



APPLICATION FOR FINAL SITE CONDOMINIUM APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name Westview Capital, LLC
Address 795 Clyde Ct
Byron Center, MI 49315

Company Westview Capital, LLC
Phone 616-878-1748
Email ckohane@allenedwin.com

Owner Information

Contact Name Same as Applicant
Address _____

Company _____
Phone _____
Email _____

Plan Preparer Information

Contact Name Exxel Engineering
Address 5252 Clyde Park
Grand Rapids, MI 49509

Company Exxel Engineering
Phone 616-531-3660
Email jmale@exxelengineering.com

Property Information

Project Name Silverwater Phase 4
Address or Location End of Tributary Drive
Parcel Number 70 - 16 - 06 - 400 - 024 Zoning District R1A
Acreage of Parcel 43.5 Acreage to be Developed 12.2
Present Use (s) Vacant

Description of Proposed Use (attach additional pages as needed): 38 single family detached site condo units (
Construction approvals have been obtained for the plan previously approved as a preliminary
site condo.

I hereby attest that I have read and understand the Site Condominium application form and submittal procedures, and that the information on the materials submitted are true and accurate, and I hereby agree to all the terms, standards, conditions and other Holland Charter Township requirements.

Chris Kohan 4-30-25 Chris Kohan 4-30-25
Signature of Applicant Date Signature of Owner Date

DO NOT WRITE BELOW THIS LINE

Date Received _____ Amount of Fee Paid \$ _____ Check No. _____
Planning Commission 1st Discuss on ____/____/____ Planning Commission Action on ____/____/____
Application Accepted by _____

Silverwater Phase 4

Final Site Condominium

Narrative Statement

April 30, 2025

Previous Reviews and Approvals

As background, the Preliminary Site Condominium Plan for the entire Silverwater subdivision (83.76 acres, 213 units, six phases) was reviewed and recommended for approval by the Planning Commission on November 5, 2019, and subsequently approved by the Holland Township Board of Trustees on November 21, 2019. The Final Site Condominium Plan for Silverwater Phase 1, which included 41 units and construction of Silverton Drive, Artesian Trail, Tributary Drive and associated improvements from Quincy Street, was then reviewed and recommended for approval by the Planning Commission on October 6, 2020, and subsequently approved by the Holland Township Board of Trustees on November 5, 2020. Infrastructure within Phase 1 has been completed and individual home construction is nearing completion.

The Final Site Condominium Plan for Silverwater Phase 2, which included 33 units and construction of Oasis Drive as well as extensions of Silverton Drive and Tributary Drive, was reviewed and recommended for approval by the Planning Commission on March 1, 2022 and approved by the Holland Township Board of Trustees on March 17, 2022. Infrastructure within Phase 2 has been completed and individual home construction is nearing completion.

The Final Site Condominium Plan for Silverwater Phase 3, which included 34 units and construction of Estuary Drive as well as completion of Oasis Drive with a secondary connection to Quincey Street, was reviewed and recommended for approval by the Planning Commission on June 6, 2023 and Approved by the Holland Township Board of Trustees on July 20, 2023. Infrastructure within Phase 3 has been completed and individual home construction is ongoing.

Project Summary – Phase 4

Pursuant to Section 17.7, the Final Site Condominium Plan for Silverwater Phase 4 has been designed consistent with the Holland Township Master Plan and Zoning Ordinance, and in substantial conformance with the Preliminary Site Condominium Plan approved on November 21, 2019. Silverwater Phase 4 proposes 38 units on approximately 12.2 acres and involves the northerly extension of Tributary Drive and construction of Cold Brook Drive.

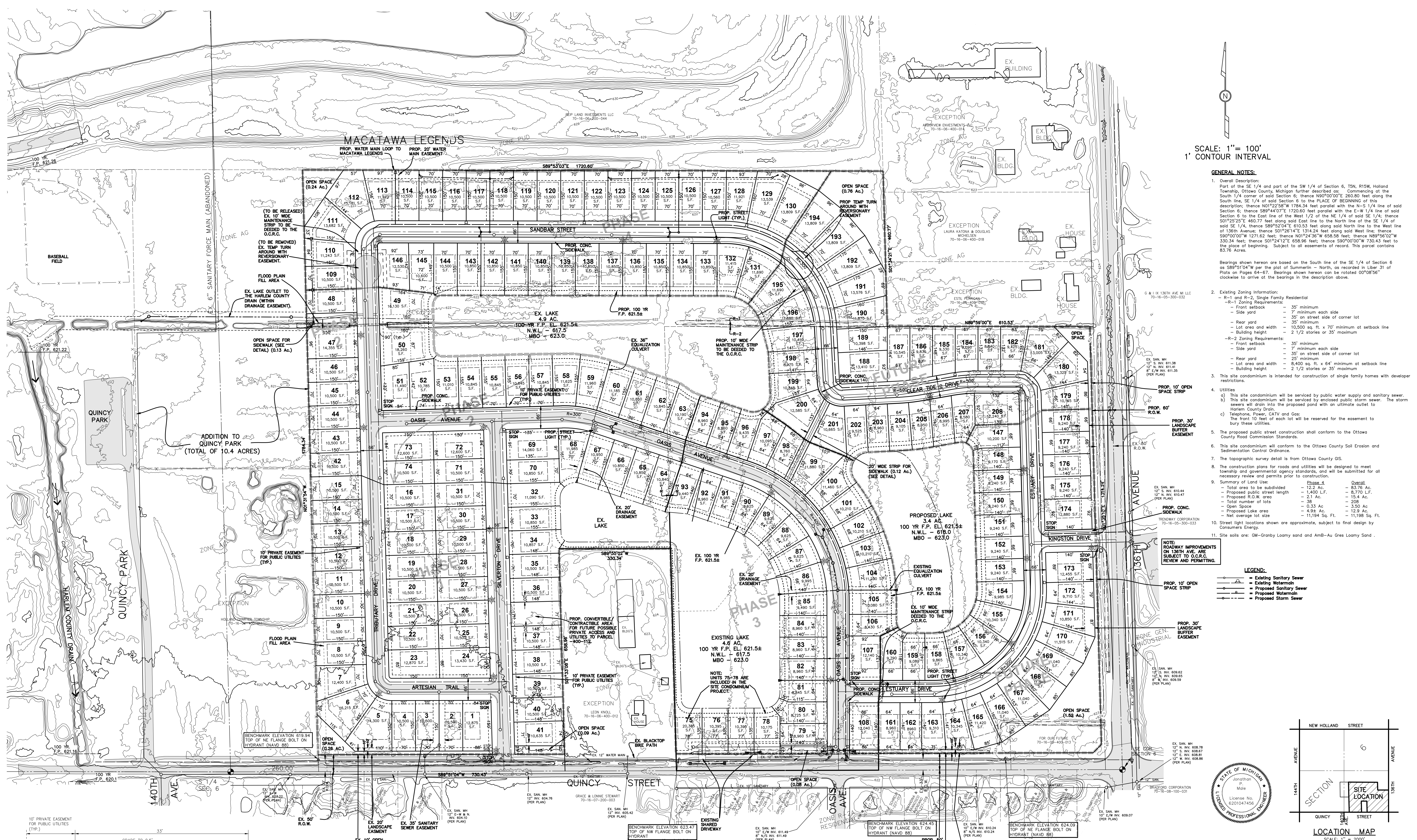
The land area associated with Phase 4 of the Silverwater subdivision is zoned R-2, Moderate Density Residential and all units have been designed to meet the minimum R-1 district standards including

10,500 square feet (lot size); 70 feet wide (lot width at front setback line) and setbacks of 35 feet (front), 35 feet (rear) and 7 feet (side) . A variety of home plans will continue to be provided including a mixture of ranch, bi-level and two-story homes ranging in size from 1,400-2,400 square feet with an estimated value between \$350,000-\$450,000. A sample portfolio of homes planned for the Silverwater subdivision has been provided with the application package.

As agreed upon with the Township during review/approval of the Final Site Condominium Plan for Phase 2 in March 2022, an internal sidewalk “loop” will be installed within portions of Phase 2, Phase 3, Phase 4 and future phases of the Silverwater subdivision. This internal sidewalk “loop” is identified on the overall Site Development Plan and can be generally described as being situated along the east side of Tributary Drive (north of Oasis Avenue); north and east sides of Oasis Avenue (with a connection to Quincy Street); north and west sides of Estuary Drive; north side of Kingston Drive (with a connection to 136th Avenue); south and west sides of Clear Tide Drive; and the south side of Cold Brook Drive. This internal sidewalk “loop” is in addition to the sidewalk connection to Quincy Park (between Units 47-48, Phase 2) and the sidewalk connection between Oasis Avenue and Clear Tide Drive which were previously approved with the 2019 Preliminary Site Condominium Plan.

Specifically, the sidewalk within Phase 4 will be installed along the east side of Tributary Drive (along the side frontage of Unit 146), and along the south side of the Cold Brook Drive (along the frontage of Units 131-146). This sidewalk will be extended with future phases of the subdivision, as described above and as identified on the overall Site Development Plan.

As originally proposed, designed and approved, Silverwater will be developed as a site condominium subdivision which will be served by public streets, public water, sanitary sewer and an integrated public storm water management system. The Master Deed, Bylaws and Homeowner’s Association (HOA) originally established with Phase 1, 2 and 3 will be amended to include Phase 4. The HOA will continue to have the scope of authority that includes architectural review, open space and community maintenance and financial management with each homeowner paying a modest annual fee for the operation.



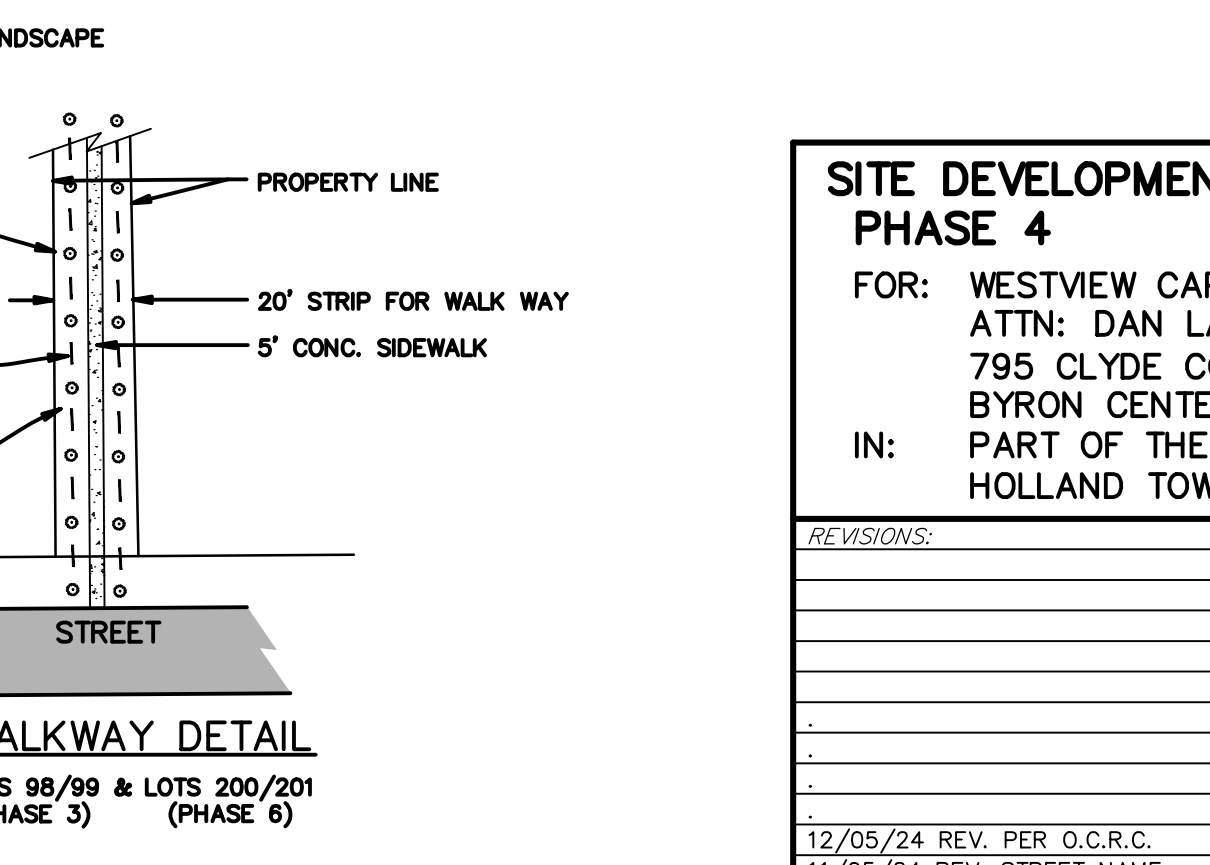
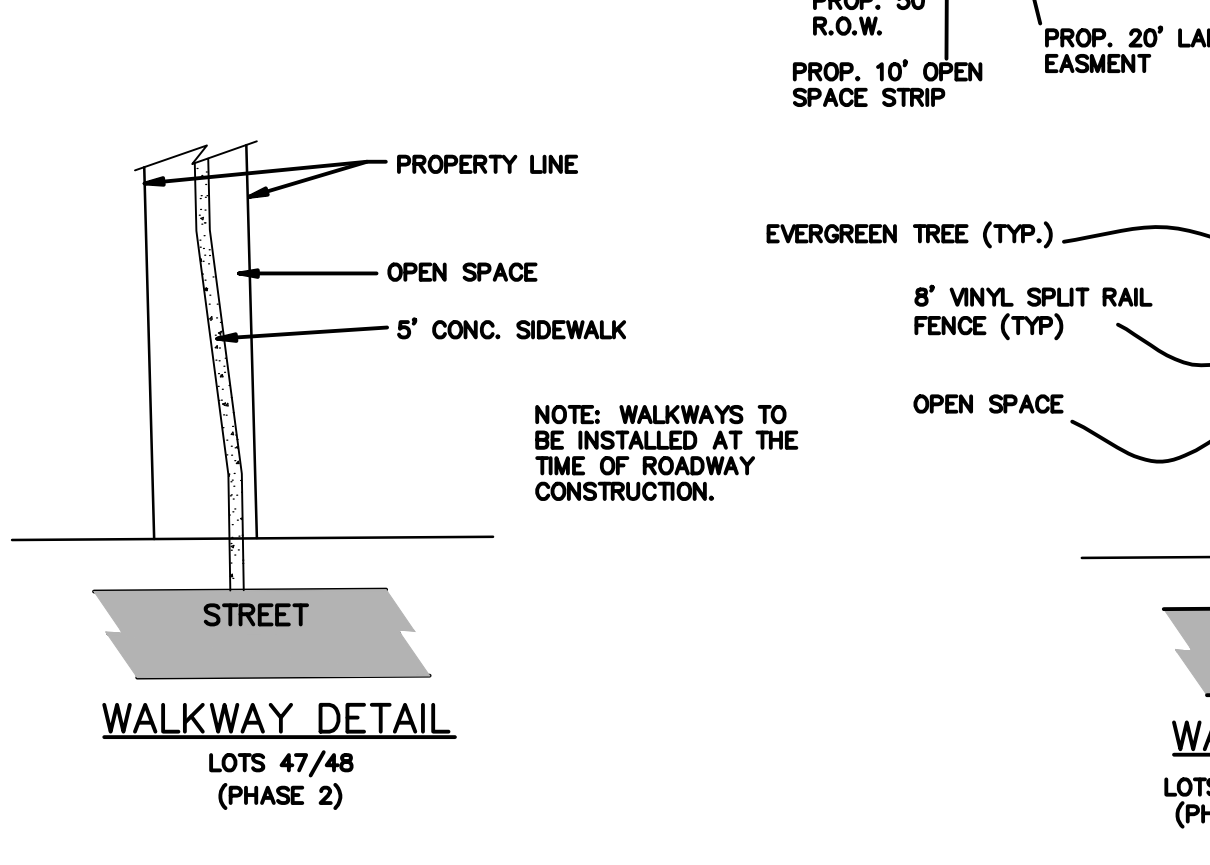
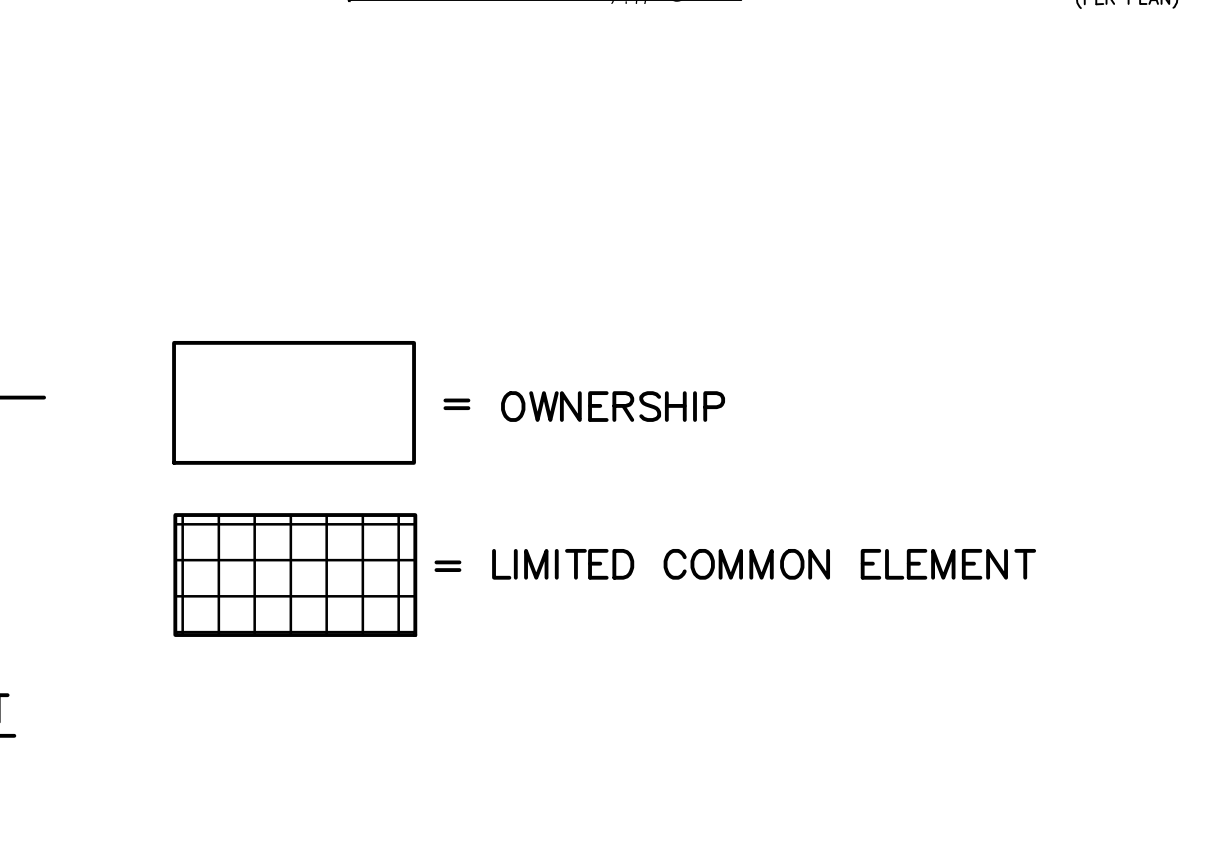
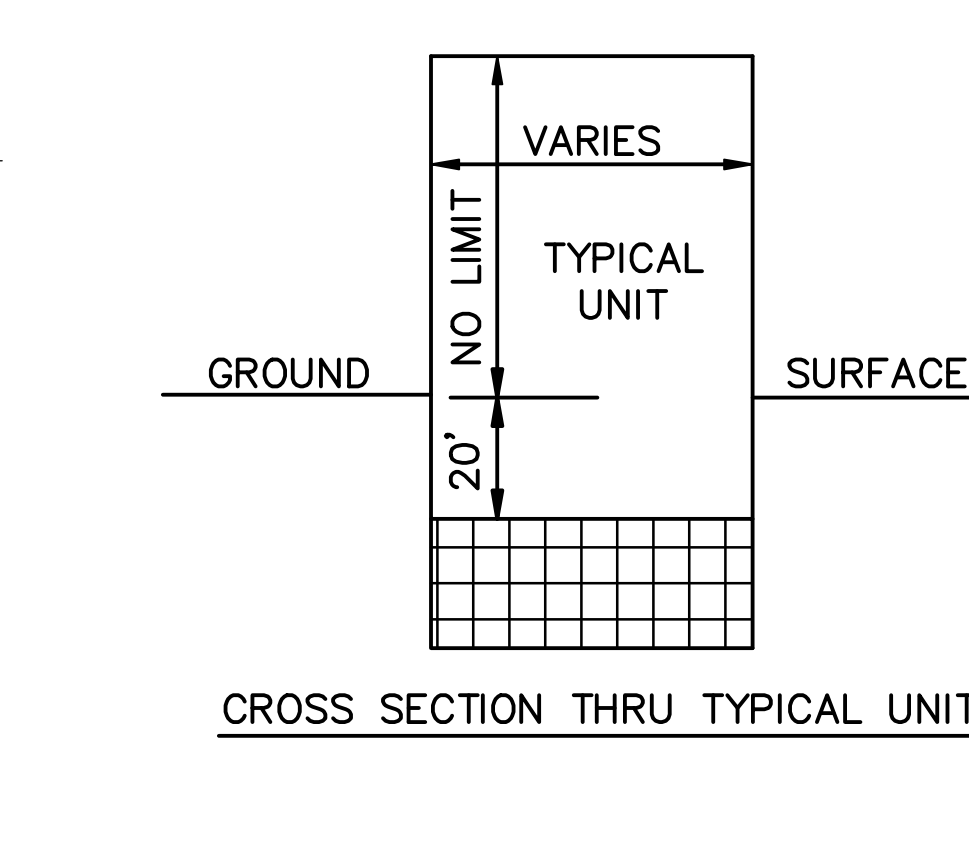
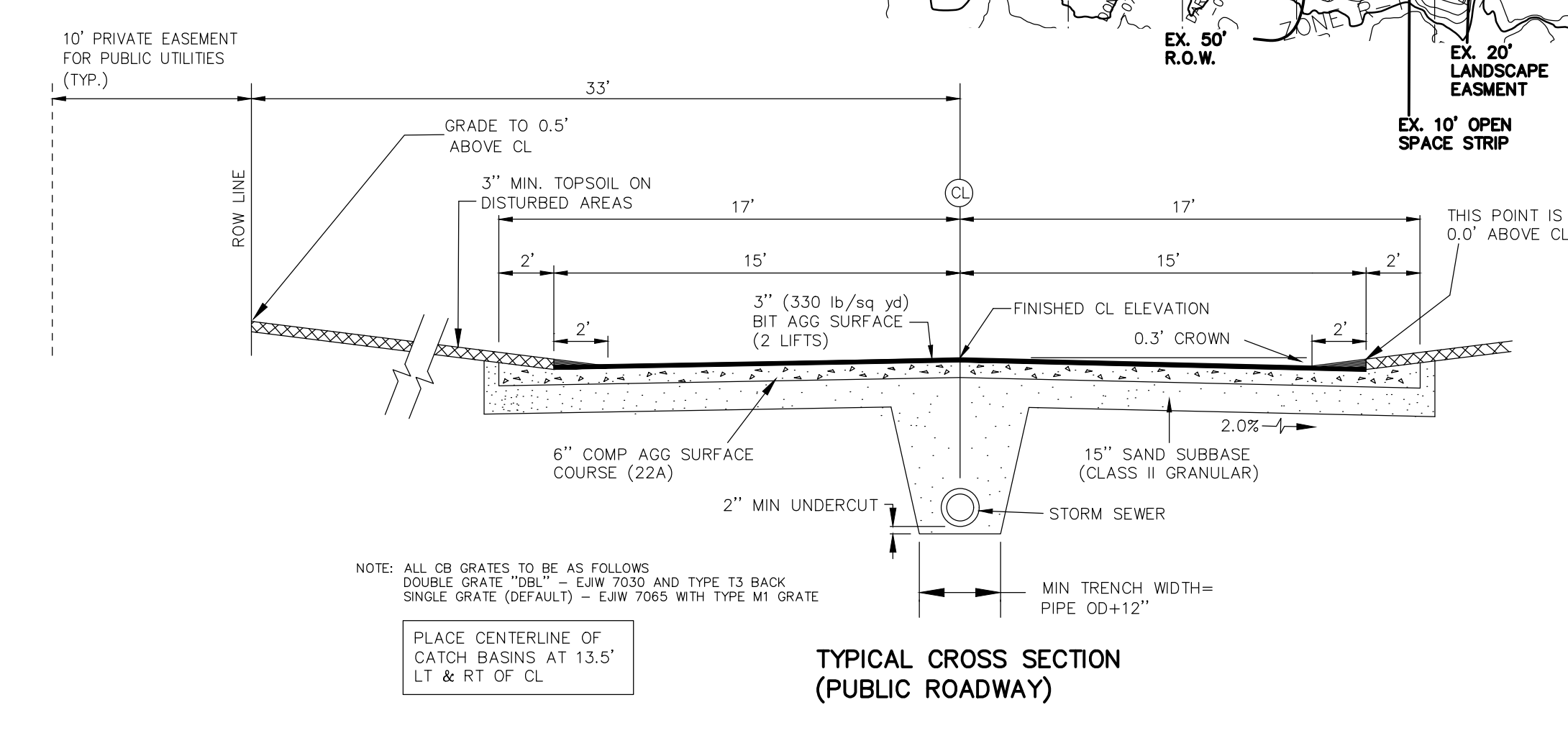
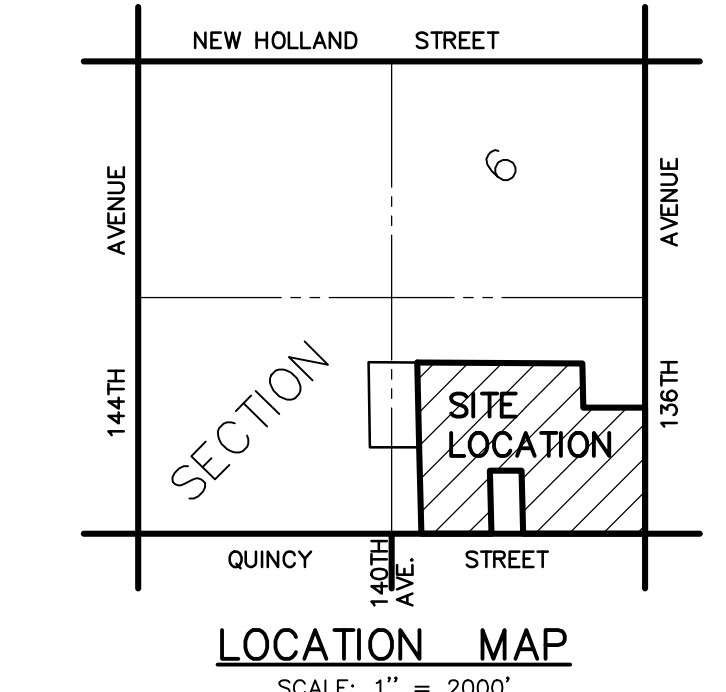
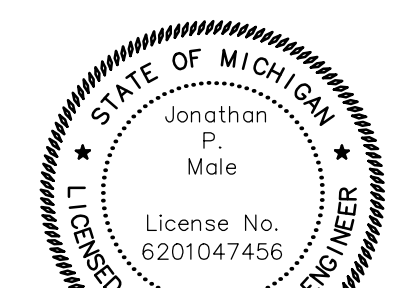
SCALE: 1" = 100'
1' CONTOUR INTERVAL

