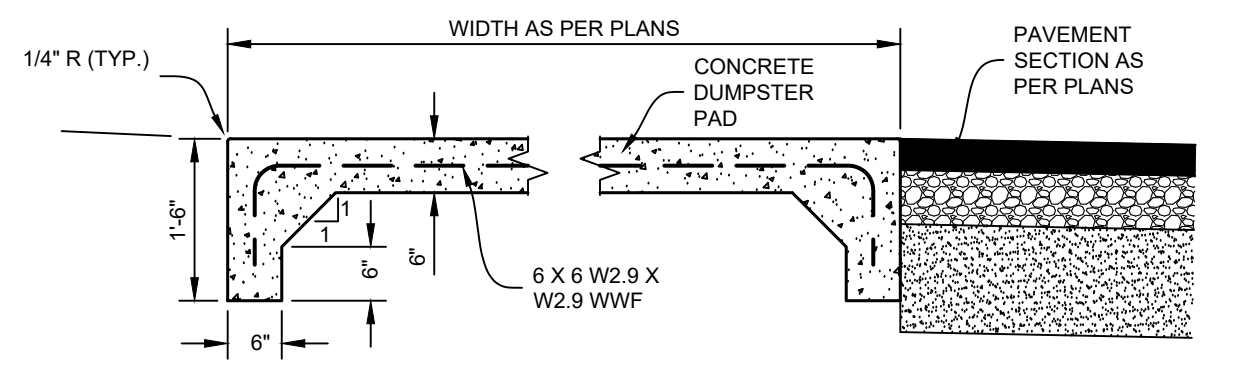
LATERAL CLEANOUT IN PAVEMENT
NO SCALE



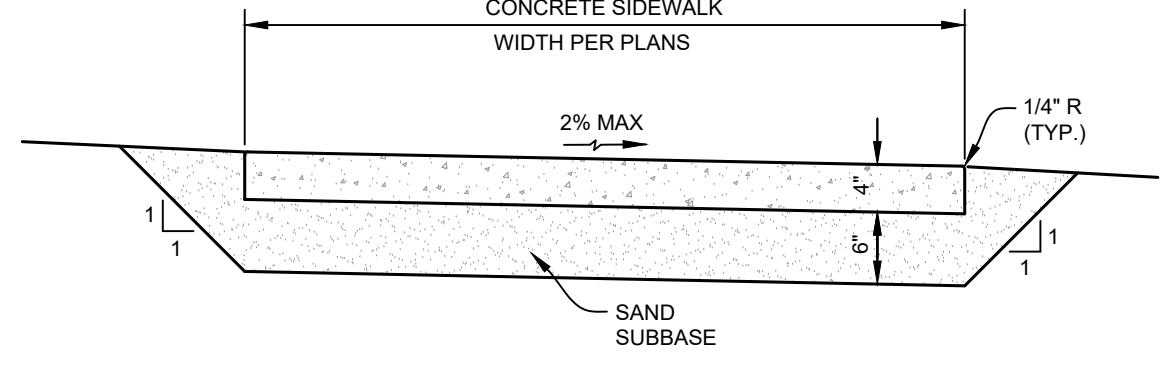
CONCRETE SIDEWALK, FLUSH
NO SCALE



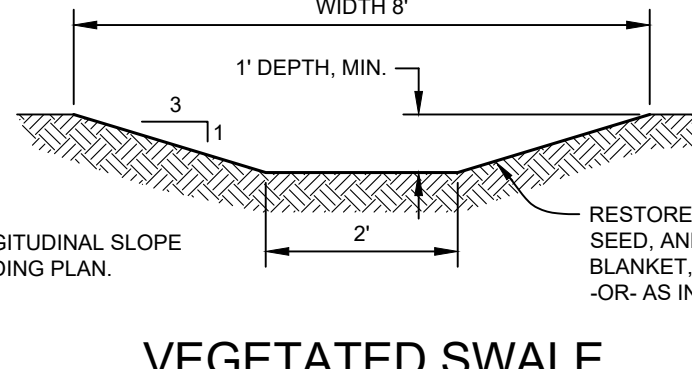
HMA PAVEMENT SECTION (STANDARD DUTY)
NO SCALE



