



APPLICATION FOR PLANNED UNIT DEVELOPMENT AND PRELIMINARY DEVELOPMENT PLAN APPROVAL

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151 · www.hct.holland.mi.us

Applicant Information

Contact Name Brad VanderZwaag
Address 2763 120th Ave
Holland, MI 49424

Company Bauvan Land Co, LLC
Phone 616-796-6623
Email bradv@baumannbuilding.com

Owner Information

Contact Name Brad VanderZwaag
Address 2763 120th Ave.
Holland, MI 49424

Company Bauvan Land Co, LLC
Phone 616-796-6623
Email bradv@baumannbuilding.com

Plan Preparer Information

Contact Name Don DeGroot/Jeff VanLaar
Address 5252 Clyde Park SW
Grand Rapids, MI 49509

Company Exxel Engineering
Phone 616-531-3660
Email jvanlaar@exxcelengineering.com

Property Information

PUD Project Name Eagle Meadows Condominium
Address or Location Perry Street, east of 104th Ave.
Parcel Number 70 - 16 - 24 - 300 - 038 Zoning District R-2
Acreage of Parcel 7.97 Acreage to be Developed 7.97
Present Use (s) Vacant

Description of Proposed Use (attach additional pages as needed):
32 unit condominium development consisting of 2 single units and 15 two unit buildings served by a public street with full utilities - see plans enclosed.

I hereby attest that I have read and understand the PUD application form, submittal procedures, and the general standards for approval, and that the information on the materials submitted are true and accurate, and I hereby agree to all the terms, standards, conditions and other Holland Charter Township requirements.

[Signature] 6/11/24
Signature of Applicant Date

[Signature] 6/11/24
Signature of Owner Date

DO NOT WRITE BELOW THIS LINE

Date Received _____ Amount of Fee Paid \$ _____ Check No. _____
Planning Commission 1st Discuss on ____/____/____ Planning Commission Action on ____/____/____
Application Accepted by _____

Preliminary PUD Submittal Procedures

The owner and/or Applicant shall attend a pre-application conference with the Zoning Administrator to review the concept and determine the eligibility of the request.

Eligible requests may be submitted to the Zoning Administrator no later than four (4) weeks prior to the hearing date with the Planning Commission. Each request shall include a hearing fee of \$600.00 and eleven (11) complete copies of:

1. This application;
 - a. One (1) original signature copy of the application must be submitted; the other ten (10) may be copies.
 - b. The Owner and Applicant must sign the preliminary application. In the event that the Developer of project is not currently the Owner of record for the property, proof that the Owner of record agrees to the PUD must be submitted in written form.
2. The preliminary development plan including the required content noted in Section 16.5.B. One (1) set of plans shall bear the original seal and signature of the architect or engineer who prepared them; the other ten (10) may be copies.
3. A narrative statement clearly captioned NARRATIVE STATEMENT;
 - a. The document must describe the overall objective of the development and how submission satisfies the intent, qualifying conditions, and standards of approval for a PUD.
4. An electronic copy of the entire submittal on CD or other file sharing device.

Any PUD submission found to be deficient shall be rejected and will not be scheduled for Planning Commission review.

ALL pages of ALL documents submitted in conjunction with the preliminary PUD shall be labeled with the following (in addition to any other labeling requirement):

PRELIMINARY PUD
 (Project Name)
 (Date and revised date(s), if applicable)
 (Page __ of __)

Rolled documents shall not be accepted. All documents must be folded to a size no larger than 9" x 12". If submittal contains multiple documents, the documents must be collated into "packets". Each packet shall be secured by clips, or rubber bands if necessary.

The Owner and/or Applicant are required to be present at the scheduled public hearing to present your application.