GENERAL NOTES:

- Overall Description:
Part of the SE 1/4 and part of the SW 1/4 of Section 6, T5N, R15W, Holland Township, Ottawa County, Michigan further described as: Commencing at the South 1/4 corner of said Section 6; thence N90°00'00"E 260.80 feet along the South line, SE 1/4 of said Section 6 to the PLACE OF BEGINNING of this description; thence N01°22'58"W 1784.34 feet parallel with the N-E 1/4 line of said Section 6; thence S89°44'07"E 1720.60 feet parallel with the E-W 1/4 line of said Section 6 to the East line of the West 1/2 of the NE 1/4 of said SE 1/4; thence S01°22'52"E 460.77 feet along said East line to the North line of the SE 1/4 of said SE 1/4; thence S89°52'04"E 610.53 feet along said North line to the West line of 136th Avenue; thence S01°25'14"E 1314.24 feet along said West line; thence S89°00'00"W 1271.62 feet; thence N01°24'36"W 658.58 feet; thence N89°56'02"W 330.34 feet; thence S01°24'12"E 658.96 feet; thence S90°00'00"W 730.43 feet to the place of beginning. Subject to all easements of record. This parcel contains 83.76 Acres.
- Bearings shown hereon are based on the South line of the SE 1/4 of Section 6 as S89°51'04"W per the plat of Summerlin - North, as recorded in Liber 31 of Plats on Pages 64-67. Bearings shown hereon can be rotated 00°08'56" clockwise to arrive at the bearings in the description above.
- Existing Zoning Information:
- R-1 and R-2, Single Family Residential
- R-1 Zoning Requirements:
- Front setback - 35' minimum
- Side yard - 35' minimum each side
- Rear yard - 35' minimum
- Lot area and width - 10,500 sq. ft. x 70' minimum at setback line
- Building height - 2 1/2 stories or 35' maximum
- R-2 Zoning Requirements:
- Front setback - 35' minimum
- Side yard - 35' minimum each side
- Rear yard - 35' on street side of corner lot
- Lot area and width - 8,400 sq. ft. x 64' minimum at setback line
- Building height - 2 1/2 stories or 35' maximum
- R-2 Zoning Requirements:
- Front setback - 35' minimum
- Side yard - 35' minimum each side
- Rear yard - 35' on street side of corner lot
- Lot area and width - 8,400 sq. ft. x 64' minimum at setback line
- Building height - 2 1/2 stories or 35' maximum
- R-2 Zoning Requirements:
- Front setback - 35' minimum
- Side yard - 35' minimum each side
- Rear yard - 35' on street side of corner lot
- Lot area and width - 8,400 sq. ft. x 64' minimum at setback line
- Building height - 2 1/2 stories or 35' maximum
- This site condominium is intended for construction of single family homes with developer restrictions.
- Utilities
a) This site condominium will be serviced by public water supply and sanitary sewer.
b) This site condominium will be serviced by enclosed public storm sewer. The storm sewers will drain into the proposed pond with an ultimate outlet to the Harlow County Drain.
c) Telephone, Power, CATV and Gas:
The front 10 feet of each lot will be reserved for the easement to bury these utilities.
- The proposed public street construction shall conform to the Ottawa County Road Commission Standards.
- This site condominium will conform to the Ottawa County Soil Erosion and Sedimentation Control Ordinance.
- The topographic survey detail is from Ottawa County GIS.
- The construction plans for roads and utilities will be designed to meet township and governmental agency standards, and will be submitted for all necessary review and permits prior to construction.
- Summary of Land Use:
- Total area to be subdivided - 122.2 Ac. - Overall
- Proposed public street length - 1,400 L.F. - 8,770 L.F.
- Proposed R.O.W. area - 2.1 Ac. - 15.4 Ac.
- Total number of lots - 38 - 208
- Open Space - 3.50 Ac. - 3.50 Ac.
- Proposed Lake area - 4.92 Ac. - 12.9 Ac.
- Net average lot size - 11,194 Sq. Ft. - 11,198 Sq. Ft.
- Street light locations shown are approximate, subject to final design by Consumers Energy.
- Site soils are: GM-Granby Loamy sand and Amb-Aus Grea Loamy Sand.

LEGEND:

- Existing Sanitary Sewer
- Existing Watermain
- Proposed Sanitary Sewer
- Proposed Watermain
- Proposed Storm Sewer



SITE DEVELOPMENT PLAN - SILVERWATER (OVERALL) PHASE 4

FOR: WESTVIEW CAPITAL, L.L.C.
ATTN: DAN LARABEL
795 CLYDE COURTE - SUITE 'D'
BYRON CENTER, MICHIGAN 494513
IN: PART OF THE SE 1/4 AND SW 1/4, SECTION 6, T5N, R15W, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

REVISIONS:

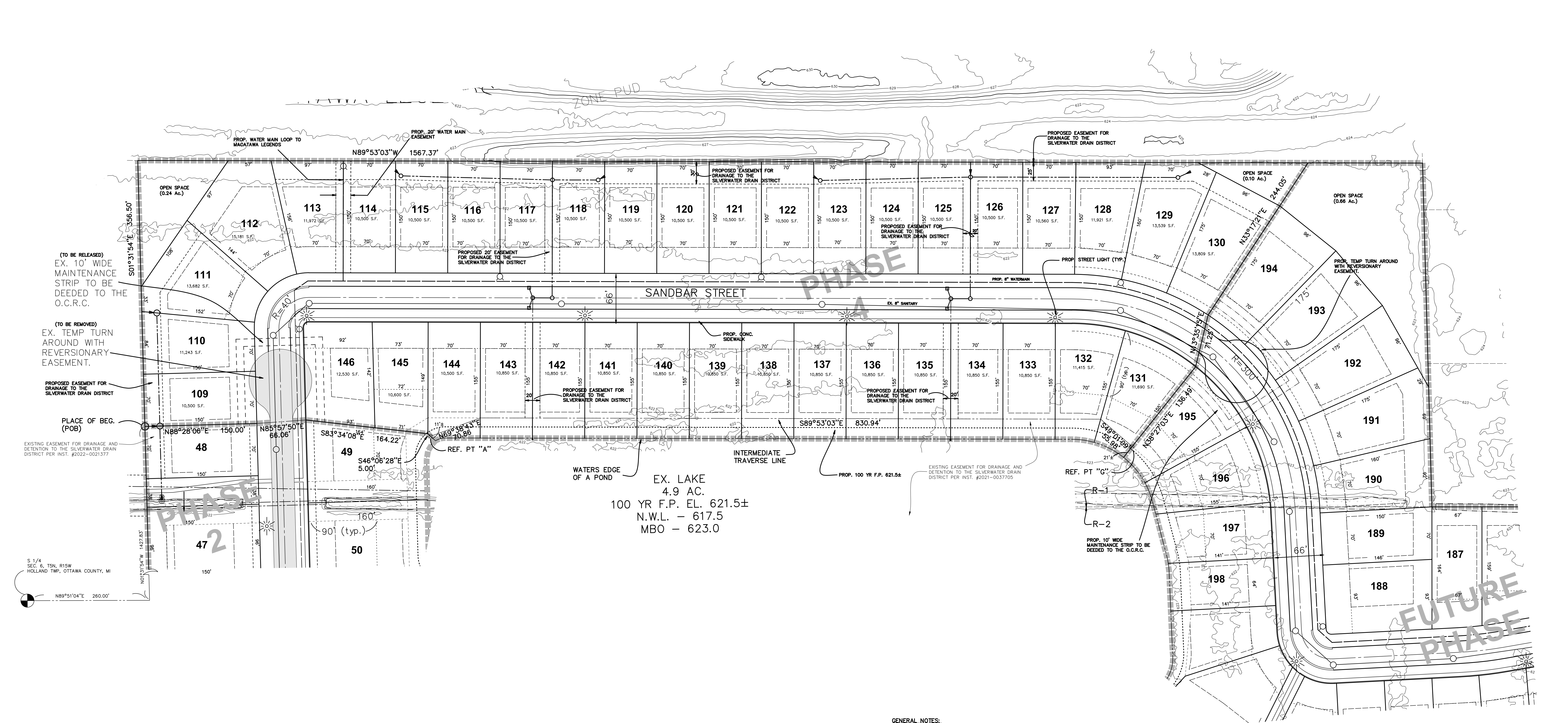
NO.	DATE	DESCRIPTION
1	12/05/24	REV. PER O.C.R.C.
2	11/05/24	REV. STREET NAME

DRAWN BY: CDG
APPROVED BY: JPM
FILE NO.: 241728E

PROJ. ENG.: IRS
PROJ. SURV.: JAS
DATE: 10/31/2024

excel engineering, inc.
planners • engineers • surveyors
5202 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-5960 Fax: (616) 531-2121
www.excelengineering.com

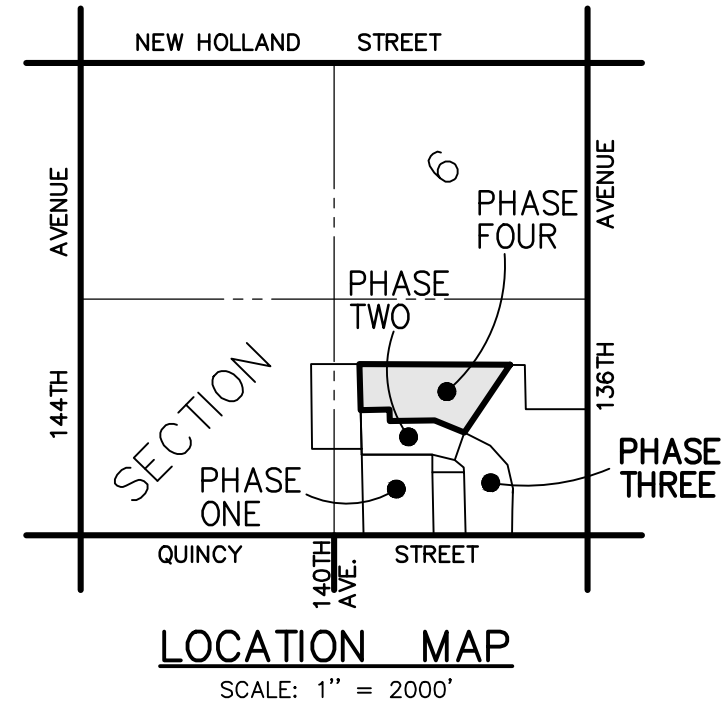
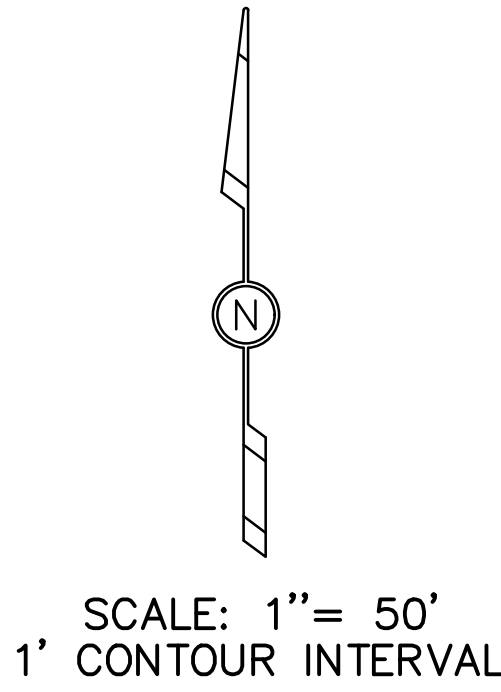
SHEET 1 OF 2



GENERAL NOTES:

- Phase 4 Description:
PART OF THE SE 1/4 OF SECTION 6, T5N, R15W, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS:
COMMENCING AT THE SE 1/4 CORNER OF SAID SECTION 6; THENCE N89°51'04"E 260.80 FEET ALONG THE
SOUTH LINE OF THE SE 1/4 OF SAID SECTION 6; THENCE N01°31'54"W 1427.83 FEET PARALLEL WITH THE
NORTH-SOUTH 1/4 LINE OF SAID SECTION 6 TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE
N88°28'06"E 150.00 FEET; THENCE N85°57'50"E 66.06 FEET; THENCE S83°34'08"E 164.22 FEET; THENCE
S46°06'28"E 5.00 FEET TO REFERENCE POINT A; THENCE N69°38'43"E 11 FEET, MORE OR LESS, TO THE WATERS
EDGE OF A POND; THENCE MEANDERING EASTERLY ALONG SAID WATERS EDGE TO ITS INTERSECTION WITH A LINE
WHICH BEARS S38°27'03"W FROM REFERENCE POINT G (REFERENCE POINT G IS LOCATED N69°38'43"E 70.86 FEET
AND S89°53'03"E 830.94 FEET AND S49°01'09"E 35.98 FEET ALONG AN INTERMEDIATE TRAVERSE LINE FROM
AFORESAID REFERENCE POINT A); THENCE N89°27'03"E 21 FEET, MORE OR LESS, TO REFERENCE POINT G; THENCE
N38°27'03"E 136.49 FEET; THENCE N13°35'15"E 71.25 FEET; THENCE N33°17'21"E 244.05 FEET; THENCE
N89°53'03"E 567.37 FEET PARALLEL WITH THE EAST-WEST 1/4 LINE OF SAID SECTION 6; THENCE S01°31'54"E
556.50 FEET PARALLEL WITH THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 6 TO THE PLACE OF BEGINNING.
CONTAINS 12.3 ACRES, MORE OR LESS.
- Existing Zoning Information:
- R-1 and R-2, Single Family Residential
- R-1 Zoning Requirements:
- Front setback - 35' minimum
- Side yard - 35' on street side of corner lot
- Rear yard - 35' minimum
- Lot area and width - 10,500 sq. ft. x 70' minimum at setback line
- Building height - 2 1/2 stories or 35' maximum
- R-2 Zoning Requirements:
- Front setback - 35' minimum
- Side yard - 35' on street side of corner lot
- Rear yard - 25' minimum
- Lot area and width - 8,400 sq. ft. x 64' minimum at setback line
- Building height - 2 1/2 stories or 35' maximum
- This site condominium is intended for construction of single family homes with developer restrictions.
- Utilities
a) This site condominium will be serviced by public water supply and sanitary sewer.
b) This site condominium will be serviced by enclosed public storm sewer. The storm sewers will drain into the proposed pond with an ultimate outlet to Itron County Drain.
c) Telephone, Power, CATV and Gas:
The front 10 feet of each lot will be reserved for the easement to bury these utilities.
- The proposed public street construction shall conform to the Ottawa County Road Commission Standards.
- This site condominium will conform to the Ottawa County Soil Erosion and Sedimentation Control Ordinance.
- The topographic survey detail is from Ottawa County GIS.
- The construction plans for roads and utilities will be designed to meet township and governmental agency standards, and will be submitted for all necessary review and permits prior to construction.
- Summary of Land Use:

Phase 4	Overall
- Total area to be subdivided	- 12.3 Ac.
- Proposed public street length	- 1,400 L.F.
- Proposed R.O.W. area	- 2.1 Ac.
- Total number of lots	- 208
- Open Space	- 0.33 Ac.
- Proposed Lake area	- 4.9 Ac.
- Net overage lot size	- 11,194 Sq. Ft.
- Street light locations shown are approximate, subject to final design by Consumers Energy.
- Site soils are: GM-Granby Loamy sand and AmB-Au. Gres Loamy Sand.