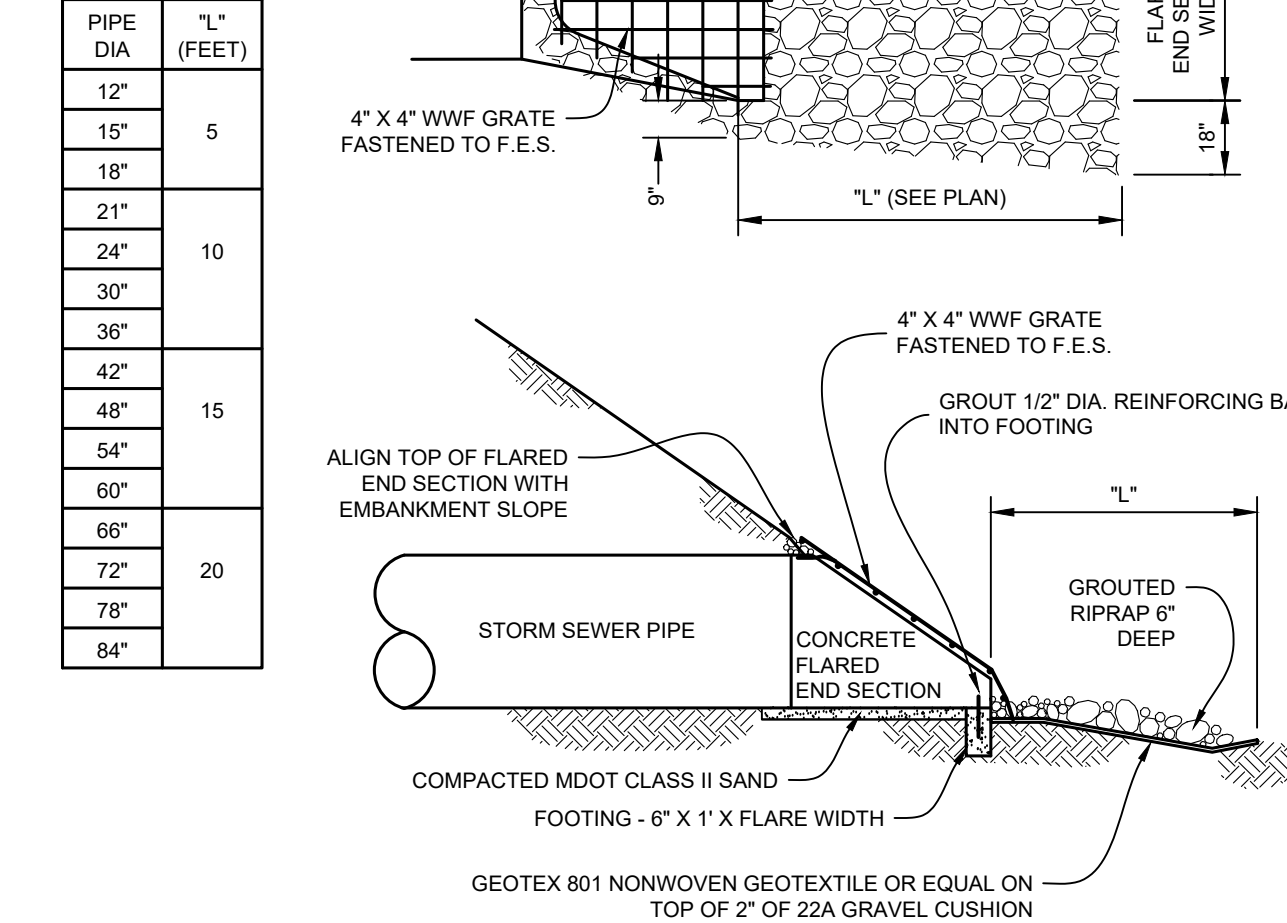
CONCRETE DUMPSTER PAD SECTION
NO SCALE



4" CONCRETE SIDEWALK
NO SCALE