Preliminary PUD Standards of Approval (Section 16.8)

A preliminary PUD development plan shall only be approved if it complies with each of the following standards as well as applicable standards established elsewhere in this article:

- A. Intent and Qualification. The proposed PUD complies with the intent and the applicable qualifying conditions of Sections 16.1 C and 16.2 C of this article, respectively.
- B. Uses. The uses conducted within the proposed PUD, the PUD's impact on the community, and other aspects of the PUD are consistent with the Holland Charter Township Comprehensive Plan.
- C. Design. The proposed PUD shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property, the surrounding uses of land, the natural environment, and the capacity of public services and facilities affected by the development.
- D. Character. The PUD shall not change the essential character of the surrounding area.
- E. Impact. The PUD shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, fumes, or glare.
- F. Public Service Capacity. The PUD shall not place demands on public services and facilities more than current or anticipated future capacity.
- G. Utilities. Underground utilities, including telephone and electrical systems, are required within the limits of all PUDs. Appurtenances to these systems, which can be effectively screened, may be exempt from this requirement if the Planning Commission finds that such exemption will not violate the intent or character of the proposed planned unit development.

PRELIMINARY PUD
Eagle Meadows
June 11, 2024

NARRATIVE STATEMENT

Eagle Meadows was previously approved as a single family home community, but after further evaluation of the site, we felt that it was better suited for attached condominium units. The single family home sites had limited backyards and the majority of the backyards on the west side were impacted by stormwater easement basins. There is little to no demand for usable backyard space in a traditional condo, which is one of the reasons the site was redesigned for condos. There are attached condos on the adjacent property to the west as well as the property across the street which makes this project very conducive to the surrounding uses.

This condominium community will be designed and promoted for homeownership and not rentals. Providing housing options of all kinds will prompt homeowners to sell their existing single family homes to pursue the maintenance free lifestyle of condominium living and more single family home options will become available to those aspiring to home ownership.

Based on Section 16.1C of the Holland Township PUD Ordinance, one of the purposes of the PUD is to “provide innovative land development in terms of variety, design, layout and type of structures constructed” (Section 16.1.C.1). With the proposed PUD the homes proposed far exceed the minimum requirements of the underlying R-2 zone as it relates to size and architecture as detailed on the building plans submitted. The proposed floor plans for this community feature 1,505 square feet on the main floor and the majority of the units will have levels that can be finished or unfinished based on the needs and desired price point of the buyers. Each residence will have a 2 stall attached garage along with an additional 9’ x 6’ storage area in the back of the garage.

In addition, per section 16.1.C.9, it states that another purpose is to allow the “use and improvement of land where site conditions make development under conventional zoning difficult or less desirable.” The 25 foot setback being requested allows for more room in the back of the units. In fact, typical condominium projects not served with a public street are often 25 feet to 30 feet off of the edge of pavement of the common drive serving the community. The condominium project to the west and south are good examples of this. With the 25 foot setback from the public street ROW being requested with this PUD, the actual length of the driveway from the edge of pavement will be a minimum of 43 feet.

As required by the PUD ordinance, section 16.2.C, the PUD needs to fulfil at least four of the recognizable benefits listed under this section. Below please see how 6 of the benefits listed are met with this PUD.

16.2.C.1

Mixed-use development with residential and non-residential uses or a variety of housing types;

This community will offer a variety of housing styles including free standing condos as well as attached condos. The lower levels will vary depending on the grading but will likely include a variety of daylight lower levels, full height basements, and possibly walk-out lower levels. The desire is to also create some zero entry units. This mix of styles will service a wide demographic and will also cater to a wider price range while keeping a high end look and feel on the exterior.

16.2.C.3

High quality architectural design beyond the site plan required of this ordinance;

The residences built on this site will significantly exceed the minimum square footage in this zoning district and will also include features such as a two stall attached garage with additional storage in garage, front porches, and rear decks or patios.

16.2.C.4

Extensive landscaping beyond the site plan requirements of this ordinance;

We plan to construct a tree and landscape buffer between these condos and the neighboring property to the east. We will also provide a nice landscaped feature along the Perry Street frontage including the entrance with community signage. In addition the individual building landscaping will be meticulously maintained by the Condo association.

16.2.C.5

Preservation, enhancement, or restoration of natural resources (trees, slopes, wetland areas, water view, etc.)

Every effort is being made to maintain as much of the trees along the East property line. Although some trees may be impacted due to grading, a landscaping buffer will be provided as noted previously to supplement the remaining trees.

16.2.C.9

Effective transition between higher and lower density uses, and/or between non-residential and residential uses; or allowing incompatible adjacent land uses to be developed in a manner that is not possible using a conventional approach;

The deeper backyard along west property line provides for a generous buffer between the back of the existing condos and the proposed condos. By providing the reduced setback and the additional landscaping offered along the East property line, an appropriate transition is provided between this development and the adjacent non-residential use to the east.