SITE DEVELOPMENT PLAN – SILVERWATER (PHASE 4)

FOR: WESTVIEW CAPITAL, L.L.C.
ATTN: DAN LARABEL
795 CLYDE COURTE – SUITE 'D'
BYRON CENTER, MICHIGAN 494513

IN: PART OF THE SE 1/4 AND SW 1/4, SECTION 6, T5N, R15W,
HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

REVISIONS:

NO.	DATE	DESCRIPTION
1	12/05/24	REV. PER G.C.R.C.
2	11/05/24	REV. STREET NAME

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planners • engineers • surveyors
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Phone: (616) 531-3660 Fax: (616) 531-2121
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DRAWN BY: CDG
APPROVED BY: JPM
FILE NO.: 221913E

PROJ. ENG.: JPM
PROJ. SURV.: JAS
DATE: 10/31/2024

SHEET
2 of 2

REPLAT NO. 3 OF:
OTTAWA COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 703
EXHIBIT "B" TO THE AMENDED MASTER DEED OF:

SILVERWATER

HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

DEVELOPER:
MICHIANA LAND DEVELOPMENT, LLC
2186 E. CENTRE AVE.
PORTAGE, MI 49002

SURVEYOR:
EXXEL ENGINEERING, INC.
5252 CLYDE PARK AVE., SW
GRAND RAPIDS, MI 49509

THE ASTERISK (*) INDICATES AMENDED OR NEW SHEETS WHICH ARE DATED APRIL 9, 2025. THESE SHEETS, TOGETHER WITH THIS SUBMITTAL, REPLACE OR SUPPLEMENT THOSE PREVIOUSLY ISSUED.

Note:
This condominium subdivision plan is not required to contain detailed project design plans prepared by the appropriate licensed design professional. Such project design plans are filed, as part of the construction permit application, with the enforcing agency for the state construction code in the relevant governmental subdivision. The enforcing agency may be a local building department of the state department of licensing and regulatory affairs.

DESCRIPTION:
Part of the SE 1/4 of Section 6, T5N, R15W, Holland Township, Ottawa County, Michigan, described as: Commencing at the South 1/4 Corner of said Section 6; thence N89°51'04"E 260.80 feet along the South line of the SE 1/4 of said Section 6 to the PLACE OF BEGINNING of this description; thence N01°31'54"W 1784.33 feet along the East line of the West 260.80 feet of the SE 1/4 of said Section 6; thence S89°53'03"E 1567.37 feet parallel with the E-W 1/4 line of said Section 6; thence S33°17'21"W 244.05 feet; thence S13°35'15"W 71.25 feet; thence S38°27'03"W 128.59 feet to Reference Point G; thence S38°27'03"W 28 feet, more or less, to the waters edge of a pond; thence meandering Southerly along said waters edge to its intersection with a line which bears N55°54'06"W from Reference Point H (Reference Point H is located S30°34'20"E 108.84 feet and S02°58'48"E 192.21 feet and S01°31'29"E 28.16 feet and S42°50'43"W 36.74 feet along an intermediate traverse line from aforesaid Reference Point G); thence S55°54'06"E 33 feet, more or less, to Reference Point H; thence S55°54'06"E 67.63 feet; thence S51°56'13"E 67.56 feet; thence S58°31'16"E 20.07 feet; thence S68°45'20"E 107.42 feet; thence S62°06'39"E 7.30 feet to Reference Point C; thence S62°06'39"E 32 feet, more or less, to the waters edge of a pond; thence meandering Southerly along said waters edge to its intersection with a line which bears N64°08'48"E from Reference Point D (Reference Point D is located Southerly 97.94 feet along a 90.00 foot radius curve to the left, the chord of which bears S06°14'48"E 93.18 feet and Southeasterly 327.24 feet along a 546.00 foot radius curve to the right, the chord of which bears S20°15'10"E 322.36 feet and S00°08'56"E 126.24 feet along an intermediate traverse line from aforesaid Reference Point C); thence S64°08'48"W 40 feet, more or less, to Reference Point D; thence S64°08'48"W 22.51 feet; thence S00°08'56"E 132.00 feet; thence S05°02'44"W 66.27 feet; thence S00°08'56"E 200.00 feet to the South line of the SE 1/4 of said Section 6; thence S89°51'04"W 599.02 feet along said South line to the East line of the SW 1/4 of the SE 1/4 of said Section 6; thence N01°33'32"W 658.58 feet along said East line to North line of the East 1/2 of the South 1/2 of the East 1/2 of the SW 1/4 of the SE 1/4 of said Section 6; thence S89°55'02"W 330.34 feet along said North line to the West line of the East 1/2 of the South 1/2 of the East 1/2 of the SW 1/4 of the SE 1/4 of said Section 6; thence S01°33'08"E 658.96 feet along said West line to the South line of the SE 1/4 of said Section 6; thence S89°51'04"W 730.43 feet along said South line to the Place of Beginning. (contains 58.4 acres, more or less)

EXCEPT THE PROPOSED RIGHT OF WAYS FOR SANDBAR STREET, DESCRIBED AS:
Part of the SE 1/4 of Section 6, T5N, R15W, Holland Township, Ottawa County, Michigan, described as: Commencing at the South 1/4 Corner of said Section 6; thence N89°51'04"E 260.80 feet along the South line of the SE 1/4 of said Section 6; thence N01°31'54"W 1427.83 feet along the East line of the West 260.80 feet of said SE 1/4; thence N88°28'06"E 150.00 feet to the PLACE OF BEGINNING of this description; thence N01°31'54"W 127.00 feet; thence Northeasterly 116.77 feet along a 73.00 foot curve to the right, the chord of which bears N44°17'31"E 104.71 feet; thence S89°53'03"E 1022.12 feet; thence Southeasterly 192.80 feet along a 333.00 foot curve to the right, the chord of which bears S73°17'51"E 190.12 feet; thence S13°35'15"W 71.25 feet; thence Northwesterly 178.64 feet along a 267.00 foot curve to the left, the chord of which bears N70°43'00"W 175.33 feet; thence N89°53'03"W 1022.12 feet; thence Southwesterly 11.20 feet along a 7.00 foot curve to the left, the chord of which bears S44°17'31"W 10.04 feet; thence S01°31'54"E 124.11 feet; thence S85°57'50"W 66.06 feet to the Place of Beginning. (Contains 2.12 Acres)

EXCEPT THE RIGHT OF WAYS FOR ARTESIAN TRAIL, TRIBUTARY DRIVE AND SILVERTON DRIVE PER DOCUMENT NO. 2022-0005016 (Contains 2.64 Acres)

EXCEPT THE RIGHT OF WAY FOR QUINCY STREET PER DOCUMENT NO. 2022-0005015 (Contains 0.84 Acres)

EXCEPT THE RIGHT OF WAYS FOR OASIS AVENUE, TRIBUTARY DRIVE AND SILVERTON DRIVE PER DOCUMENT NO. 2022-0041050 (Contains 2.48 Acres)

EXCEPT THE PROPOSED RIGHT OF WAYS FOR OASIS AVENUE, ESTUARY DRIVE AND QUINCY STREET PER DOC. NO. 2024-0033613 (Contains 2.56 Acres)

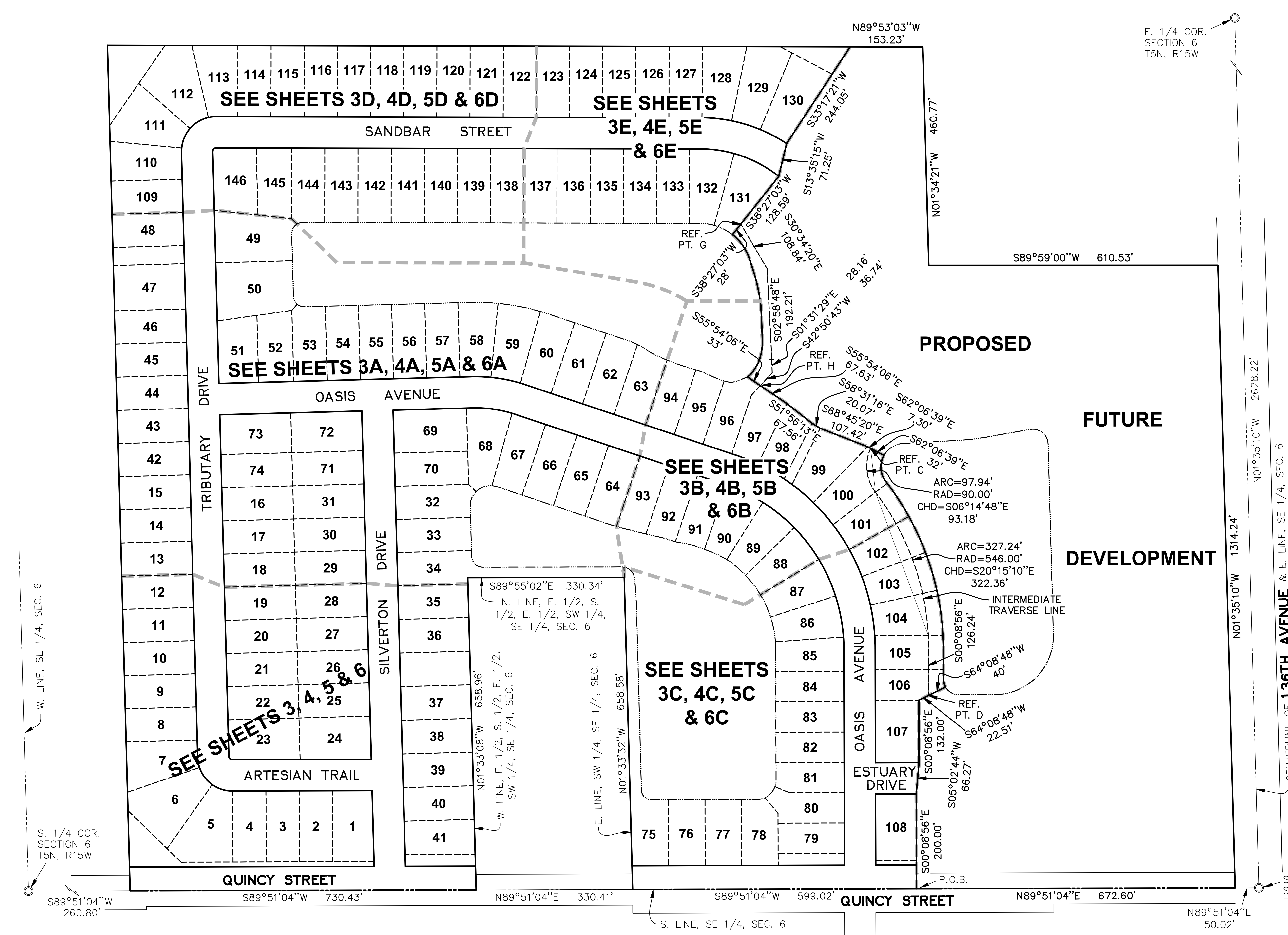
CONTAINS 47.8 ACRES, MORE OR LESS, EXCLUDING PUBLIC RIGHT OF WAY.

Notes:
1. Replat No. 1 adds Units 42 through 70.
2. Replat No. 2 adds Units 71 through 108.
3. Replat No. 3 adds Units 109 through 146.

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PRELIMINARY

PROPOSED AUGUST 11, 2021
AMENDED JULY 11, 2022
AMENDED JANUARY 22, 2025
AMENDED APRIL 9, 2025



FUTURE DEVELOPMENT AREA DESCRIPTION:

Part of the SE 1/4 of Section 6, T5N, R15W, Holland Township, Ottawa County, Michigan, described as: Commencing at the South 1/4 Corner of said Section 6; thence N89°51'04"E 1920.66 feet along the South line of the SE 1/4 of said Section 6 to the PLACE OF BEGINNING of this description; thence N89°51'04"E 672.60 feet along said South line to the Southerly extension of the West line of 136th Avenue; thence N01°35'10"W 1314.24 feet along said West line to the North line of the SE 1/4 of said SE 1/4; thence S89°59'00"W 610.53 feet along said North line to the East line of the West 1/2 of the NE 1/4 of said SE 1/4; thence N01°34'21"W 460.77 feet along said East line; thence N89°53'03"W 153.23 feet parallel with the E-W 1/4 line of said Section 6; thence S33°17'21"W 244.05 feet; thence S13°35'15"W 71.25 feet; thence S38°27'03"W 128.59 feet to Reference Point G; thence S38°27'03"W 28 feet, more or less, to the waters edge of a pond; thence meandering Southerly along said waters edge to its intersection with a line which bears N55°54'06"W from Reference Point H (Reference Point H is located S30°34'20"E 108.84 feet and S02°58'48"E 192.21 feet and S01°31'29"E 28.16 feet and S42°50'43"W 36.74 feet along an intermediate traverse line from aforesaid Reference Point G); thence S55°54'06"E 33 feet, more or less, to Reference Point H; thence S55°54'06"E 67.63 feet; thence S51°56'13"E 67.56 feet; thence S58°31'16"E 20.07 feet; thence S68°45'20"E 107.42 feet; thence S62°06'39"E 7.30 feet to Reference Point C; thence S62°06'39"E 32 feet, more or less, to the waters edge of a pond; thence meandering Southerly along said waters edge to its intersection with a line which bears N64°08'48"E from Reference Point D (Reference Point D is located Southerly 97.94 feet along a 90.00 foot radius curve to the left, the chord of which bears S06°14'48"E 93.18 feet and Southeasterly 327.24 feet along a 546.00 foot radius curve to the right, the chord of which bears S20°15'10"E 322.36 feet and S00°08'56"E 126.24 feet along an intermediate traverse line from aforesaid Reference Point C); thence S64°08'48"W 40 feet, more or less, to Reference Point D; thence S64°08'48"W 22.51 feet; thence S00°08'56"E 132.00 feet; thence S05°02'44"W 66.27 feet; thence S00°08'56"E 200.00 feet to the Place of Beginning.

Contains 25.3 Acres, more or less.

PRELIMINARY

**COMPOSITE PLAN
SILVERWATER**

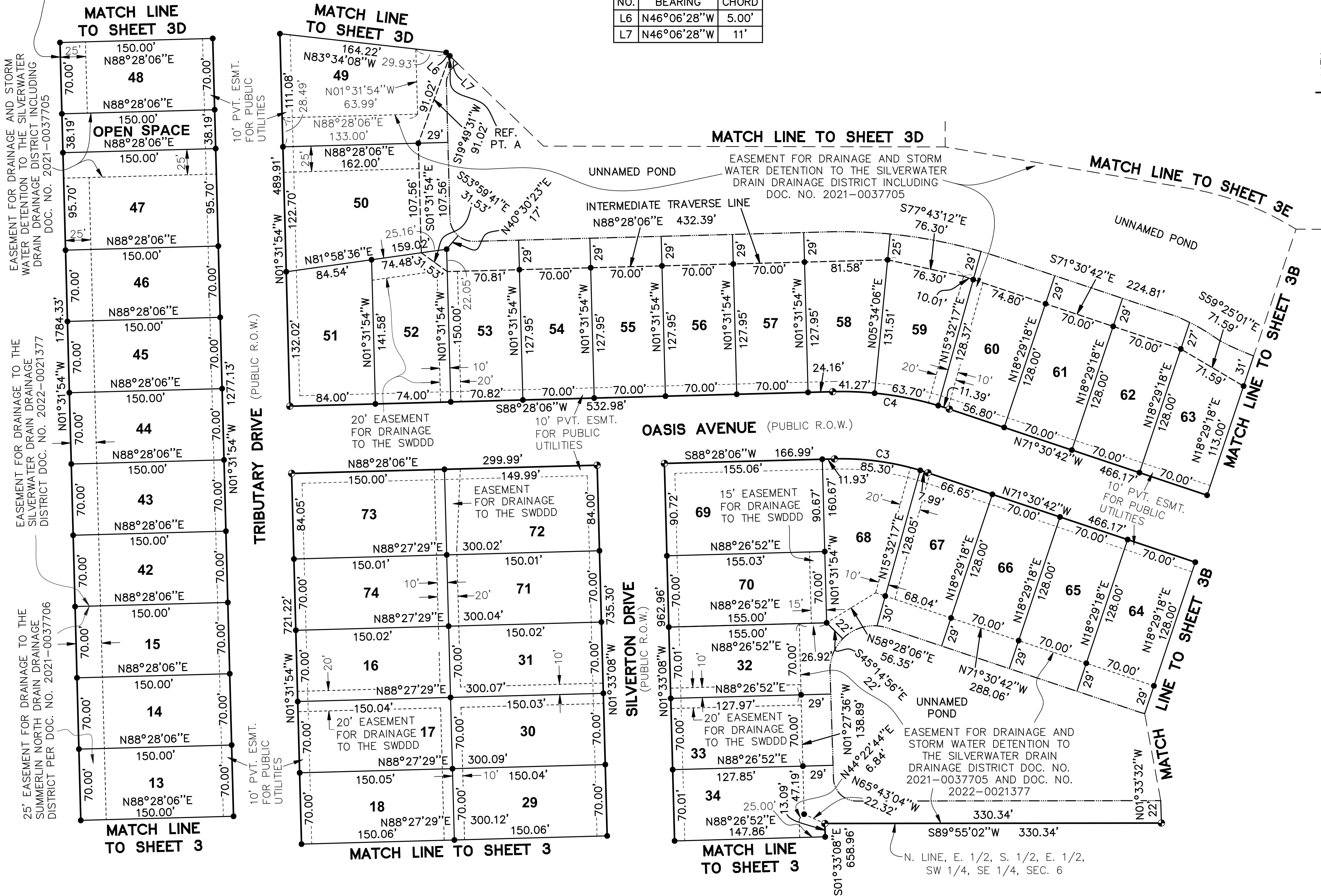
PROPOSED AUGUST 11, 2021
AMENDED JULY 11, 2022
AMENDED JANUARY 22, 2025
AMENDED APRIL 9, 2025

EASEMENT FOR DRAINAGE TO THE SILVERWATER DRAIN DRAINAGE DISTRICT DOC. NO. 2022-0021377

EASEMENT FOR DRAINAGE AND STORM WATER DETENTION TO THE SILVERWATER DRAIN DRAINAGE DISTRICT INCLUDING DOC. NO. 2021-0037705

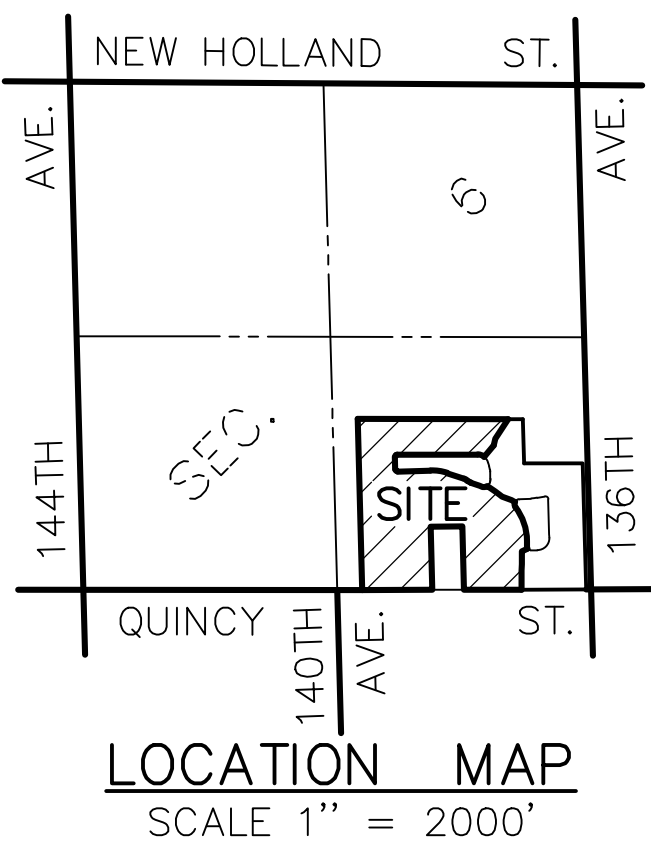
EASEMENT FOR DRAINAGE TO THE SILVERWATER DRAIN DRAINAGE DISTRICT DOC. NO. 2022-0021377

25' EASEMENT FOR DRAINAGE TO THE SUMMERLIN NORTH DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021-0037706



LINE TABLE		
NO.	BEARING	CHORD
L6	N46°06'28"W	5.00'
L7	N46°06'28"W	11'

CURVE TABLE					
NO.	LENGTH	DELTA	RADIUS	BEARING	CHORD
C3	93.29'	20°01'13"	267.00'	N81°31'18"W	92.82'
C4	116.36'	20°01'13"	333.00'	N81°31'18"W	115.77'



- = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⊙ = PROPOSED CONCRETE MONUMENT
- SWDD = SILVERWATER DRAIN DRAINAGE DISTRICT

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 6 AS S89°51'04"W PER THE PLAT OF SUMMERLIN - NORTH, AS RECORDED IN LIBER 31 OF PLATS ON PAGES 64-67.

BENCHMARK ELEVATION 619.94
TOP OF NE FLANGE BOLT ON HYDRANT
(ADJACENT TO ADDRESS #13958 QUINCY ST.)