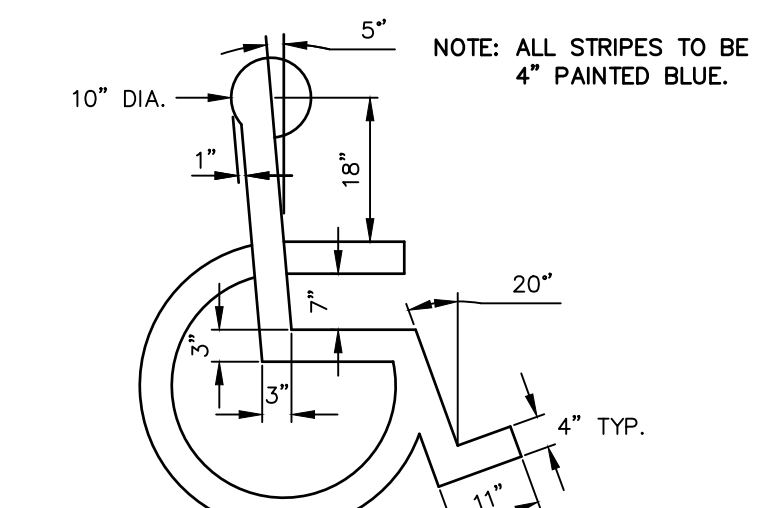


VEGETATED SWALE
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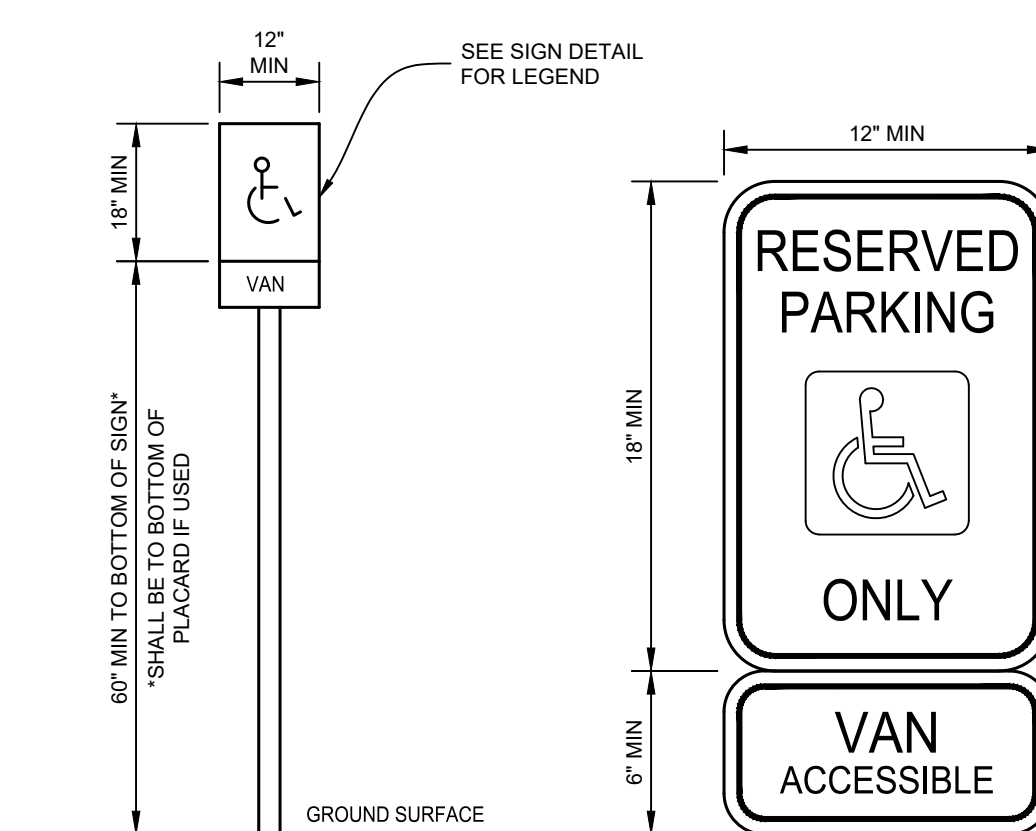