16.2.C.10

Shared vehicular and pedestrian access between properties or uses;

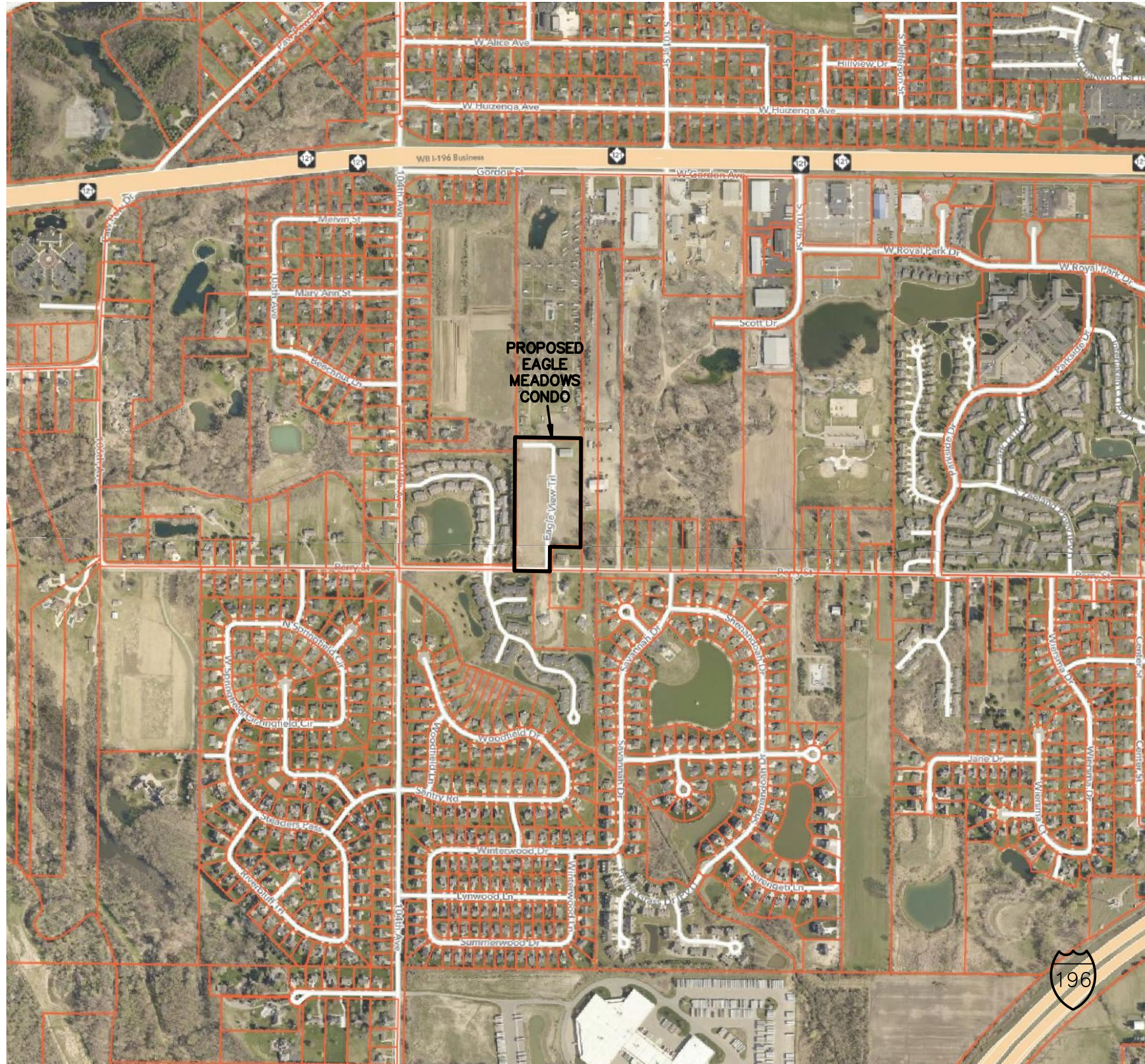
The PUD as proposed includes construction of a public street to the northwest corner of the property to allow for natural extension to the adjacent parcel. Also, sidewalks will be constructed as part of the development as shown on the plan allowing for natural extension to any future development of the adjacent.