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF THE SILVERWATER DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021-0037703

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF A NEW BRANCH TO THE SUMMERLIN NORTH DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021-0037704

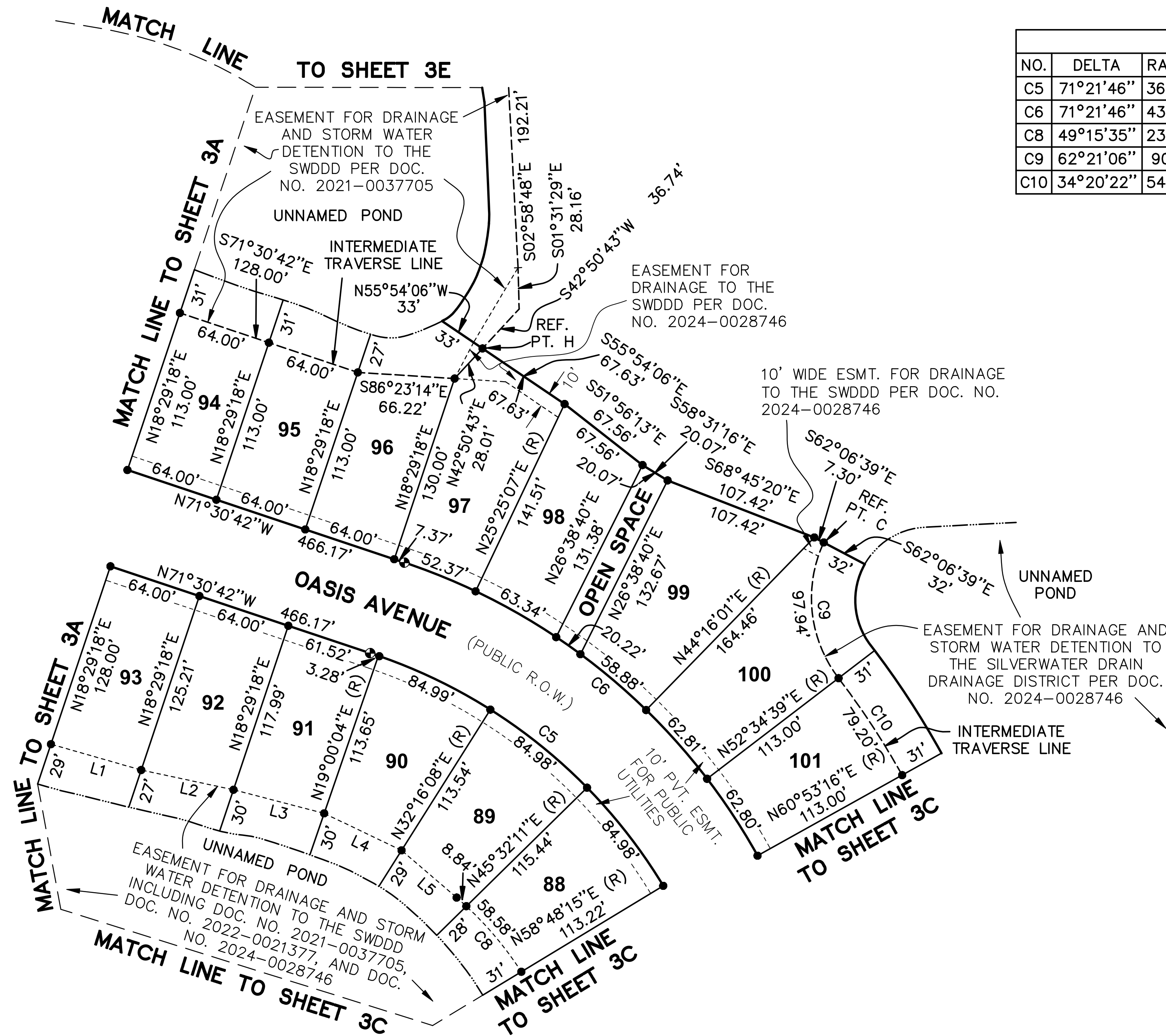
A TEMPORARY EASEMENT FOR ACCESS AND UTILITY PURPOSES WILL EXIST OVER ROAD AREAS UNTIL THE DEDICATION PROCESS IS COMPLETE.

EASEMENTS FOR DRAINAGE TO THE SILVERWATER DRAIN DRAINAGE DISTRICT ARE RECORDED IN DOCUMENT NUMBERS 2021-0037705, 2022-0021377 AND 2024-0028746

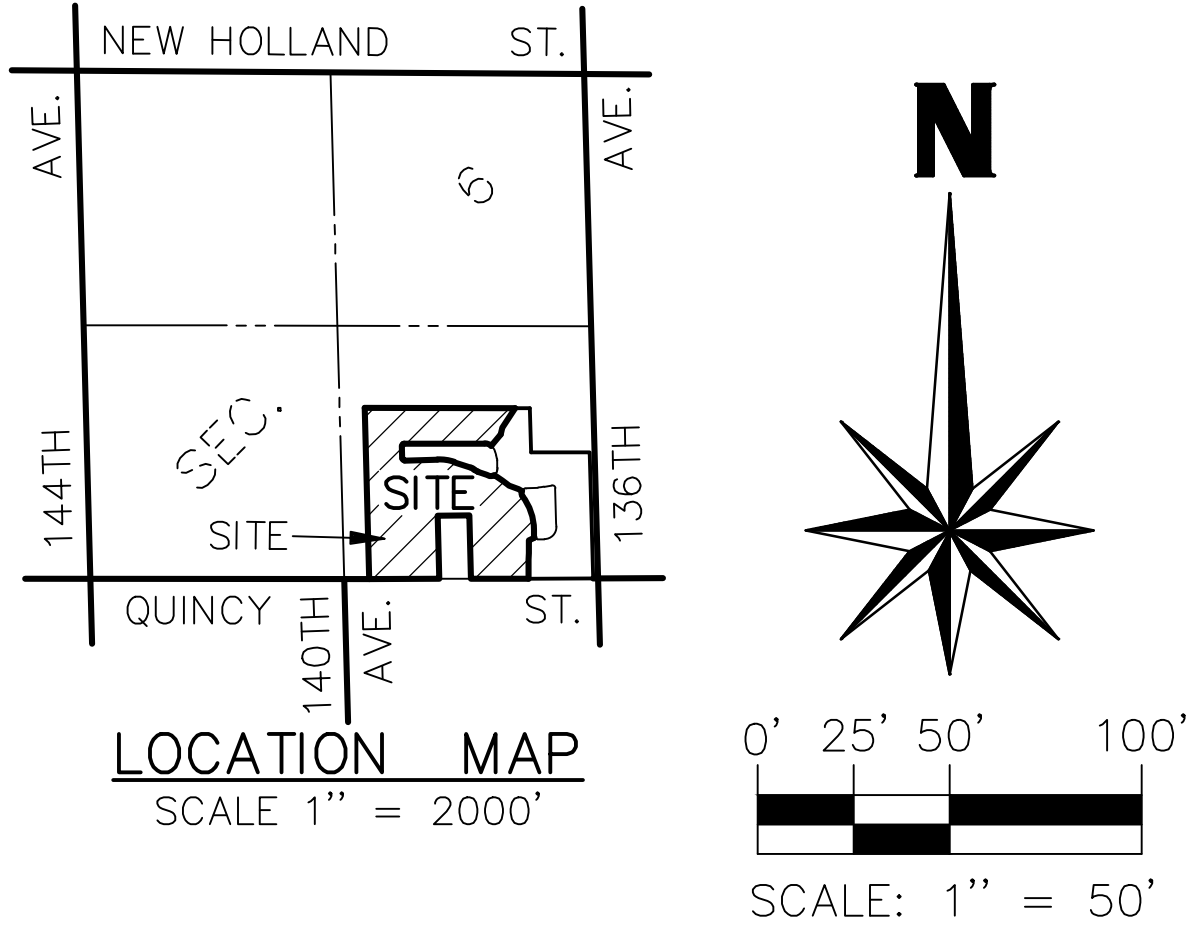
PRELIMINARY

PROPOSED JULY 11, 2022
AMENDED JULY 11, 2024
AMENDED MARCH 7, 2025

SURVEY PLAN SILVERWATER



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	BEARING	CHORD
C5	71°21'46"	367.00'	457.10'	N35°49'49"W	428.13'
C6	71°21'46"	433.00'	539.31'	N35°49'49"W	505.12'
C8	49°15'35"	232.00'	199.46'	N24°46'44"W	193.37'
C9	62°21'06"	90.00'	97.94'	N06°14'48"W	93.18'
C10	34°20'22"	546.00'	327.24'	N20°15'10"W	322.36'



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- ⊕ = PROPOSED CONCRETE MONUMENT
- SWDDD = SILVERWATER DRAIN DRAINAGE DISTRICT

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 6 AS S89°51'04"W PER THE PLAT OF SUMMERLIN – NORTH, AS RECORDED IN LIBER 31 OF PLATS ON PAGES 64–67.

BENCHMARK ELEVATION 619.94
TOP OF NE FLANGE BOLT ON HYDRANT
(ADJACENT TO ADDRESS #13958 QUINCY ST.)

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF THE SILVERWATER DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021–0037703

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF A NEW BRANCH TO THE SUMMERLIN NORTH DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021–0037704

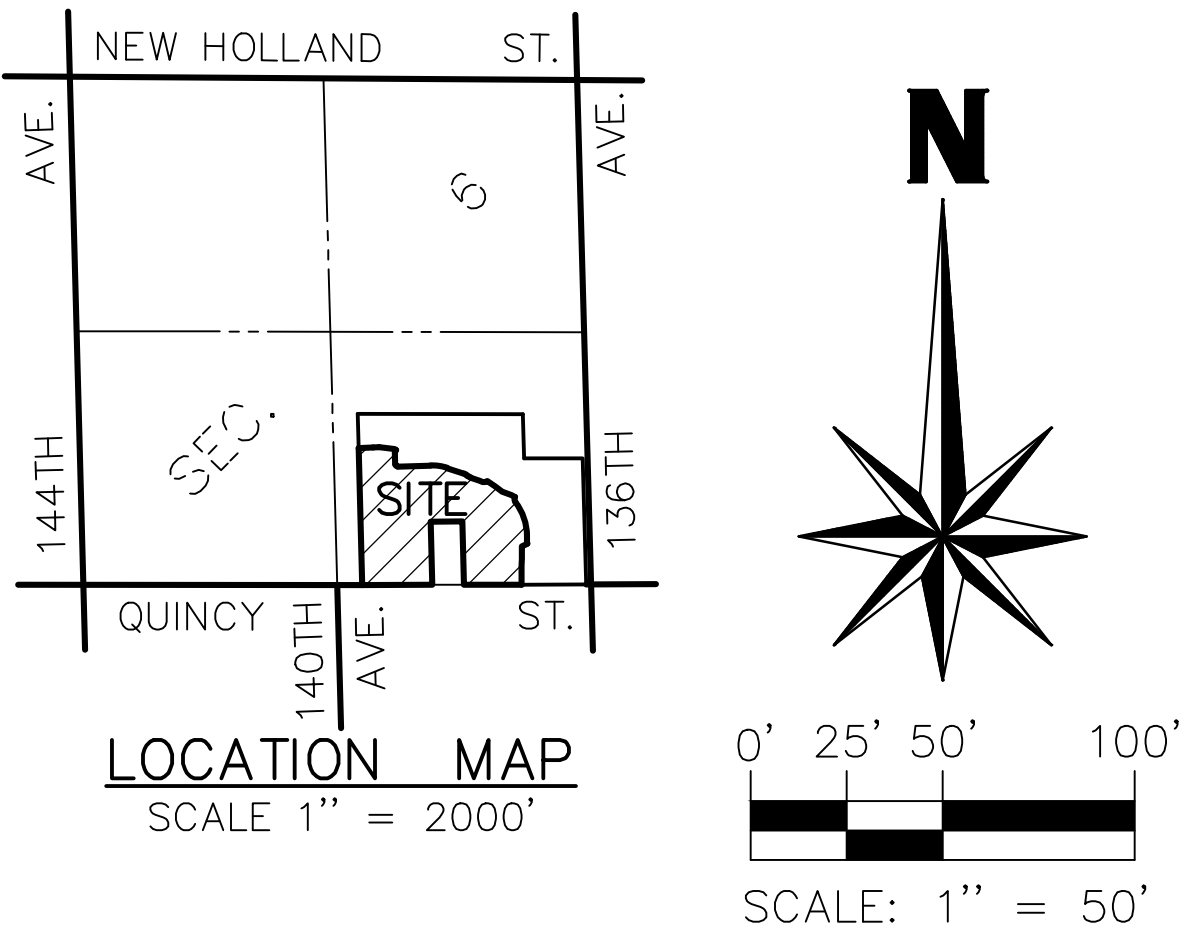
A TEMPORARY EASEMENT FOR ACCESS AND UTILITY PURPOSES WILL EXIST OVER ROAD AREAS UNTIL THE DEDICATION PROCESS IS COMPLETE.

EASEMENTS FOR DRAINAGE TO THE SILVERWATER DRAIN DRAINAGE DISTRICT ARE RECORDED IN DOCUMENT NUMBERS 2021–0037705, 2022–0021377 AND 2024–0028746

LINE TABLE		
NO.	BEARING	CHORD
L1	N74°00'38"W	64.06'
L2	N77°56'44"W	64.41'
L3	N75°24'35"W	63.94'
L4	N64°27'23"W	58.55'
L5	N49°24'31"W	49.54'

PRELIMINARY

PROPOSED JANUARY 22, 2025
AMENDED APRIL 9, 2025



- = SECTION CORNER MONUMENT
● = PROPOSED IRON STAKE
⊙ = PROPOSED CONCRETE MONUMENT
SWDD = SILVERWATER DRAIN DRAINAGE DISTRICT

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 6 AS S89°51'04"W PER THE PLAT OF SUMMERLIN – NORTH, AS RECORDED IN LIBER 31 OF PLATS ON PAGES 64–67.

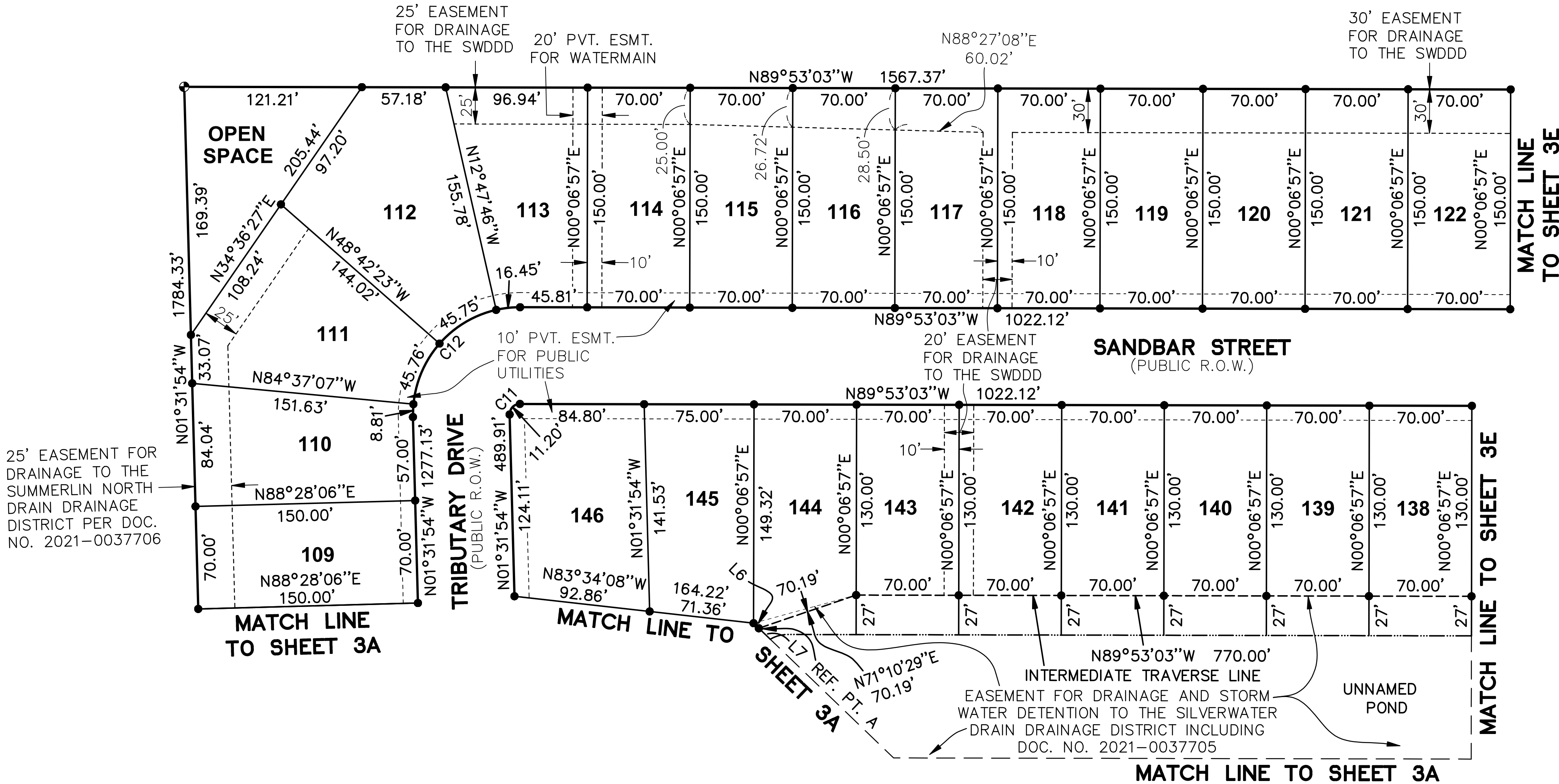
BENCHMARK ELEVATION 619.94
TOP OF NE FLANGE BOLT ON HYDRANT
(ADJACENT TO ADDRESS #13958 QUINCY ST.)

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF THE SILVERWATER DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021–0037703

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF A NEW BRANCH TO THE SUMMERLIN NORTH DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021–0037704

A TEMPORARY EASEMENT FOR ACCESS AND UTILITY PURPOSES WILL EXIST OVER ROAD AREAS UNTIL THE DEDICATION PROCESS IS COMPLETE.

EASEMENTS FOR DRAINAGE TO THE SILVERWATER DRAIN DRAINAGE DISTRICT ARE RECORDED IN DOCUMENT NUMBERS 2021–0037705, 2022–0021377 AND 2024–0028746

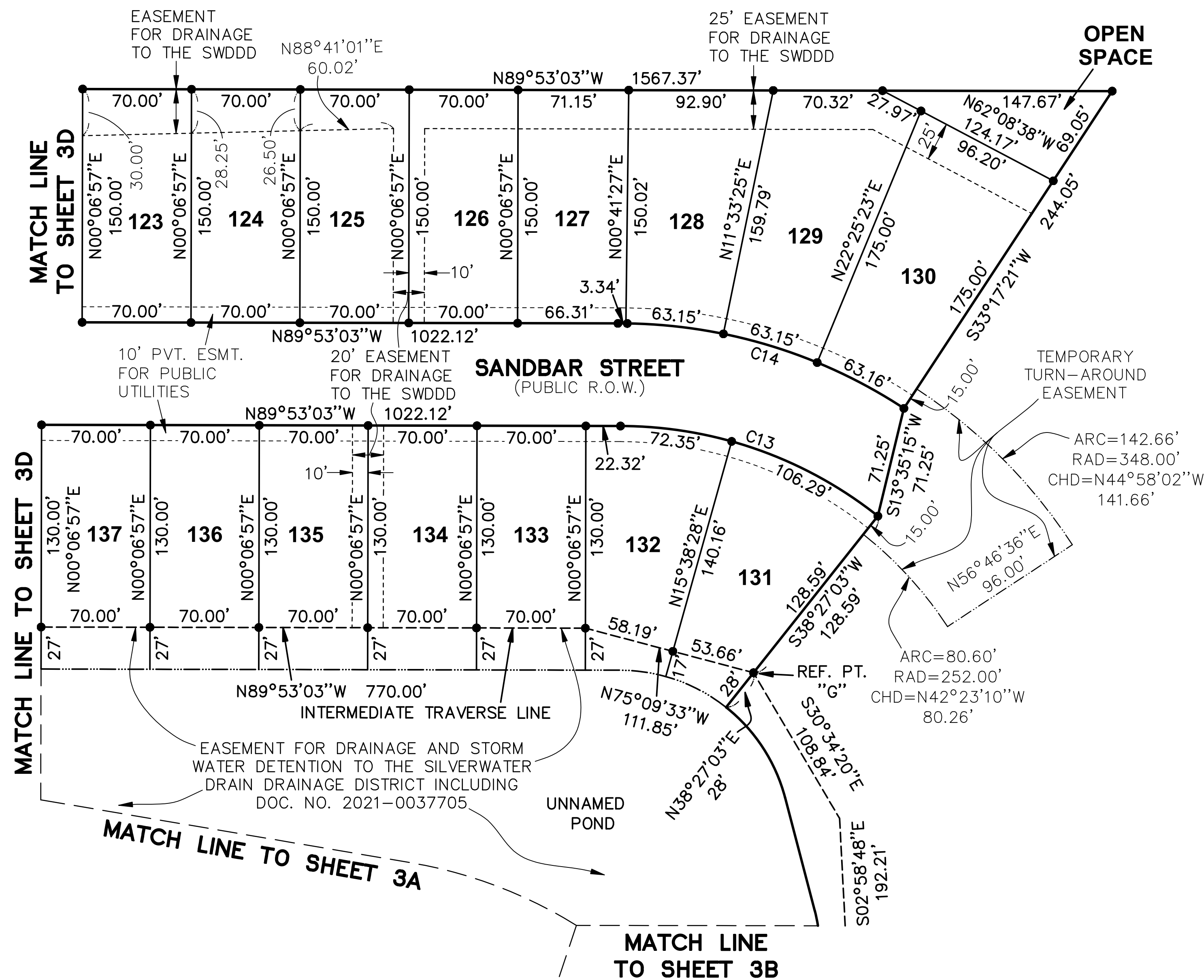


LINE TABLE		
NO.	BEARING	CHORD
L6	N46°06'28"W	5.00'
L7	N46°06'28"W	11'

CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	BEARING	CHORD
C11	11.20'	7.00'	91°38'51"	N44°17'31"E	10.04'
C12	116.77'	73.00'	91°38'51"	N44°17'31"E	104.71'

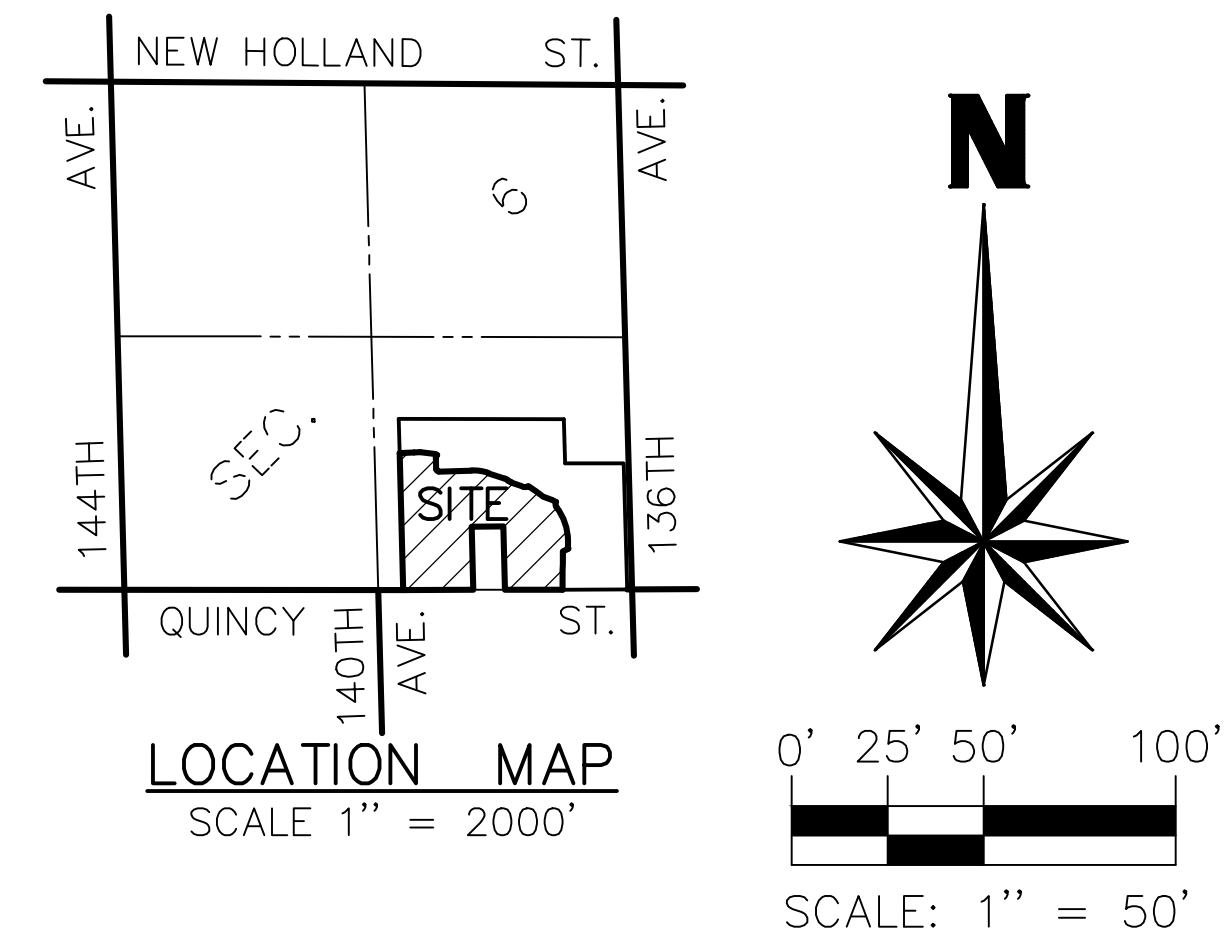
PRELIMINARY

PROPOSED APRIL 9, 2025



LINE TABLE		
NO.	BEARING	CHORD
L6	N46°06'28"W	5.00'
L7	N46°06'28"W	11'

CURVE TABLE					
NO.	LENGTH	DELTA	RADIUS	BEARING	CHORD
C13	178.64'	38°20'06"	267.00'	N70°43'00"W	175.33'
C14	192.80'	33°10'24"	333.00'	N73°17'51"W	190.12'



- ⊙ = SECTION CORNER MONUMENT
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- ⊕ = PROPOSED CONCRETE MONUMENT
- SWDD = SILVERWATER DRAIN DRAINAGE DISTRICT

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 6 AS S89°51'04"W PER THE PLAT OF SUMMERLIN – NORTH, AS RECORDED IN LIBER 31 OF PLATS ON PAGES 64–67.

BENCHMARK ELEVATION 619.94
TOP OF NE FLANGE BOLT ON HYDRANT
(ADJACENT TO ADDRESS #13958 QUINCY ST.)

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF THE SILVERWATER DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021–0037703

THIS CONDOMINIUM IS SUBJECT TO AN AGREEMENT FOR THE ESTABLISHMENT OF A NEW BRANCH TO THE SUMMERLIN NORTH DRAIN DRAINAGE DISTRICT PER DOC. NO. 2021–0037704

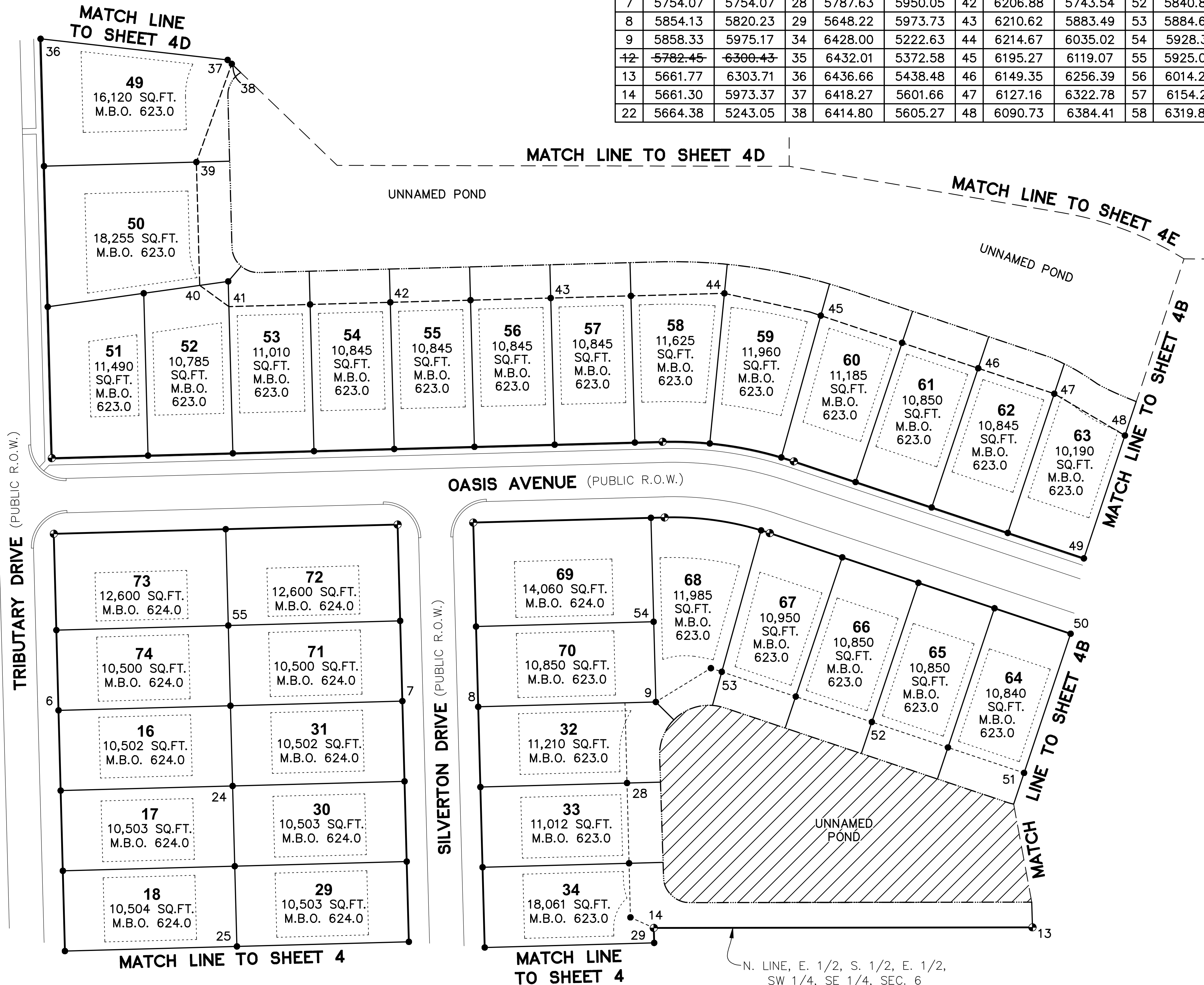
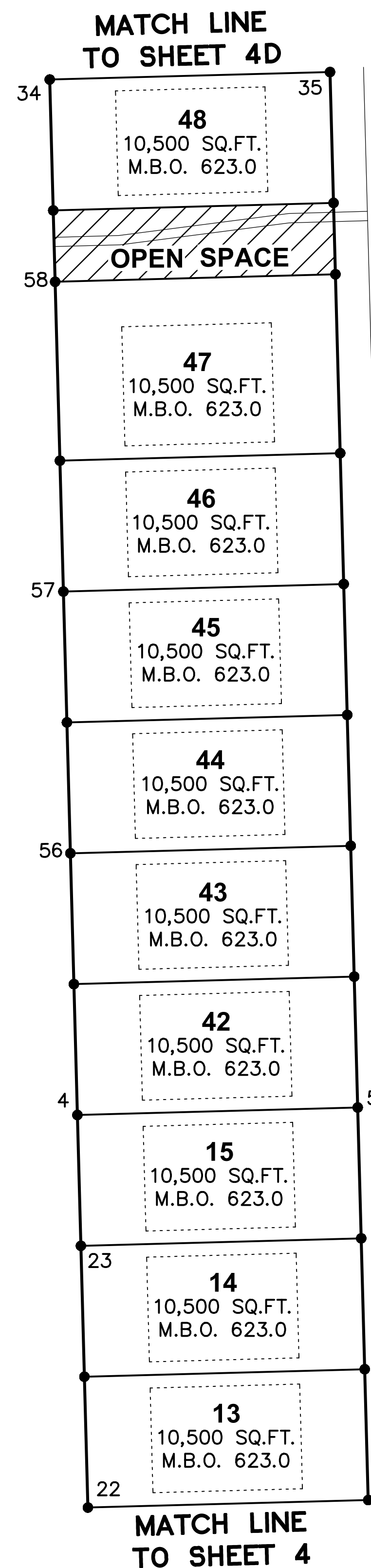
A TEMPORARY EASEMENT FOR ACCESS AND UTILITY PURPOSES WILL EXIST OVER ROAD AREAS UNTIL THE DEDICATION PROCESS IS COMPLETE.

EASEMENTS FOR DRAINAGE TO THE SILVERWATER DRAIN DRAINAGE DISTRICT ARE RECORDED IN DOCUMENT NUMBERS 2021–0037705, 2022–0021377 AND 2024–0028746

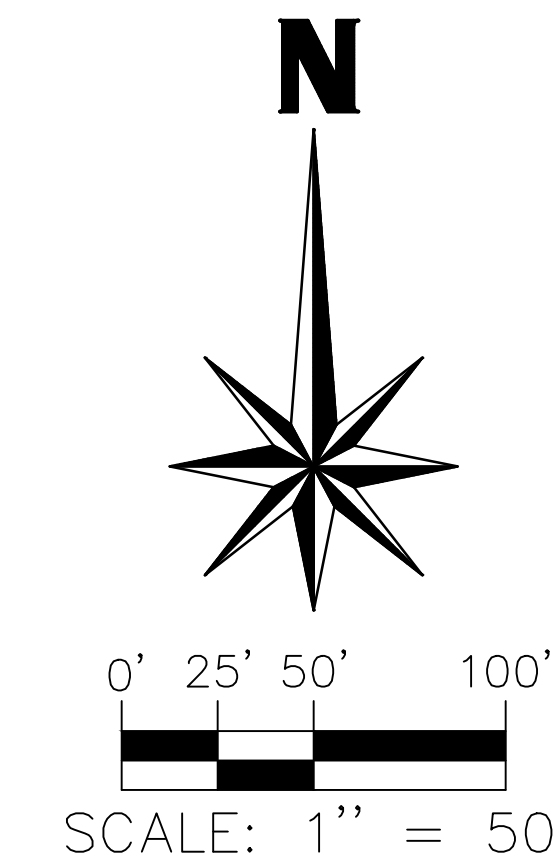
PRELIMINARY

PROPOSED APRIL 9, 2025

SURVEY PLAN SILVERWATER



POINT TABLE											
NO.	N. COORD.	E. COORD.	NO.	N. COORD.	E. COORD.	NO.	N. COORD.	E. COORD.	NO.	N. COORD.	E. COORD.
4	5874.31	5237.44	23	5804.33	5239.31	39	6329.18	5574.40	49	5983.56	6348.57
5	5878.32	5387.38	24	5785.08	5605.99	40	6221.65	5577.27	50	5917.85	6336.98
6	5454.14	5454.14	25	5645.13	5609.76	41	6203.12	5602.78	51	5796.45	6296.39
7	5754.07	5754.07	28	5787.63	5950.05	42	6206.88	5743.54	52	5840.85	6163.62
8	5854.13	5820.23	29	5648.22	5973.73	43	6210.62	5883.49	53	5884.63	6032.70
9	5858.33	5975.17	34	6428.00	5222.63	44	6214.67	6035.02	54	5928.31	5973.30
12	5782.45	6300.43	35	6432.01	5372.58	45	6195.27	6119.07	55	5925.03	5602.23
13	5661.77	6303.71	36	6436.66	5438.48	46	6149.35	6256.39	56	6014.26	5233.70
14	5661.30	5973.37	37	6418.27	5601.66	47	6127.16	6322.78	57	6154.21	5229.95
22	5664.38	5243.05	38	6414.80	5605.27	48	6090.73	6384.41	58	6319.85	5225.52

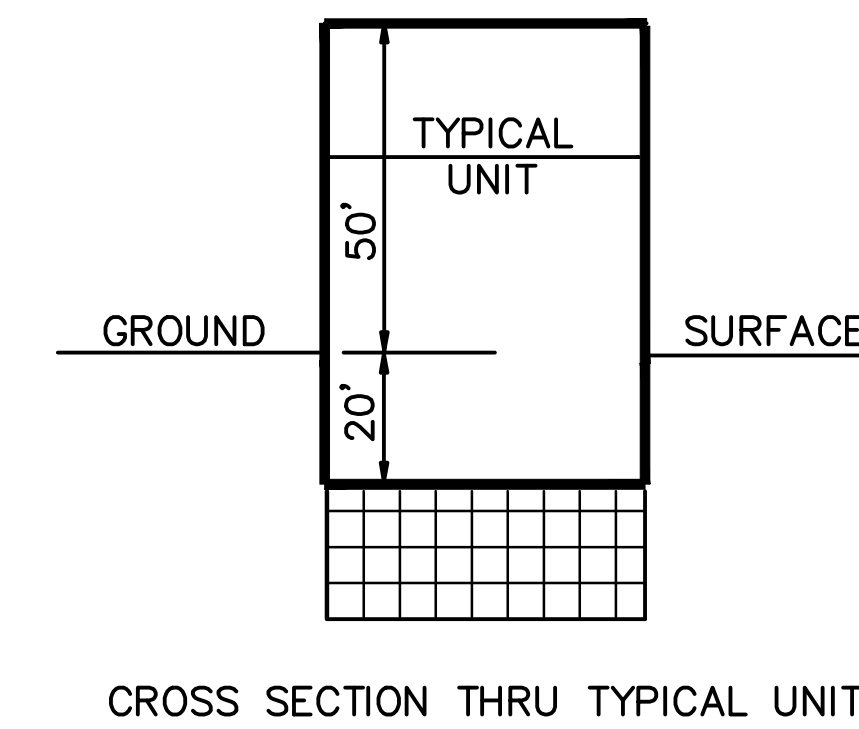


- = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⊙ = PROPOSED CONCRETE MONUMENT

- = GENERAL COMMON ELEMENT
- = LIMITED COMMON ELEMENT
- = CONVERTIBLE AND CONTRACTIBLE AREA

BUILDING SETBACK REQUIREMENTS:
FRONT YARD 35' MIN.
SIDE YARD 7' MIN.
REAR YARD 35' MIN.
----- BUILDING SETBACK LINE

AND AS SHOWN ON THIS PLAN

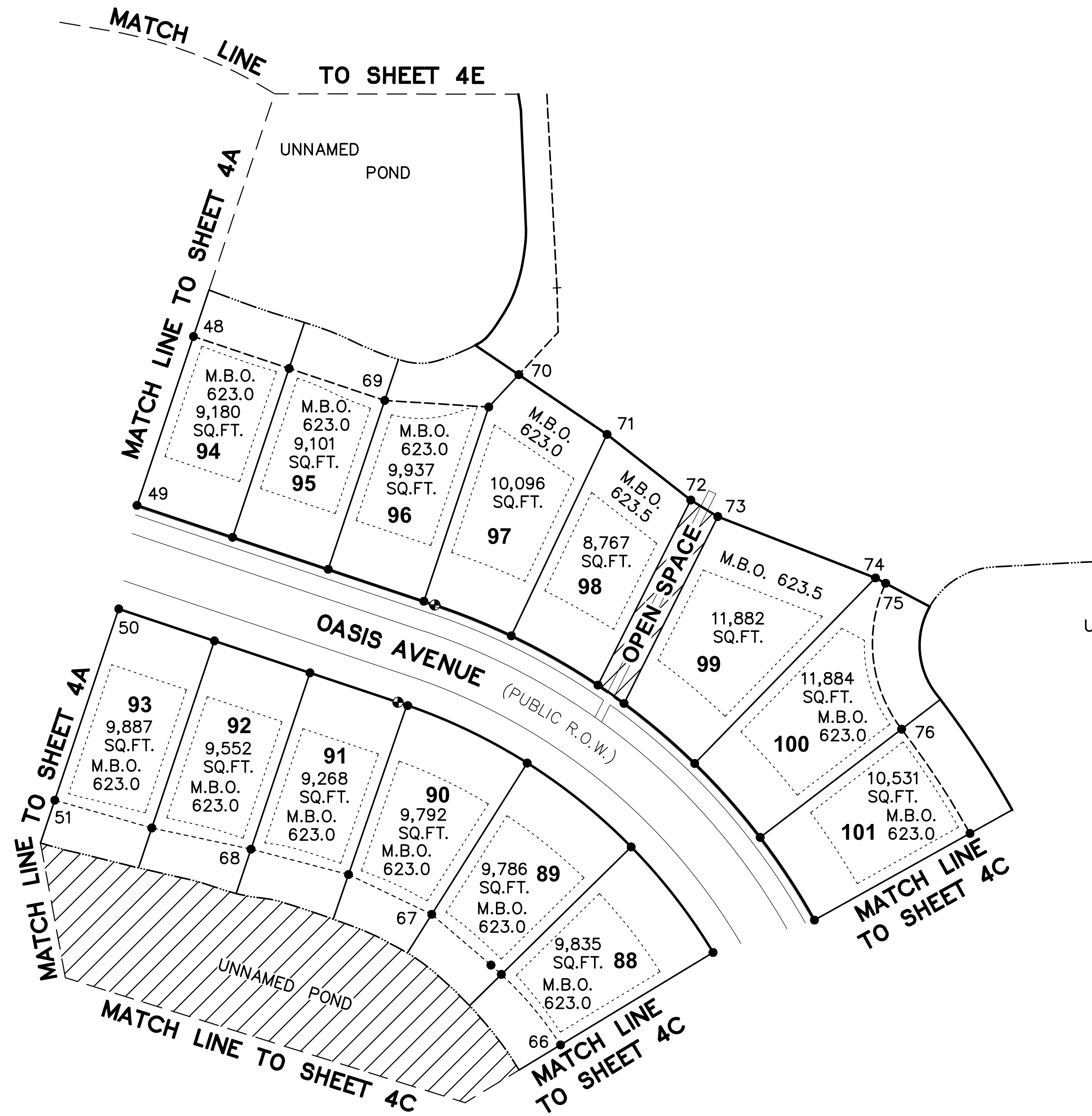


PRELIMINARY

PROPOSED JULY 11, 2022
AMENDED JULY 11, 2024
AMENDED APRIL 9, 2025

SITE PLAN SILVERWATER

EXXEL ENGINEERING, INC., 5252 CLYDE PARK AVE. SW, GRAND RAPIDS, MI 49509 SHEET 4A



POINT TABLE					
NO.	N. COORD.	E. COORD.	NO.	N. COORD.	E. COORD.
48	6090.73	6384.41	70	6066.50	6590.93
49	5983.56	6348.57	71	6028.59	6646.94
50	5917.85	6336.98	72	5986.93	6700.13
51	5796.45	6296.39	73	5976.45	6717.25
66	5641.25	6617.61	74	5937.53	6817.37
67	5724.01	6535.66	75	5934.12	6823.82
68	5765.36	6420.96	76	5841.49	6833.96
69	6050.14	6505.80			

NOTE:
MINIMUM BUILDING FLOOR ELEVATION = 621.3' FOR ALL UNITS

N

0' 25' 50' 100'

SCALE: 1" = 50'

⊙ = SECTION CORNER MONUMENT

● = PROPOSED IRON STAKE

⊕ = PROPOSED CONCRETE MONUMENT

= GENERAL COMMON ELEMENT

= LIMITED COMMON ELEMENT

= CONVERTIBLE AND CONTRACTIBLE AREA

BUILDING SETBACK REQUIREMENTS:

FRONT YARD 35' MIN.