FLARED END SECTION
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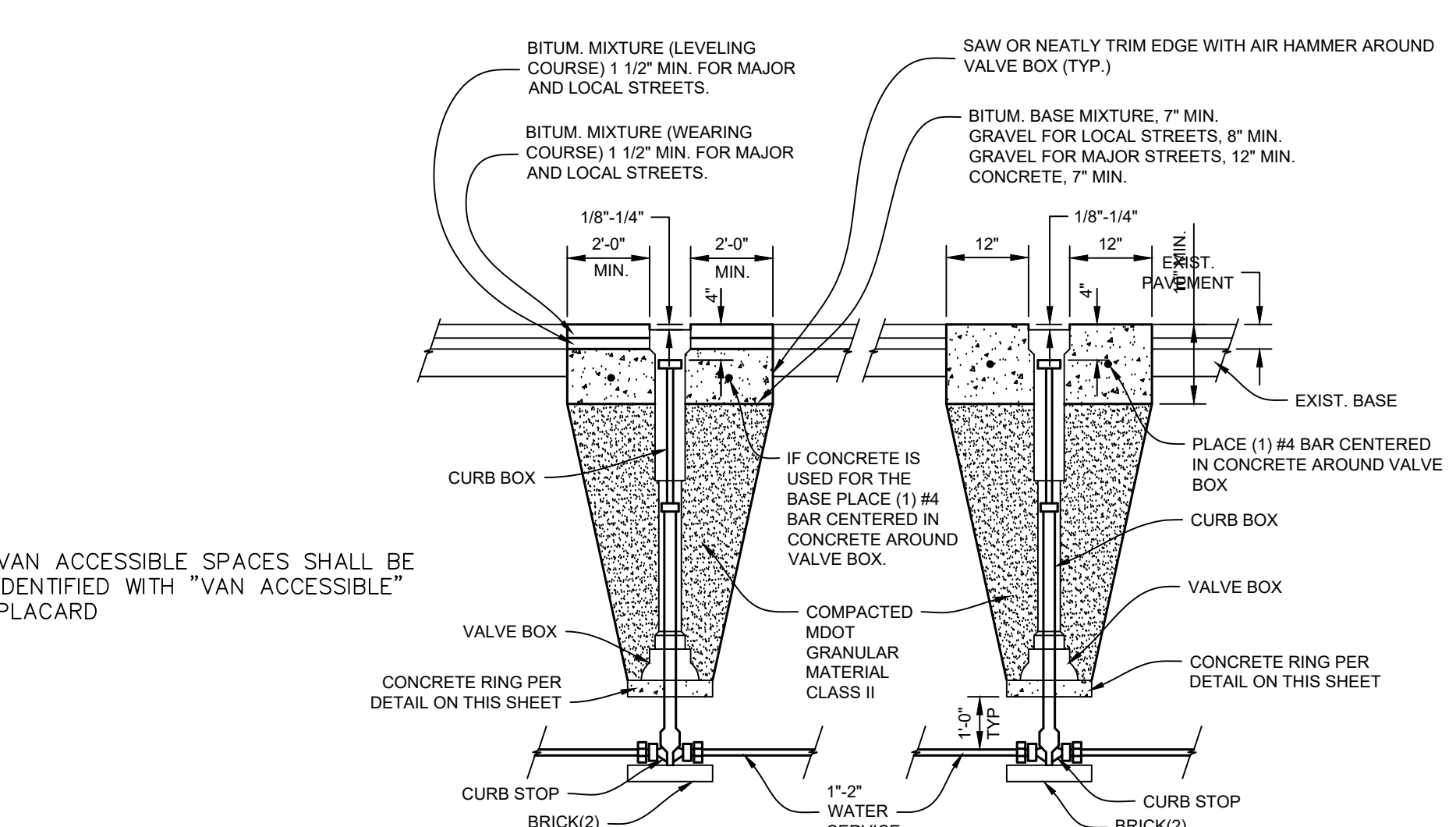
NOTE:
1. ALL FACILITIES FOR THE DISABLED SHALL CONFORM WITH THE AMERICANS WITH DISABILITIES ACT AND ALL REVISIONS.
2. THE CHARACTERS AND THE BACKGROUND OF SIGNS SHALL BE EGGSHELL MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT CHARACTERS ON DARK BACKGROUND ARE PREFERRED.
3. CONTRAST LEVELS OF SYMBOLS TO BACKGROUND TO BE A MINIMUM OF 70%.
4. CONTRACTOR SHALL VERIFY THAT THE SYMBOL SHOWN MEETS THE CURRENT STANDARDS FOR THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE IN COMPLIANCE WITH ICC/ANSI FIGURE 703.7.2.1.