The PUD ordinance does allow for deviations from requirements of the underlying R-2 zone, if appropriate. The table below summarizes the R-2 district requirement as well as what is being proposed with the PUD.

	Existing R-2 Requirements:	Proposed PUD:
Minimum Front Yard Setback:	35'	25'
Minimum Side Yard Setback:	7'	16' between buildings 15' from north property line
Minimum Side Yard on Corner:	35'	25'
Minimum Rear Yard Setback:	25'	25'
Minimum Floor Area (1st Unit):	864	1,500
(2nd Unit):	720	1,500
Minimum Lot Width:	80'	NA
Minimum Lot Area:	8,800 Sf Ft.	NA
Maximum Density:	36 units (4.5 units/acre)	32 units (4.14 units/acre)

As indicated the only setback deviations is for reducing the front yard setback and corner lot side yard setback from 35 feet to 25 feet. As with all conventional condo minimum developments, lot lines between buildings are not proposed and so the lot lines, sizes and widths would not be applicable. The corresponding parallel plan provides space for 36 attached units, but the proposed plan is only requesting 32 units, less than the parallel plan with no request for any bonus units.

In summary, the PUD plan provides for more desirable development than otherwise permitted under the R-2, 2 family requirements by providing larger units with enhanced architectural feature and proposed landscaping not otherwise required.