SIDE YARD 7' MIN.

REAR YARD 35' MIN.

----- BUILDING SETBACK LINE

AND AS SHOWN ON THIS PLAN

CROSS SECTION THRU TYPICAL UNIT

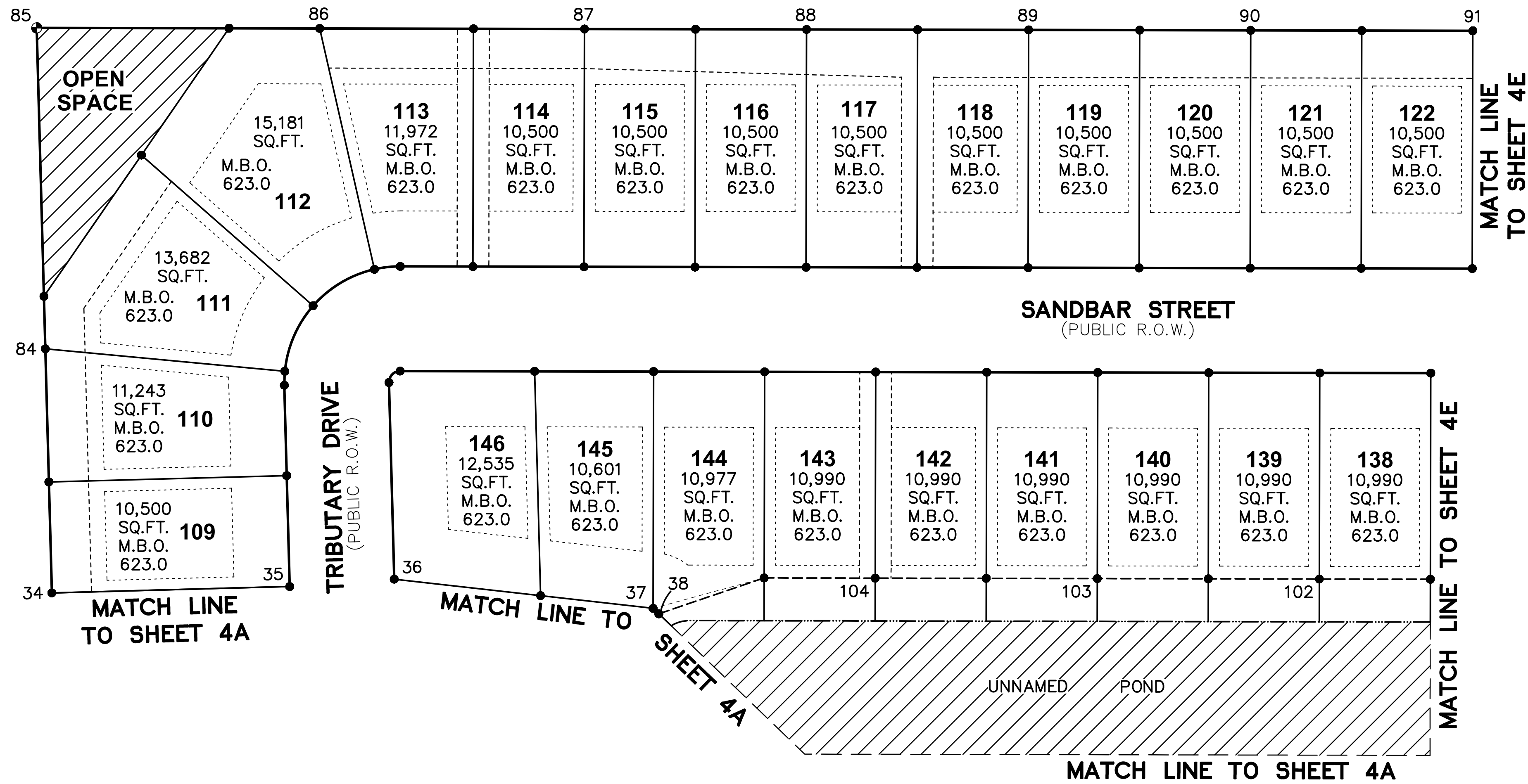
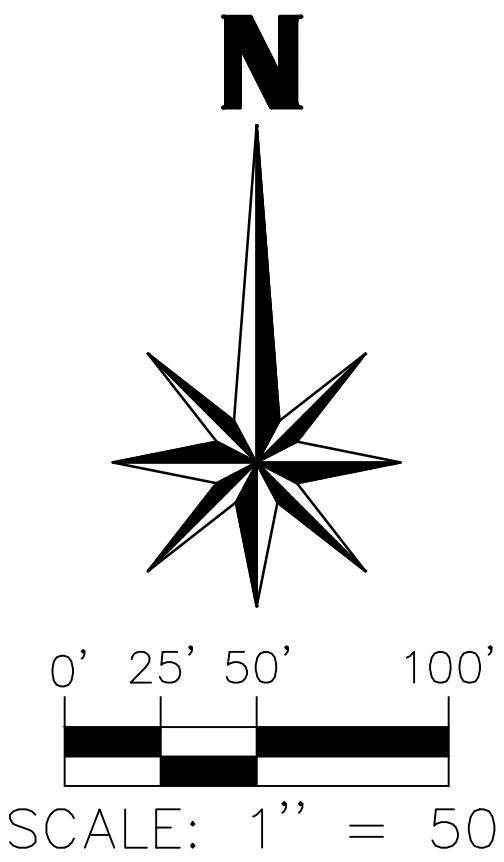
PRELIMINARY

PROPOSED JANUARY 22, 2025
AMENDED APRIL 9, 2025

SITE PLAN
SILVERWATER

EXXEL ENGINEERING, INC., 5252 CLYDE PARK AVE. SW, GRAND RAPIDS, MI 49509

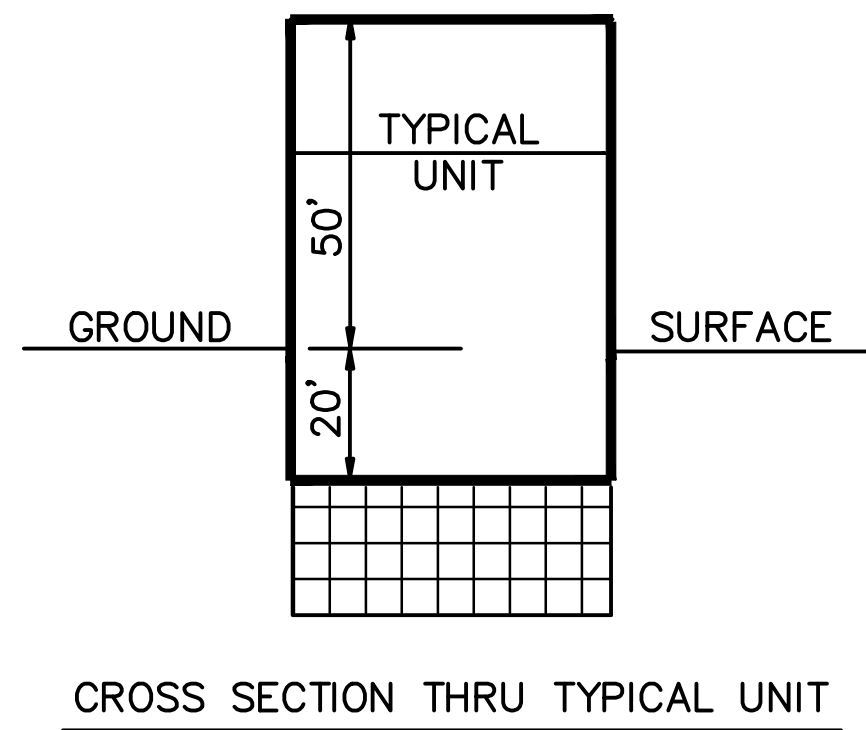
SHEET 4B



- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT

- = GENERAL COMMON ELEMENT
- = LIMITED COMMON ELEMENT
- = CONVERTIBLE AND CONTRACTIBLE AREA

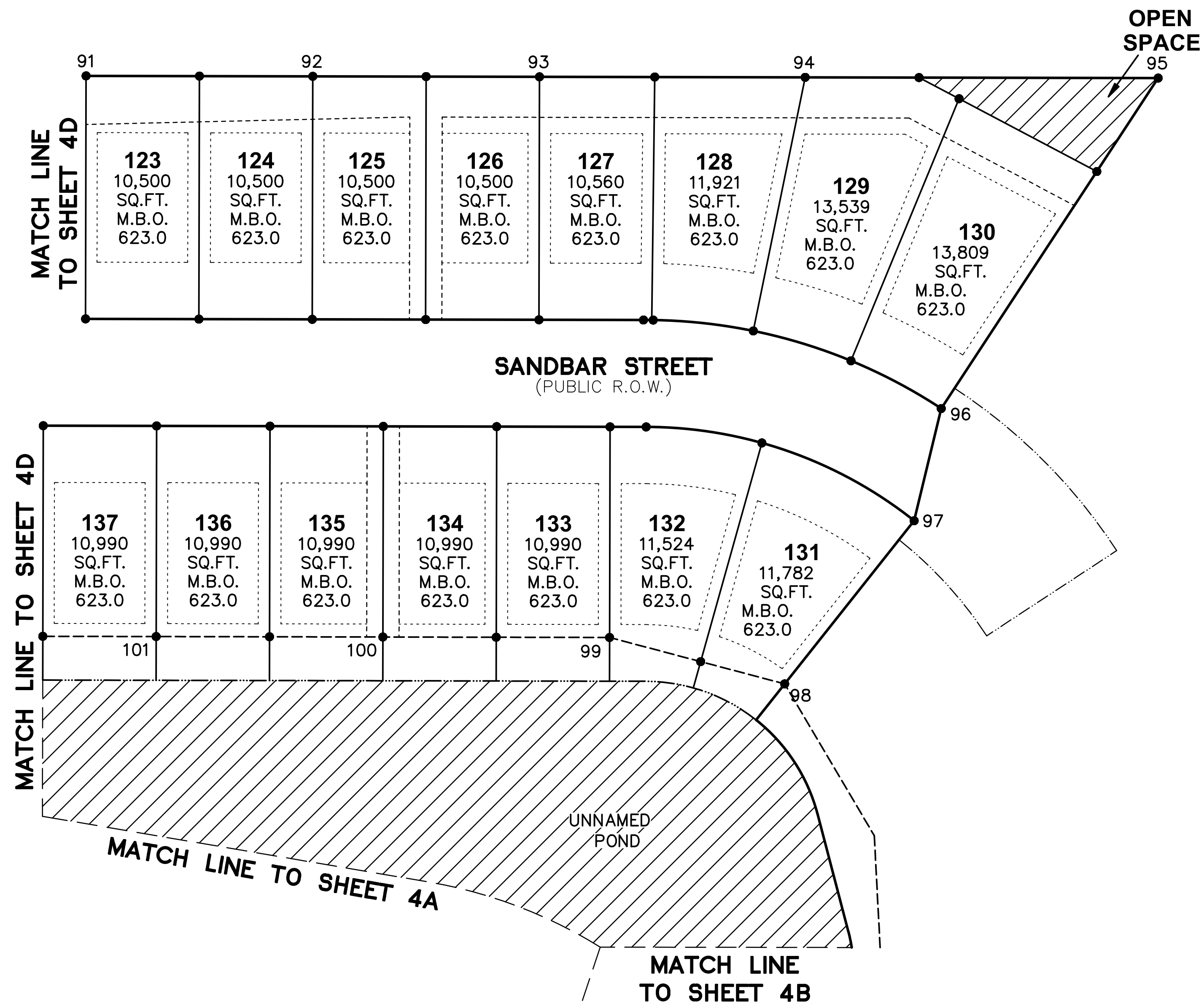
BUILDING SETBACK REQUIREMENTS:
FRONT YARD 35' MIN.
SIDE YARD 7' MIN.
REAR YARD 35' MIN.
..... BUILDING SETBACK LINE
AND AS SHOWN ON THIS PLAN



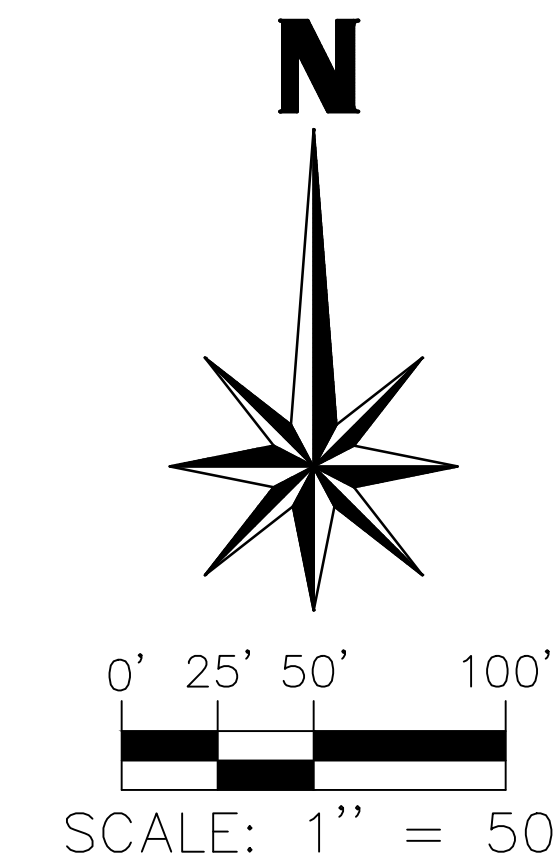
POINT TABLE					
NO.	N. COORD.	E. COORD.	NO.	N. COORD.	E. COORD.
34	6428.00	5222.63	87	6783.68	5558.42
35	6432.01	5372.58	88	6783.39	5698.42
36	6436.66	5438.48	89	6783.11	5838.42
37	6418.27	5601.66	90	6782.83	5978.42
38	6414.80	5605.27	91	6782.55	6118.42
84	6581.98	5218.51	102	6436.74	6021.70
85	6784.38	5213.10	103	6437.02	5881.70
86	6784.02	5391.49	104	6437.31	5741.70

NOTE:
MINIMUM BUILDING FLOOR ELEVATION = 621.3' FOR ALL UNITS

PRELIMINARY
PROPOSED APRIL 9, 2025



POINT TABLE		
NO.	N. COORD.	E. COORD.
91	6782.55	6118.42
92	6782.26	6258.42
93	6781.98	6398.42
94	6781.65	6562.48
95	6781.21	6780.47
96	6577.21	6646.52
97	6507.95	6629.78
98	6407.24	6549.82
99	6435.89	6441.70
100	6436.17	6301.70
101	6436.46	6161.70

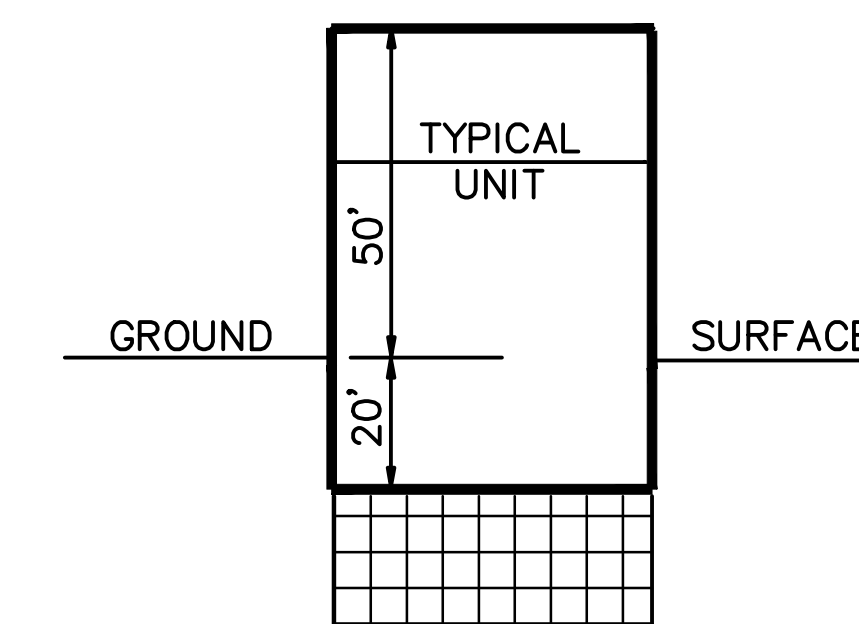


- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⊕ = PROPOSED CONCRETE MONUMENT

- = GENERAL COMMON ELEMENT
- = LIMITED COMMON ELEMENT
- = CONVERTIBLE AND CONTRACTIBLE AREA

BUILDING SETBACK REQUIREMENTS:
 FRONT YARD 35' MIN.
 SIDE YARD 7' MIN.
 REAR YARD 35' MIN.
 BUILDING SETBACK LINE

AND AS SHOWN ON THIS PLAN



CROSS SECTION THRU TYPICAL UNIT

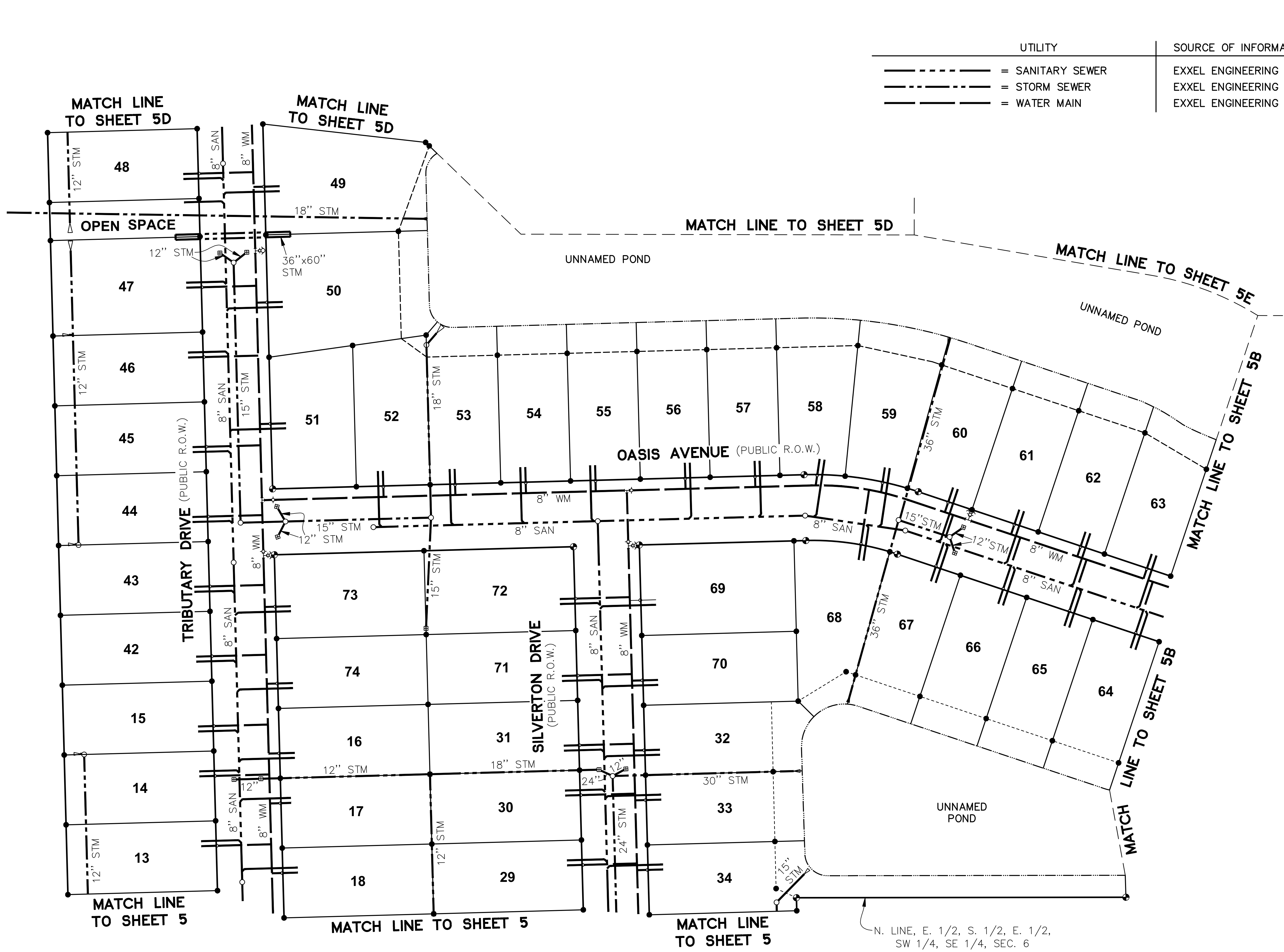
NOTE:
 MINIMUM BUILDING FLOOR ELEVATION = 621.3' FOR ALL UNITS

PRELIMINARY

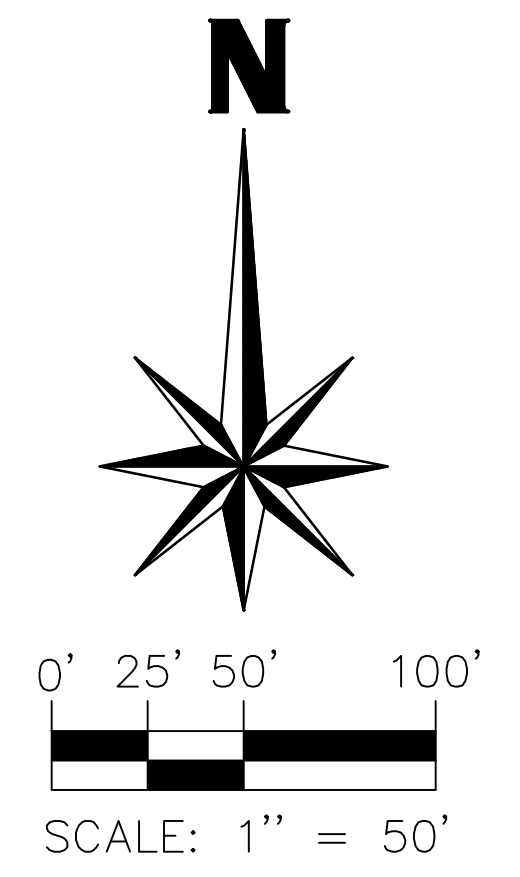
PROPOSED APRIL 9, 2025

SITE PLAN SILVERWATER

EXXEL ENGINEERING, INC., 5252 CLYDE PARK AVE. SW, GRAND RAPIDS, MI 49509 SHEET 4E



UTILITY	SOURCE OF INFORMATION
= SANITARY SEWER	EXXEL ENGINEERING INC.
= STORM SEWER	EXXEL ENGINEERING INC.
= WATER MAIN	EXXEL ENGINEERING INC.