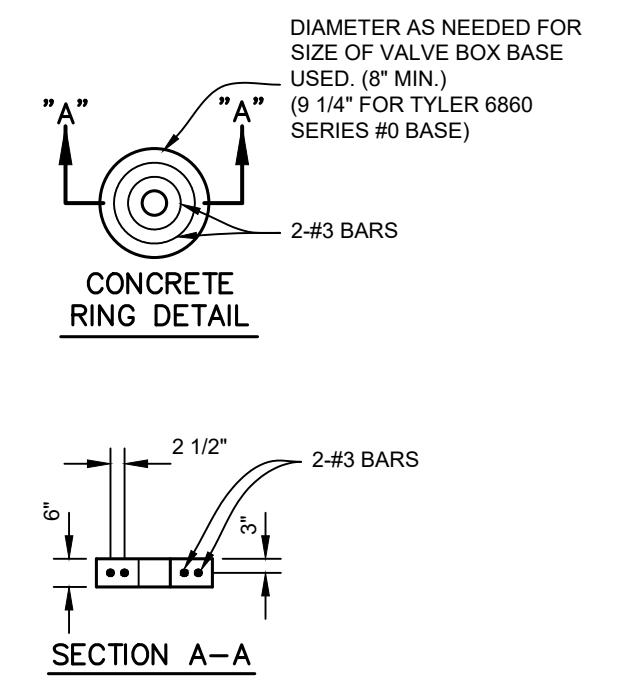
BARRIER FREE SYMBOL
NO SCALE



BARRIER FREE SIGN
NO SCALE



CURB STOP IN PAVEMENT
NO SCALE



CONCRETE RING DETAIL
NO SCALE

PIPE DIA (FEET)	"L" (FEET)
12"	5
15"	5
18"	5
21"	10
24"	10
30"	10
36"	10
42"	15
48"	15
54"	15
60"	20
66"	20
72"	20
78"	20
84"	20



DRIESEN & ASSOCIATES, INC.
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COOLIDGE AVENUE
COOLIDGE AVENUE, HOLLAND, MI, 49423
SECTION 28, T05N, R15W, HOLLAND CHARTER TWP., OTTAWA CO.
VIKING CONSTRUCTION GROUP
3578 MAPLE LEAF LANE, HAMILTON, MI 49419

ISSUED FOR:
1 ISSUED FOR REVIEW
04-14-2025 D:AA.C:JMT

Project Manager:
JOHN TENPAS
Project #
2410277.1A
Sheet Title:



DETAILS

Sheet #
C-501
8 of 8

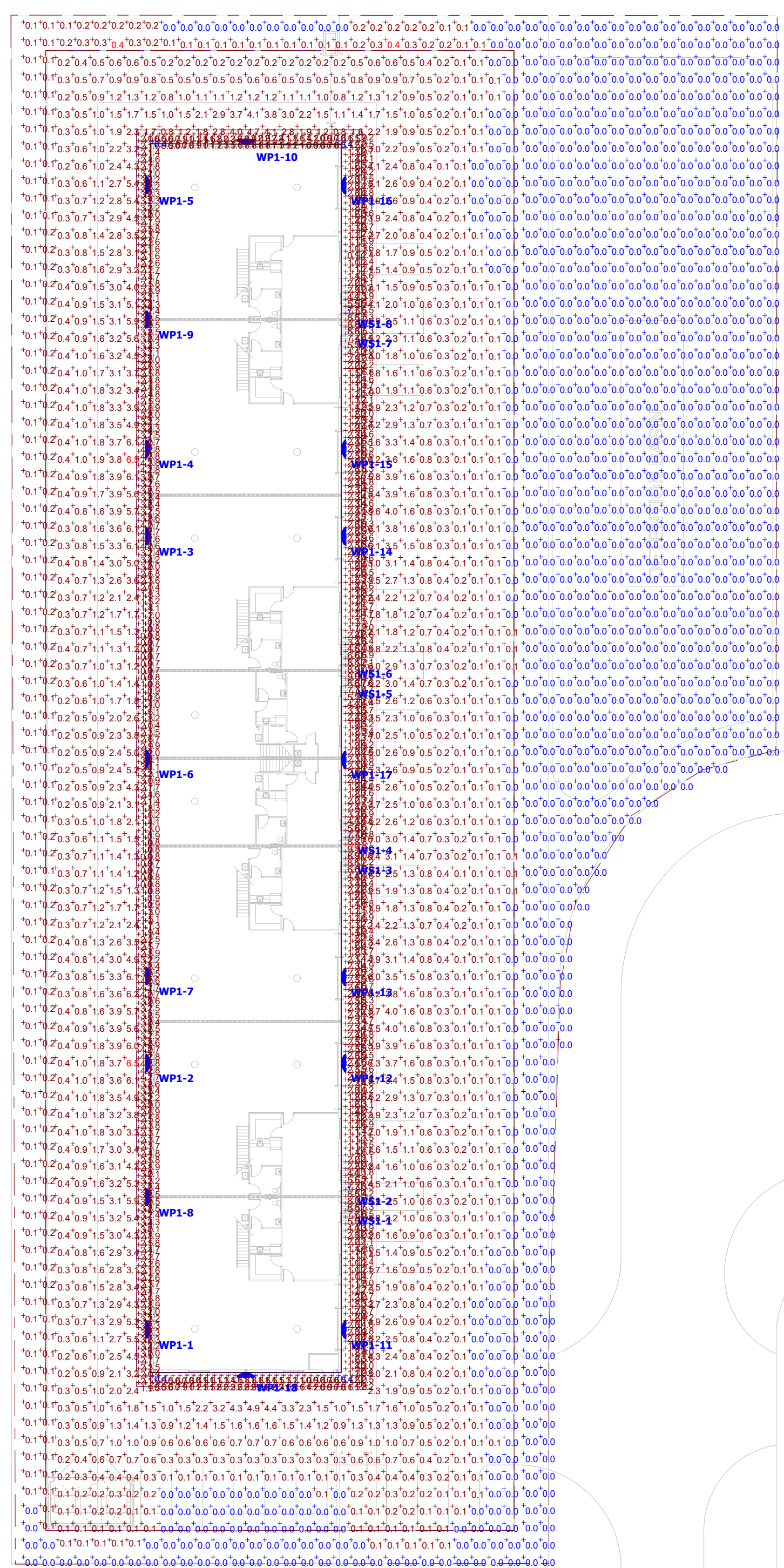
ISSUED FOR APPROVAL

File Name: C:\Users\jamesd\OneDrive\Documents\2024\2410277.1A - SITE 6_revised.dwg 4/11/2025 5:06:58 PM



Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
○	WS1		8	Lithonia Lighting	WMCL6 Up/Downlight - 3000K 75 Beam	LED lamp		1	4396	0.45	31.37
□	WP1		18	Lithonia Lighting	DSXW1 P3 30K 80CRI T2S	4000 3000K 80CRI Type 2 Short		1	3032	1	21.05

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking and Drives	+	1.1 fc	6.5 fc	0.0 fc	N/A	N/A
Property Lines	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
Walkways	+	2.8 fc	9.2 fc	0.4 fc	23.0:1	7.0:1



COOLIDGE AVE
Plan View
Scale - 1" = 30ft



Morgan M. Landon
02-01-25

MORGAN M. LANDON
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Grand Rapids, Michigan 49504
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morgan@milandon.com

**Coolidge Avenue Development
Site Lighting Calculations**

Designer
MML
Date
04/03/2025
Scale
1" = 30' - 0"
Drawing No.
Summary