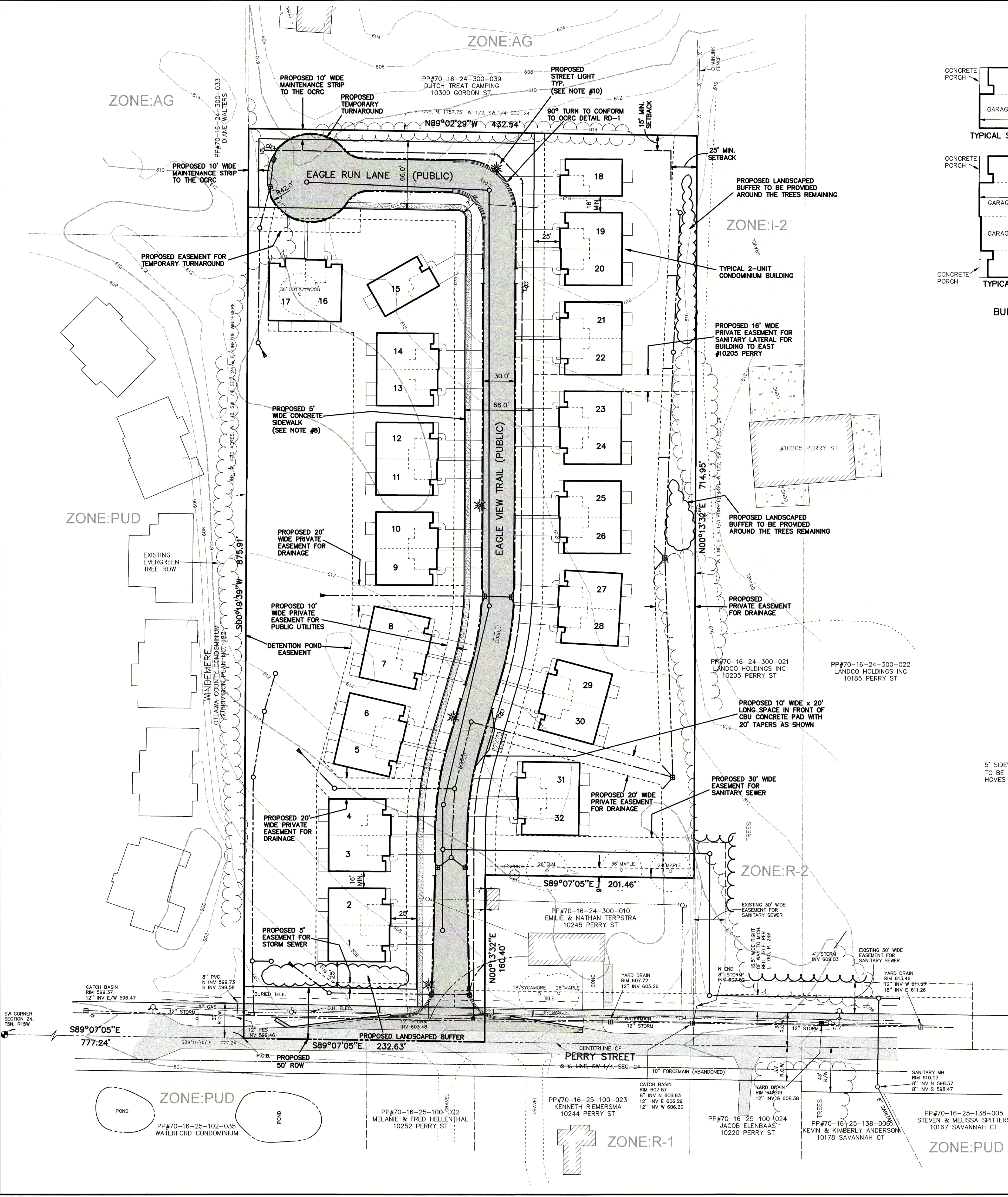


Scale 1" = 800'

VICINITY MAP
 PRELIMINARY PUD
 EAGLE MEADOWS CONDOMINIUM

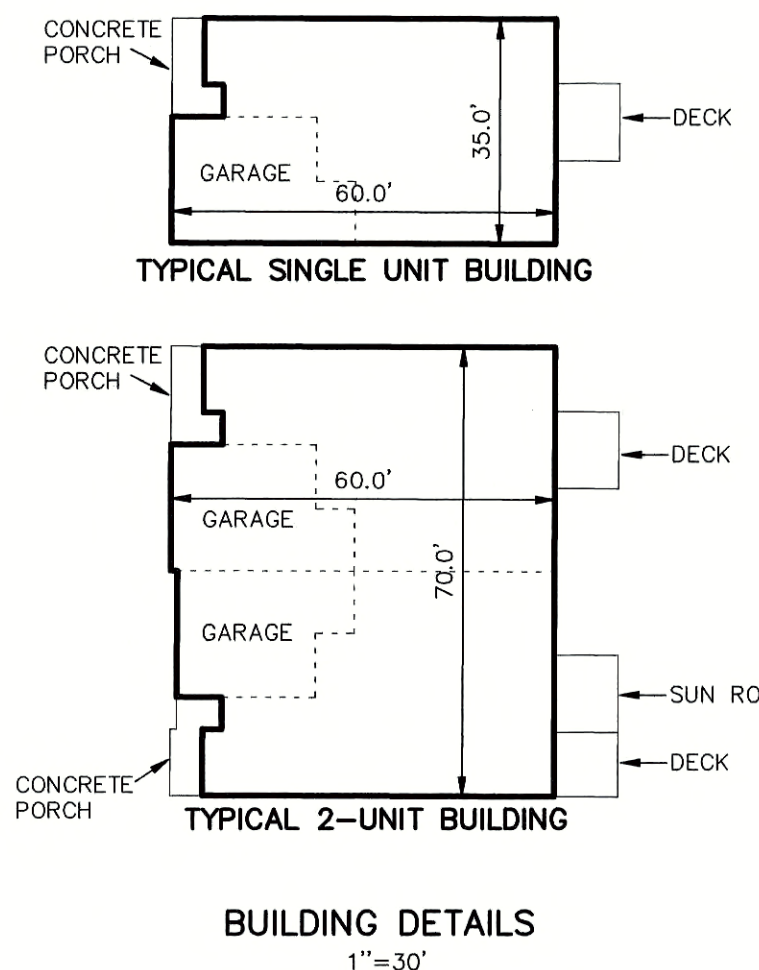
exxel engineering, inc.
 planners • engineers • surveyors
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509
 Phone: (616) 531-3660 www.exxelengineering.com