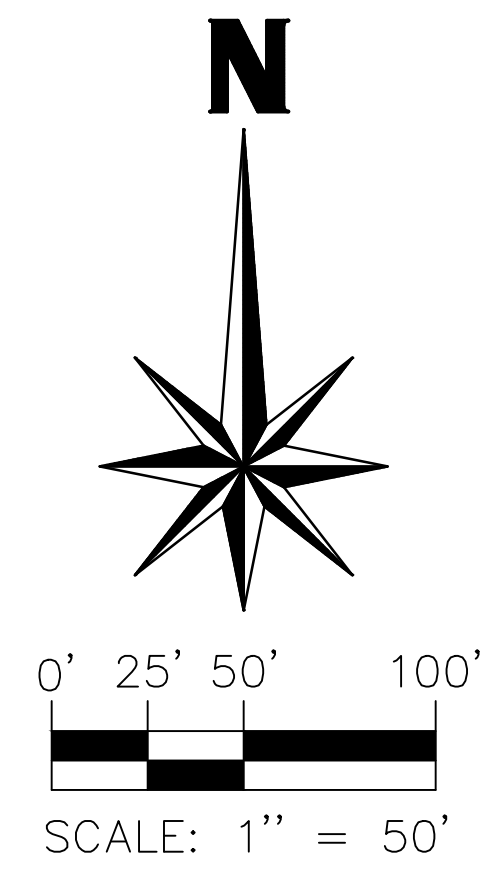
- = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- = PROPOSED CONCRETE MONUMENT
- = MANHOLE
- = CATCH BASIN
- = FLARED END SECTION
- = HYDRANT
- = WATER VALVE

- NOTES:
- UTILITY INFORMATION SHOWN HEREON IS PER AVAILABLE RECORD AND SHOULD NOT BE MISCONSTRUED TO BE A GUARANTEE OF COMPLETENESS OR ACCURACY.
 - WATER SERVICES TO ALL LOTS ARE 1".
 - ALL SANITARY SEWER LATERALS ARE 6".
 - ALL UTILITIES "MUST BE BUILT."
 - THE PRIVATE UTILITY COMPANIES (GAS, ELECTRIC & COMMUNICATIONS) HAVE NOT COMPLETED THEIR PRELIMINARY DESIGN. THEREFORE THESE UTILITIES ARE NOT SHOWN. THEY WILL BE SHOWN AT A LATER DATE ON AN AS-BUILT BASIS.

PRELIMINARY

PROPOSED JULY 11, 2022
AMENDED JULY 11, 2024
AMENDED APRIL 9, 2025

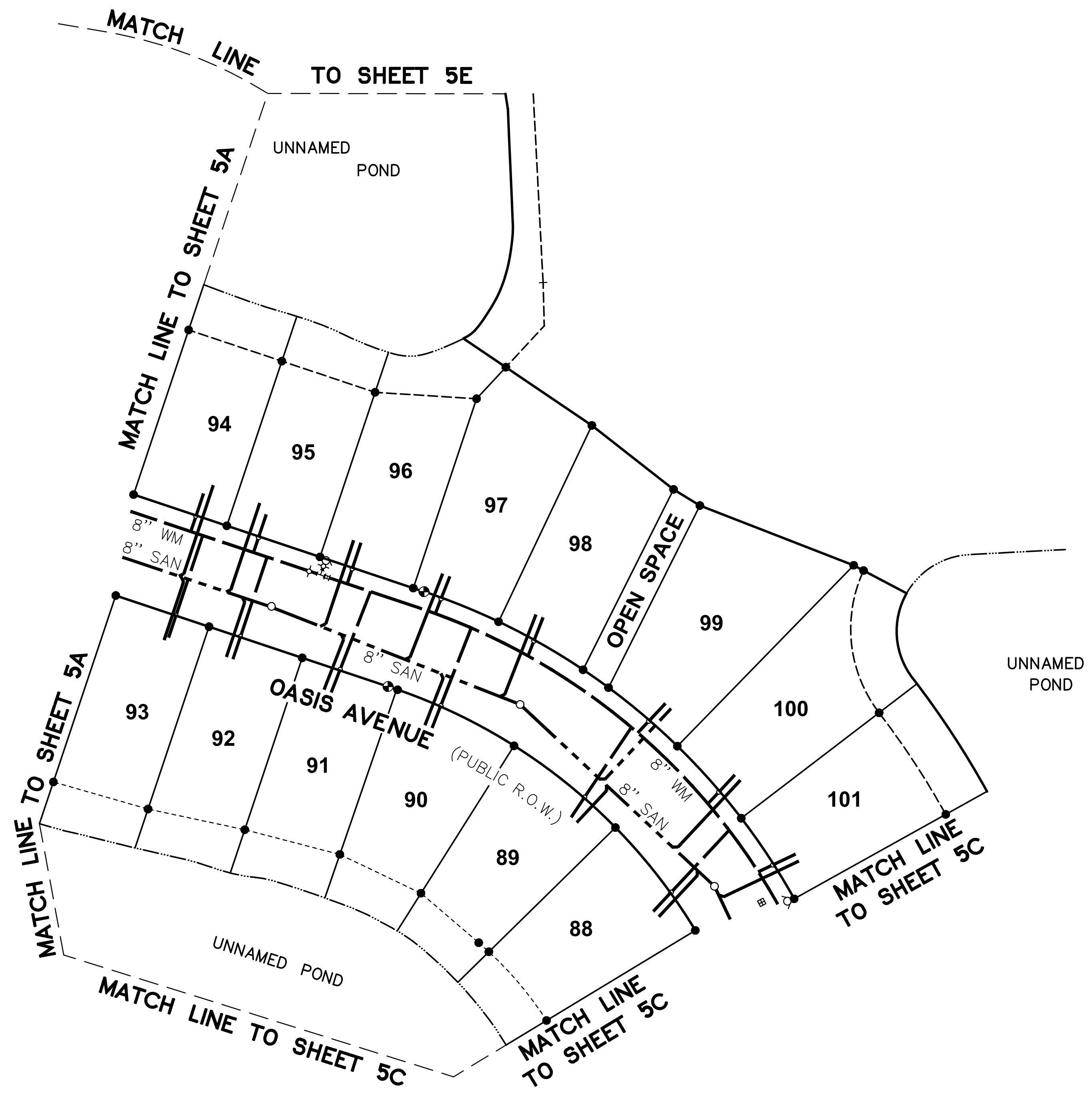
UTILITY PLAN
SILVERWATER



- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT
- = MANHOLE
- ⊞ = CATCH BASIN
- ∇ = FLARED END SECTION
- ◇ = HYDRANT
- ⋈ = WATER VALVE

UTILITY	SOURCE OF INFORMATION
----- = SANITARY SEWER	EXXEL ENGINEERING INC.
- - - - - = STORM SEWER	EXXEL ENGINEERING INC.
===== = WATER MAIN	EXXEL ENGINEERING INC.

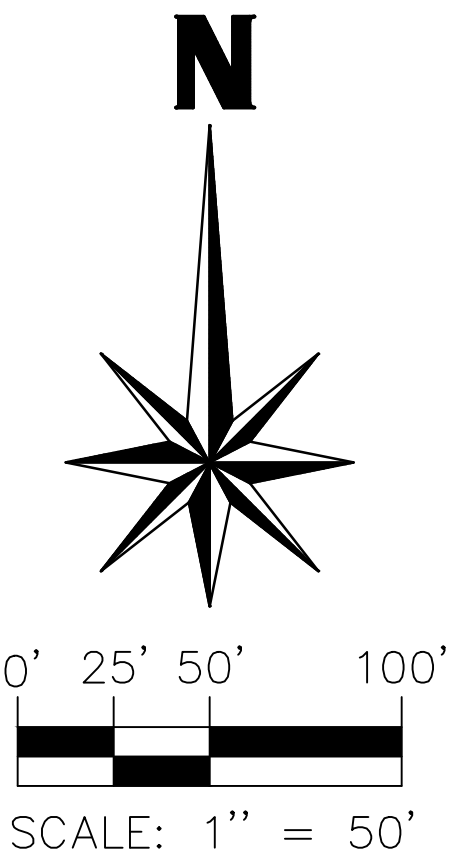
- NOTES:
1. UTILITY INFORMATION SHOWN HEREON IS PER AVAILABLE RECORD AND SHOULD NOT BE MISCONSTRUED TO BE A GUARANTEE OF COMPLETENESS OR ACCURACY.
 2. WATER SERVICES TO ALL LOTS ARE 1".
 3. ALL SANITARY SEWER LATERALS ARE 6".
 4. ALL UTILITIES "MUST BE BUILT."
 5. THE PRIVATE UTILITY COMPANIES (GAS, ELECTRIC & COMMUNICATIONS) HAVE NOT COMPLETED THEIR PRELIMINARY DESIGN. THEREFORE THESE UTILITIES ARE NOT SHOWN. THEY WILL BE SHOWN AT A LATER DATE ON AN AS-BUILT BASIS.



PRELIMINARY

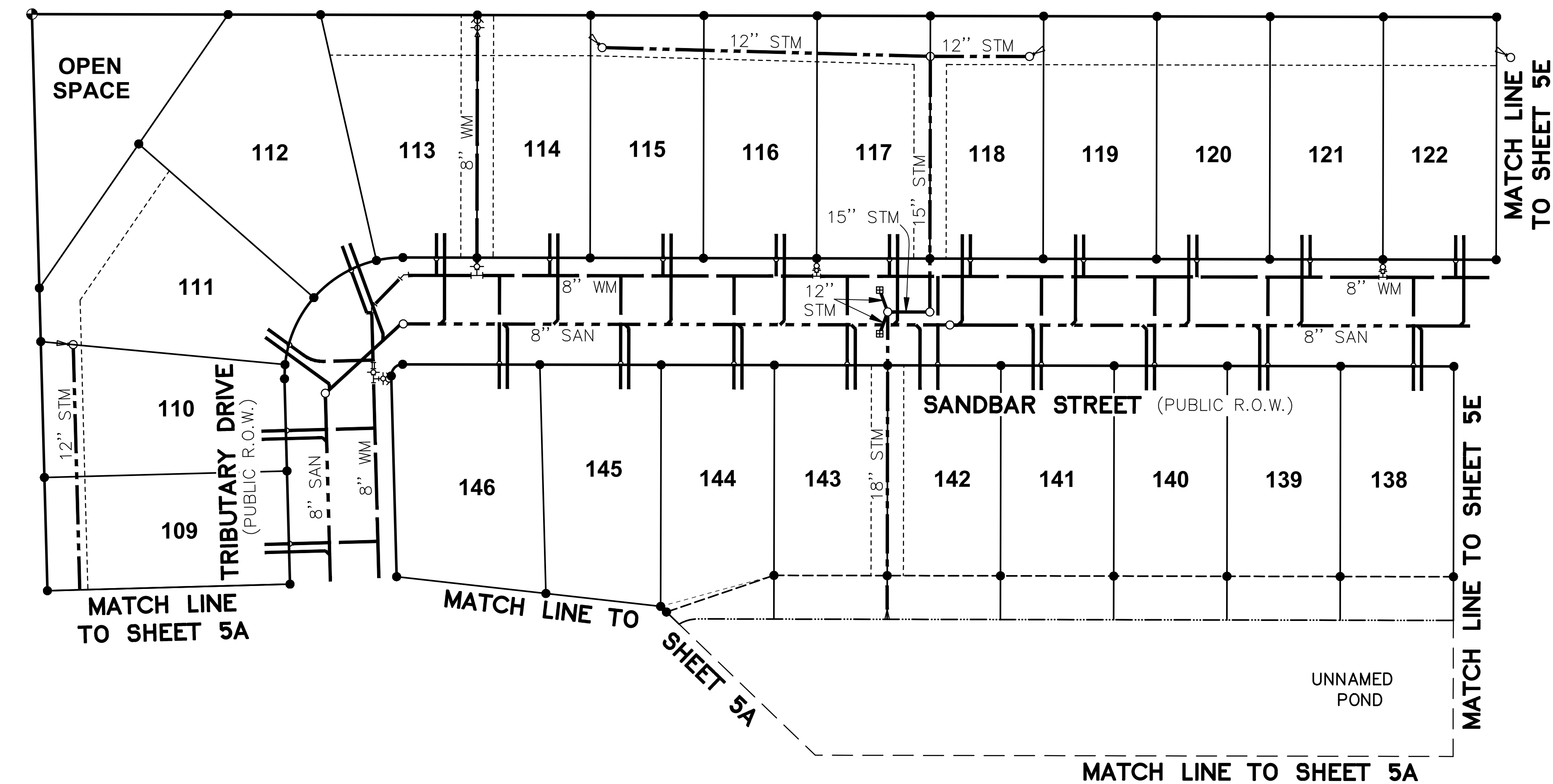
PROPOSED JANUARY 22, 2025
AMENDED APRIL 9, 2025

UTILITY PLAN
SILVERWATER



- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT
- = MANHOLE
- ⊞ = CATCH BASIN
- ∨ = FLARED END SECTION
- ⋈ = HYDRANT
- ⋈ = WATER VALVE
- ✱ = LIGHT POLE
- ⦶ = UTILITY POLE

- NOTES:
1. UTILITY INFORMATION SHOWN HEREON IS PER AVAILABLE RECORD AND SHOULD NOT BE MISCONSTRUED TO BE A GUARANTEE OF COMPLETENESS OR ACCURACY.
 2. WATER SERVICES TO ALL LOTS ARE 1".
 3. ALL SANITARY SEWER LATERALS ARE 6".
 4. ALL UTILITIES "MUST BE BUILT."
 5. THE PRIVATE UTILITY COMPANIES (GAS, ELECTRIC & COMMUNICATIONS) HAVE NOT COMPLETED THEIR PRELIMINARY DESIGN. THEREFORE THESE UTILITIES ARE NOT SHOWN. THEY WILL BE SHOWN AT A LATER DATE ON AN AS-BUILT BASIS.



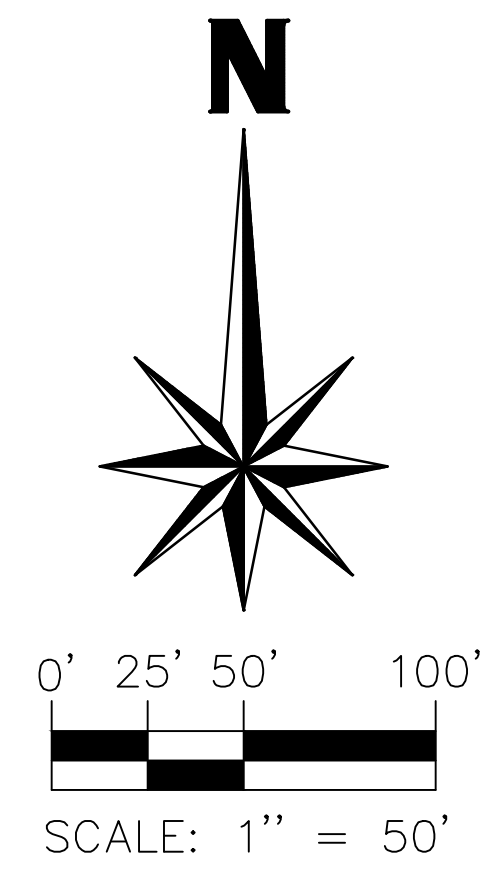
UTILITY	SOURCE OF INFORMATION
----- = SANITARY SEWER	EXXEL ENGINEERING INC.
- - - - - = STORM SEWER	EXXEL ENGINEERING INC.
===== = WATER MAIN	EXXEL ENGINEERING INC.
..... = OVERHEAD WIRES	EXXEL ENGINEERING INC.

PRELIMINARY

PROPOSED APRIL 9, 2025

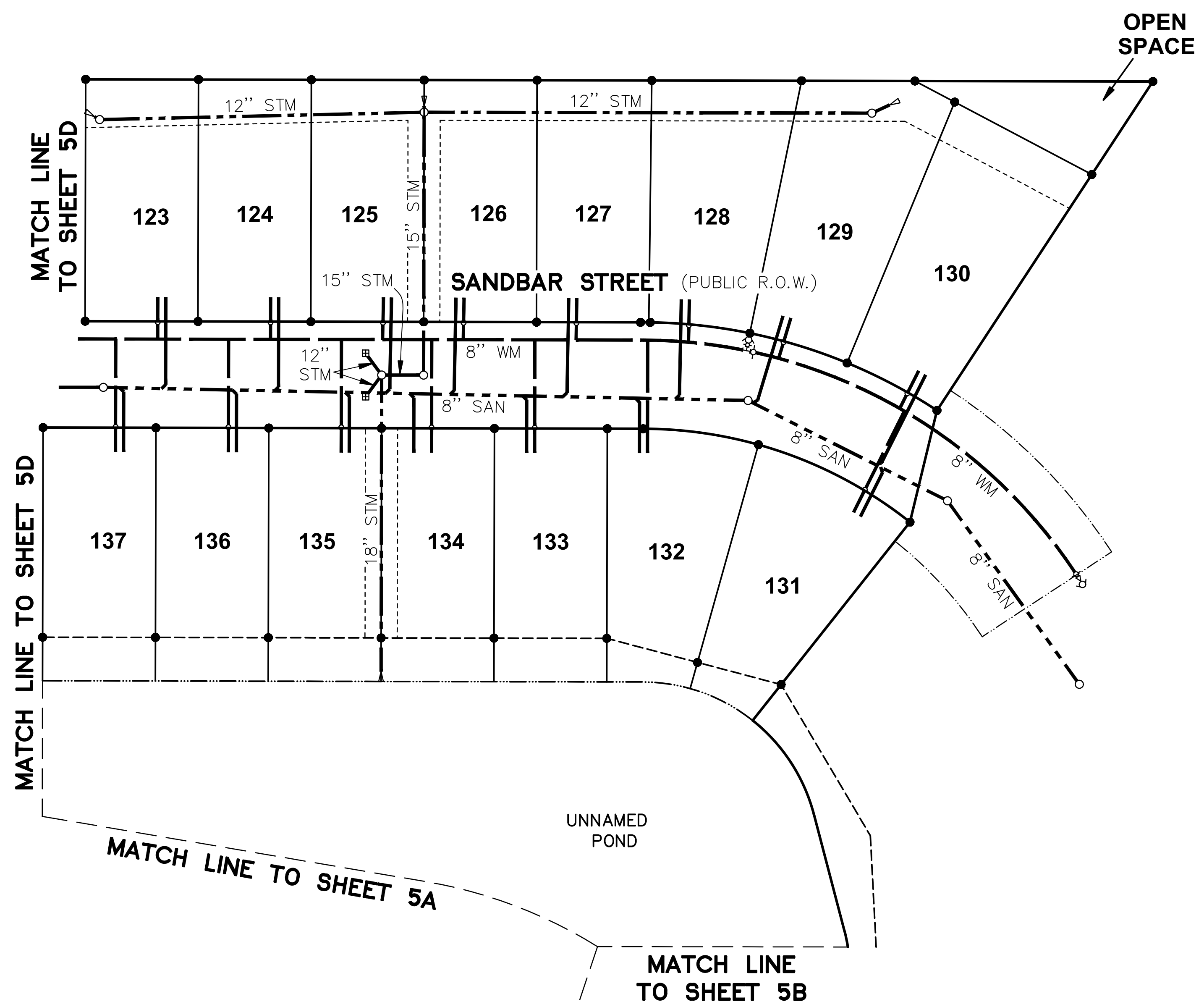
UTILITY PLAN SILVERWATER

EXXEL ENGINEERING, INC., 5252 CLYDE PARK AVE. SW, GRAND RAPIDS, MI 49509 SHEET 5D



- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT
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- ⊞ = CATCH BASIN
- ∇ = FLARED END SECTION
- ⋈ = HYDRANT
- ⋄ = WATER VALVE
- ✱ = LIGHT POLE
- ⦶ = UTILITY POLE

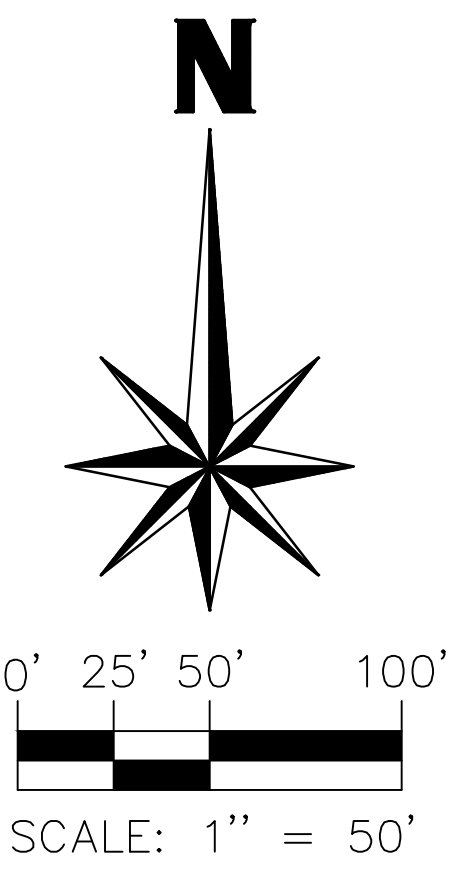
- NOTES:
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UTILITY	SOURCE OF INFORMATION
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= STORM SEWER	EXXEL ENGINEERING INC.
= WATER MAIN	EXXEL ENGINEERING INC.
= OVERHEAD WIRES	EXXEL ENGINEERING INC.