FILE NO.: 221171E DATE: 06/10/24

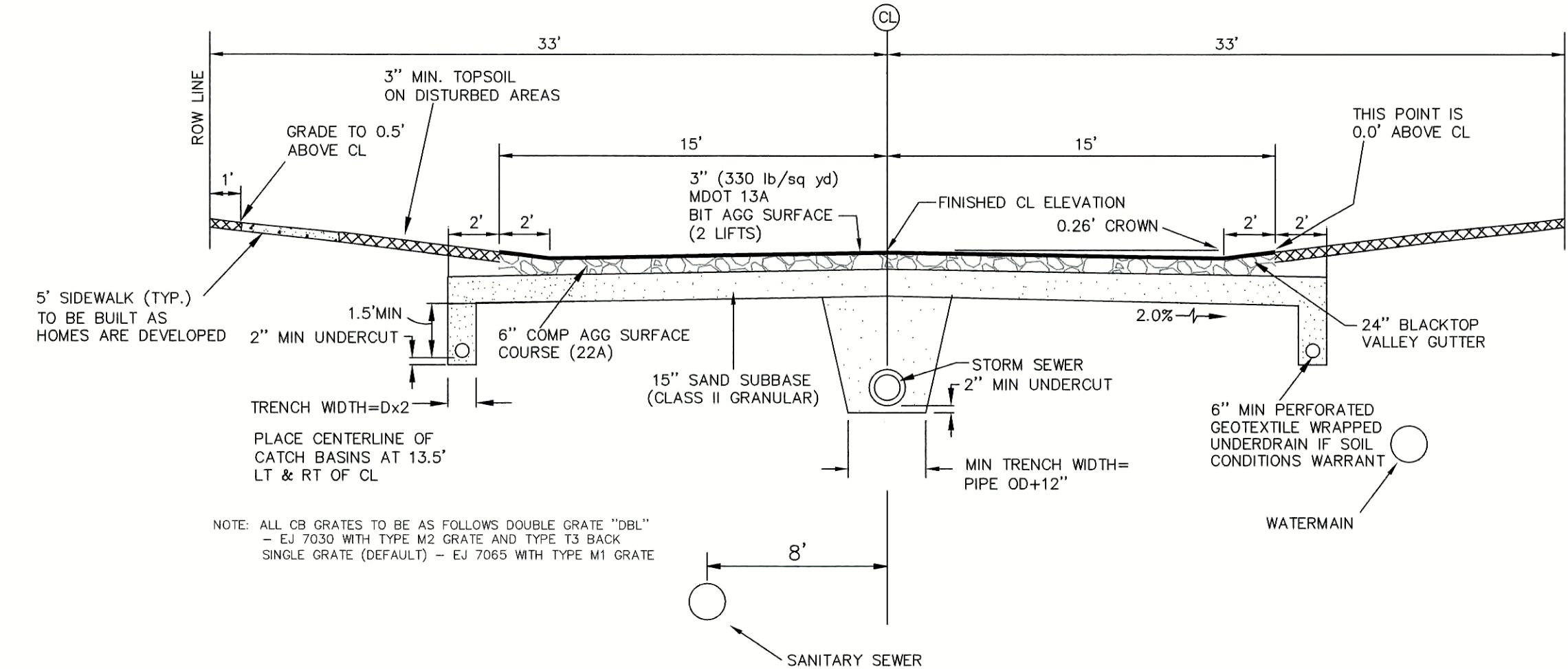


GENERAL NOTES

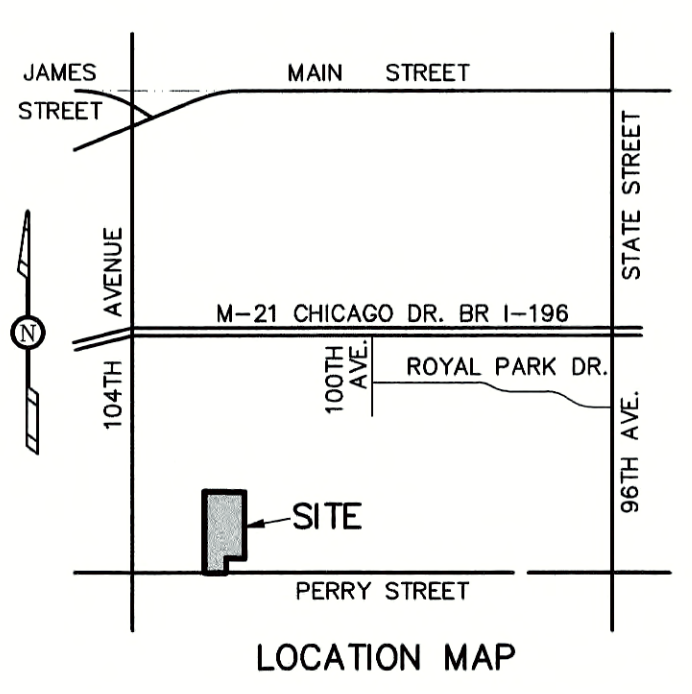
- LEGAL DESCRIPTION AND BOUNDARY SHOWN PER SURVEY PREPARED BY FEENSTRA & ASSOC. DATED 1/18/21:
That part of the West 1/2 of the Southwest 1/4 of Section 24, T5N, R15W, Holland Township, Ottawa County, Michigan, described as: Commencing at the Southwest corner of said section 24; thence S89°07'05"E 777.24 feet along the South line of the Southwest 1/4 of said Section to the Point of Beginning; thence continuing S89°08'05"E 232.63 feet along said South line; thence N00°13'32"E 160.40 feet; thence S89°07'05"E 201.46 feet (deduced as 200 feet) to the West line of the East 1/3 Rods (104.50 feet) of the West 1/2 of the Southwest 1/4 of said section; thence N00°13'32"E 714.95 feet along said west line to the South line of the North 1757.75 feet of the West 1/2 of the Southwest 1/4 of said section; thence N89°02'29"W 432.54 feet along said South line to the East line of the West 47.00 acres of the West 1/2 of the Southwest 1/4 of said section, said line also being the East line of Windemere (AKA High Point Condominiums) as recorded in Liber 3878, page 894 and it's Northerly extension thereof; thence S00°19'39"W 875.91 feet along said East line to the Point of Beginning.
 - PARCEL SIZE: 7.97 ACRES (INCLUDING RW)
PP#70-16-24-300-038
ADDRESS: 0 - PERRY STREET
 - EXISTING ZONING: R-2 - MODERATE DENSITY RESIDENTIAL ALLOWING FOR SINGLE FAMILY AND 2-FAMILY LOTS.
- R-2 MODERATE DENSITY ZONING REQUIREMENTS FOR 2-FAMILY LOTS:
- | | |
|---------------------|-------------|
| FRONT YARD SETBACK: | 35' MIN. |
| SIDE YARD SETBACK: | 7' |
| REAR YARD SETBACK: | 25' MIN. |
| LOT WIDTH: | 80' MIN. |
| LOT AREA: | 8800 SQ.FT. |
- THIS PROPOSED PUD CONSISTS OF A 32 UNIT CONVENTIONAL CONDOMINIUM WITH 2 SINGLE-UNIT BUILDINGS AND 15 2-UNIT BUILDINGS.
 - SUMMARY OF PROPOSED PUD REGULATIONS
- | | EXISTING R-2 2-FAMILY REQUIREMENTS | PROPOSED PUD REQUIREMENTS |
|---|--|---|
| MINIMUM FRONT YARD SETBACK: | 35' | 25' TO MAIN BUILDING |
| MINIMUM SIDE YARD SETBACK: | 7' | 16' BETWEEN BUILDINGS (15' TO PUD BOUNDARY) |
| MINIMUM SIDE YARD ON STREET SIDE OF CORNER LOT: | 35' | 25' |
| MINIMUM REAR YARD SETBACK: | 25' | 25' |
| MINIMUM FLOOR AREA: | 1ST UNIT: 864 SQFT
2ND UNIT: 720 SQFT | 1500 SQFT
1500 SQFT |
| MAXIMUM HEIGHT: | 35' | 35' |
| MINIMUM LOT WIDTH: | 80' MIN. | N/A |
| MINIMUM LOT AREA: | 8800 SQ.FT. | N/A |
| MAXIMUM DENSITY: | 36 UNITS (PER PARALLEL PLAN)
(4.5 UNITS / ACRE) | 32 UNITS
(4.14 UNITS / ACRE) |
- AS PART OF THE PROPOSED CONDOMINIUM DEVELOPMENT, A MASTER DEED AND BYLAWS WILL BE PREPARED AND RECORDED AS REQUIRED BY ACT 59 OF 1978-THE CONDOMINIUM ACT. THESE DOCUMENTS WILL BE PROVIDED FOR REVIEW AS PART OF THE FINAL PUD APPROVAL PENDING PRELIMINARY PUD APPROVAL.
 - ROAD CONSTRUCTION SHALL CONFORM TO THE OTTAWA COUNTY ROAD COMMISSION STANDARDS AND BE DEDICATED AS PUBLIC STREETS.
 - ALL PUBLIC WATER AND SANITARY SEWER TO MEET THE REQUIREMENTS OF THE HOLLAND TOWNSHIP DPW SPECIFICATIONS AND WILL BE GRANTED TO HOLLAND TOWNSHIP ONCE INSTALLED AND APPROVED.
 - SIDEWALKS SHOWN TO BE INSTALLED AT TIME OF HOME CONSTRUCTION. MAINTENANCE AND REPLACEMENT OF SIDEWALK IS TO BE THE RESPONSIBILITY OF THE CONDOMINIUM ASSOCIATION.
 - PUBLIC UTILITIES: THE FRONT 10' OUTSIDE OF AND ADJACENT TO STREET RIGHT-OF-WAY WILL BE RESERVED FOR POWER AND TELEPHONE LINES (AND OTHER APPROVED UTILITIES TO SERVICE THE SITE). ALL FRANCHISE UTILITIES WILL BE UNDERGROUND.
 - FINAL DESIGN AND LOCATION OF STREET LIGHTS WILL BE DESIGNED IN COORDINATION WITH ELECTRICAL UTILITY PROVIDER.
 - THIS DEVELOPMENT WILL CONFORM TO THE OTTAWA COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE AND THE NPDES PERMIT PROCESS.
 - THIS DEVELOPMENT IS NOT INFLUENCED BY A 100 YEAR FLOOD PLAIN PER FEMA MAPPING.
 - LANDSCAPING ALONG PERRY STREET AND THE EAST PROPERTY LINE WILL BE PROVIDED AS SHOWN. FINAL DETAILS TO BE PROVIDED AS PART OF THE FINAL PUD APPROVAL PROCESS.
 - EXISTING SITE IS VACANT.