PRELIMINARY

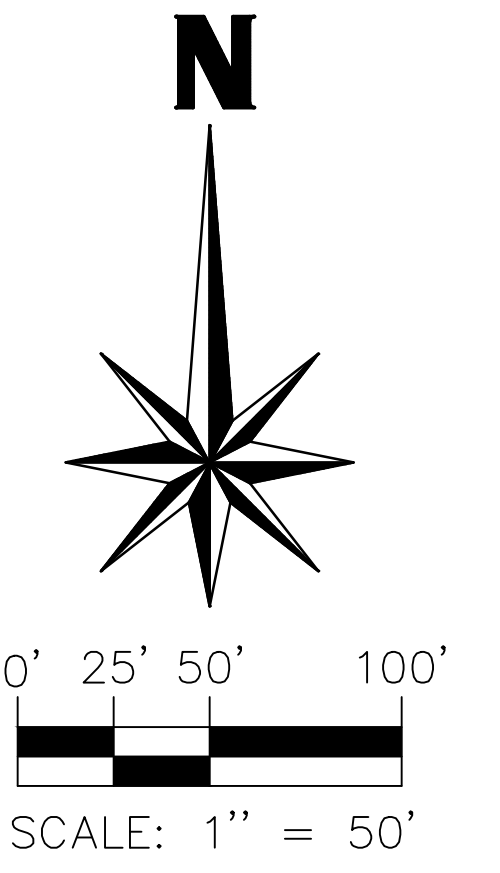
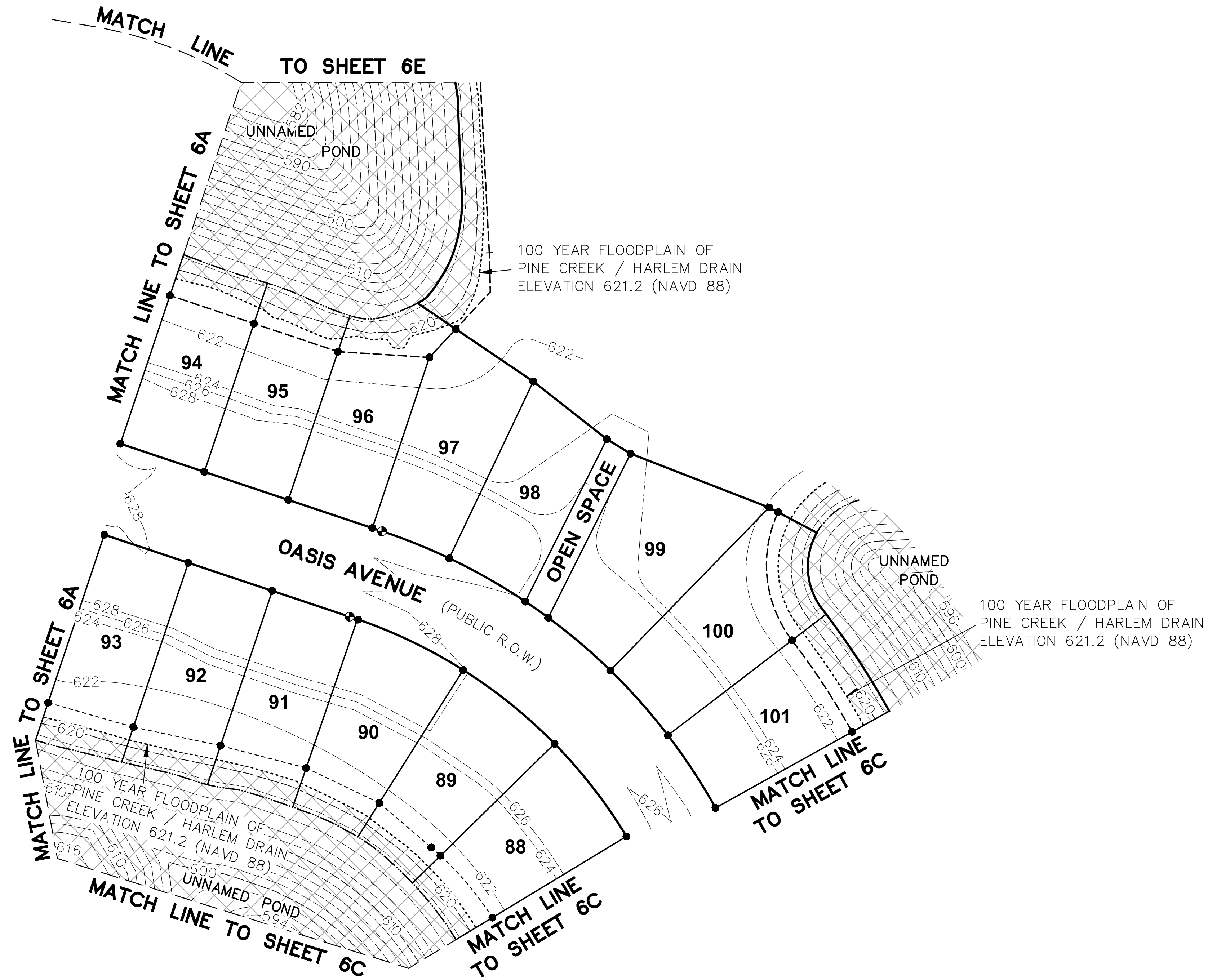
PROPOSED APRIL 9, 2025




- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT
-  = FLOODPLAIN AREA

PRELIMINARY

PROPOSED JULY 11, 2022
 AMENDED JULY 11, 2024
 AMENDED APRIL 9, 2025



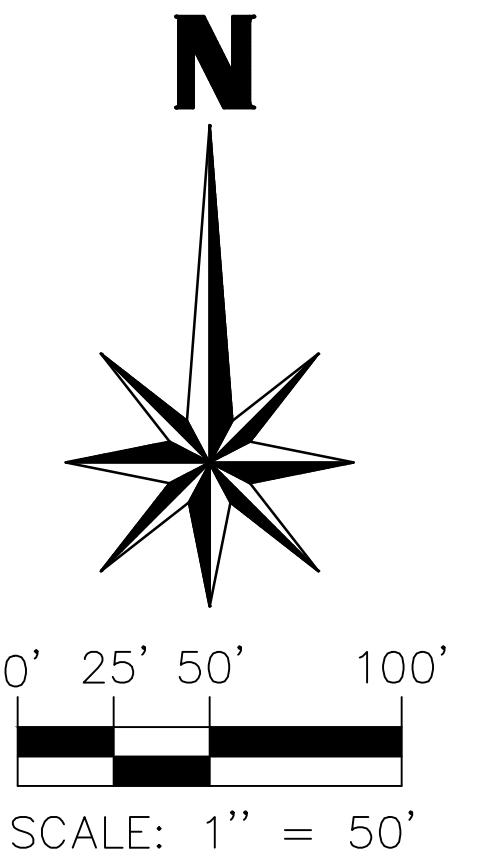
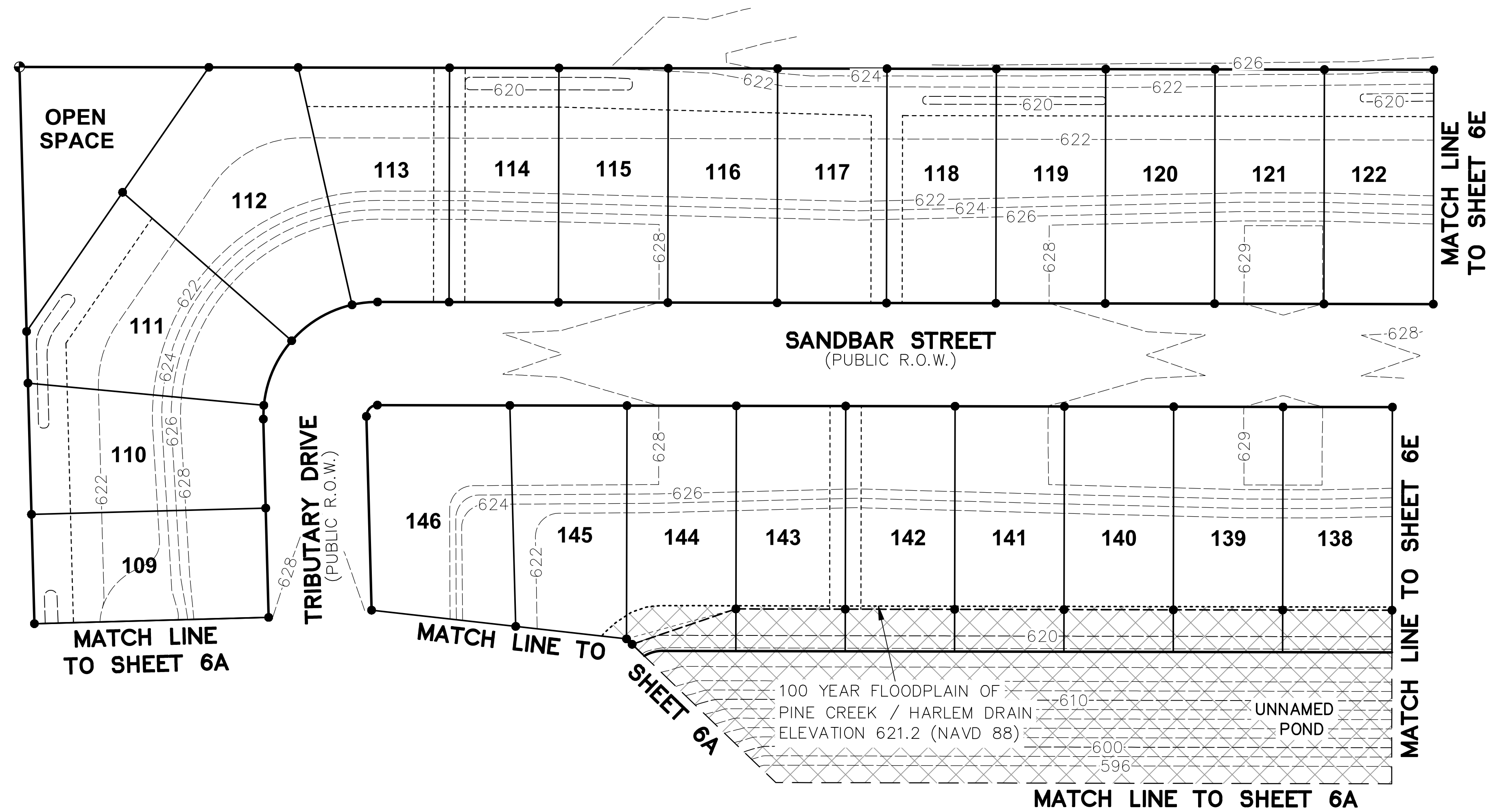
- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT
-  = FLOODPLAIN AREA


PRELIMINARY

PROPOSED JANUARY 22, 2025
AMENDED APRIL 9, 2025

FLOODPLAIN PLAN SILVERWATER

EXXEL ENGINEERING, INC., 5252 CLYDE PARK AVE. SW, GRAND RAPIDS, MI 49509 SHEET 6B

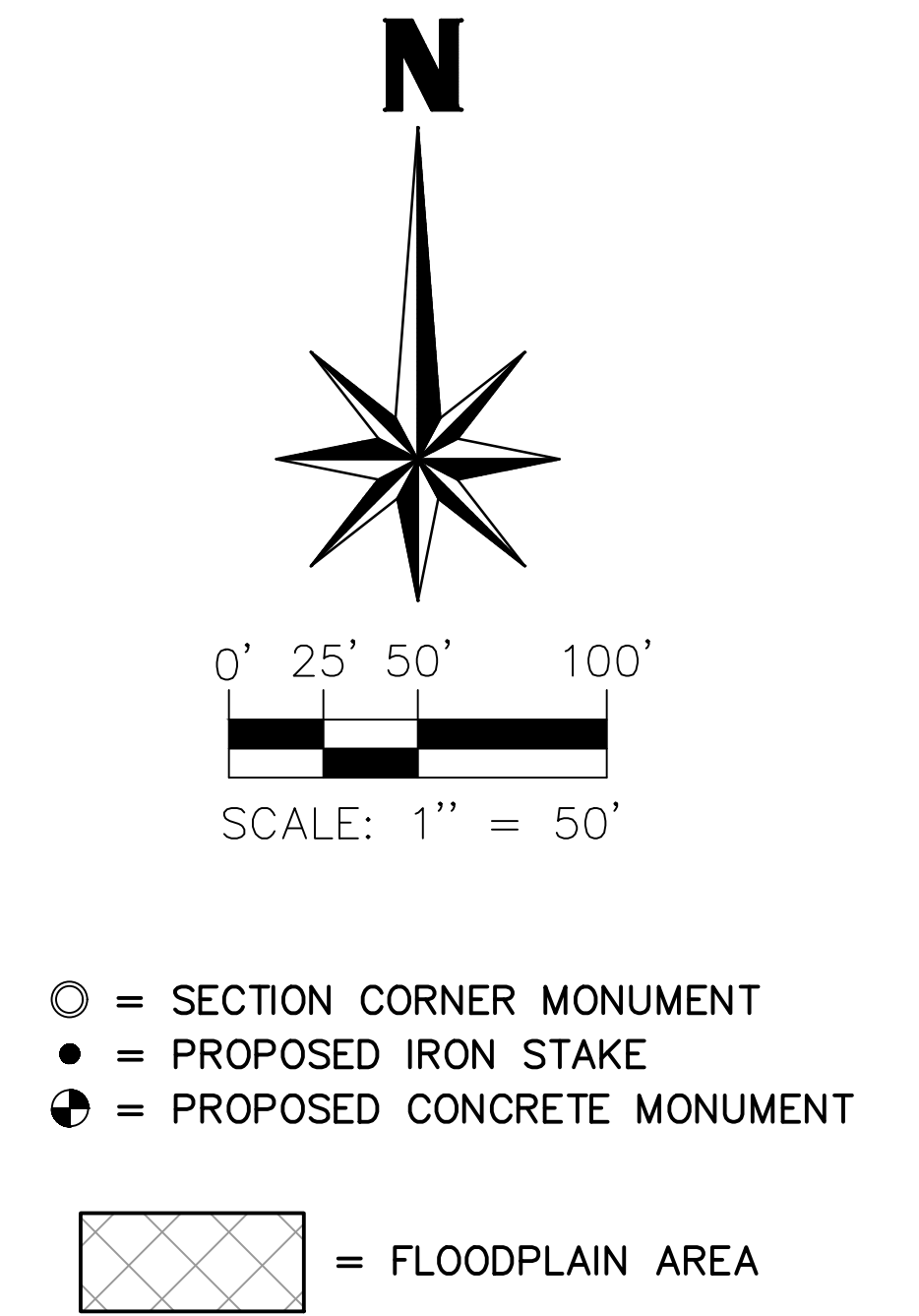
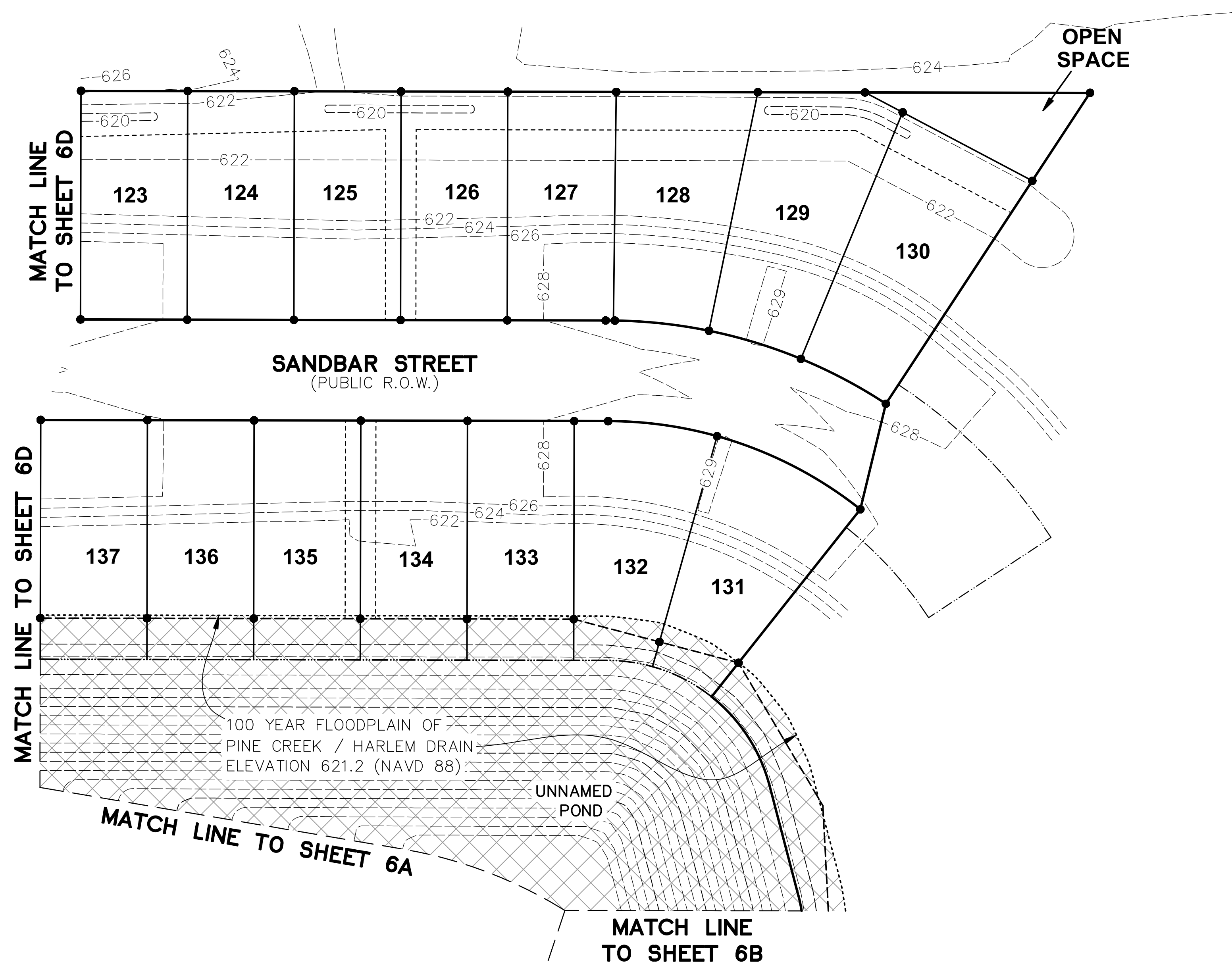


- ⊙ = SECTION CORNER MONUMENT
- = PROPOSED IRON STAKE
- ⦿ = PROPOSED CONCRETE MONUMENT
-  = FLOODPLAIN AREA

PRELIMINARY

PROPOSED APRIL 9, 2025

FLOODPLAIN PLAN SILVERWATER



PRELIMINARY

PROPOSED APRIL 9, 2025

FLOODPLAIN PLAN SILVERWATER

EXXEL ENGINEERING, INC., 5252 CLYDE PARK AVE. SW, GRAND RAPIDS, MI 49509 SHEET 6E