BUILDING DETAILS
1"=30'



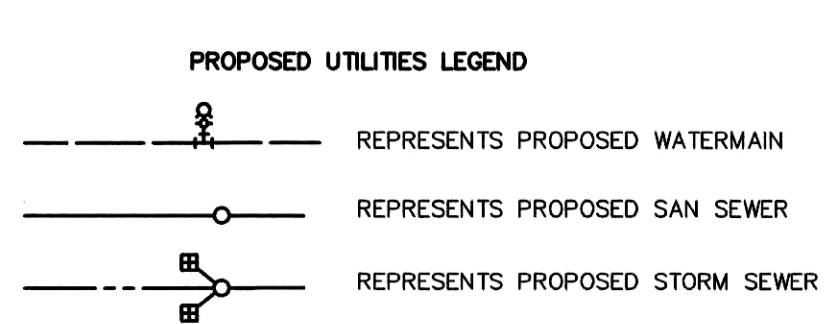
TYPICAL PUBLIC STREET CROSS SECTION



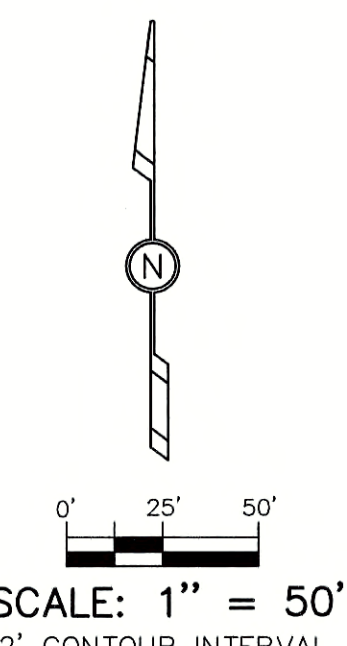
Donald De Groot



Know what's below.
Call before you dig.



EXISTING CONTOURS DERIVED FROM ROOSSEN & ASSOC.



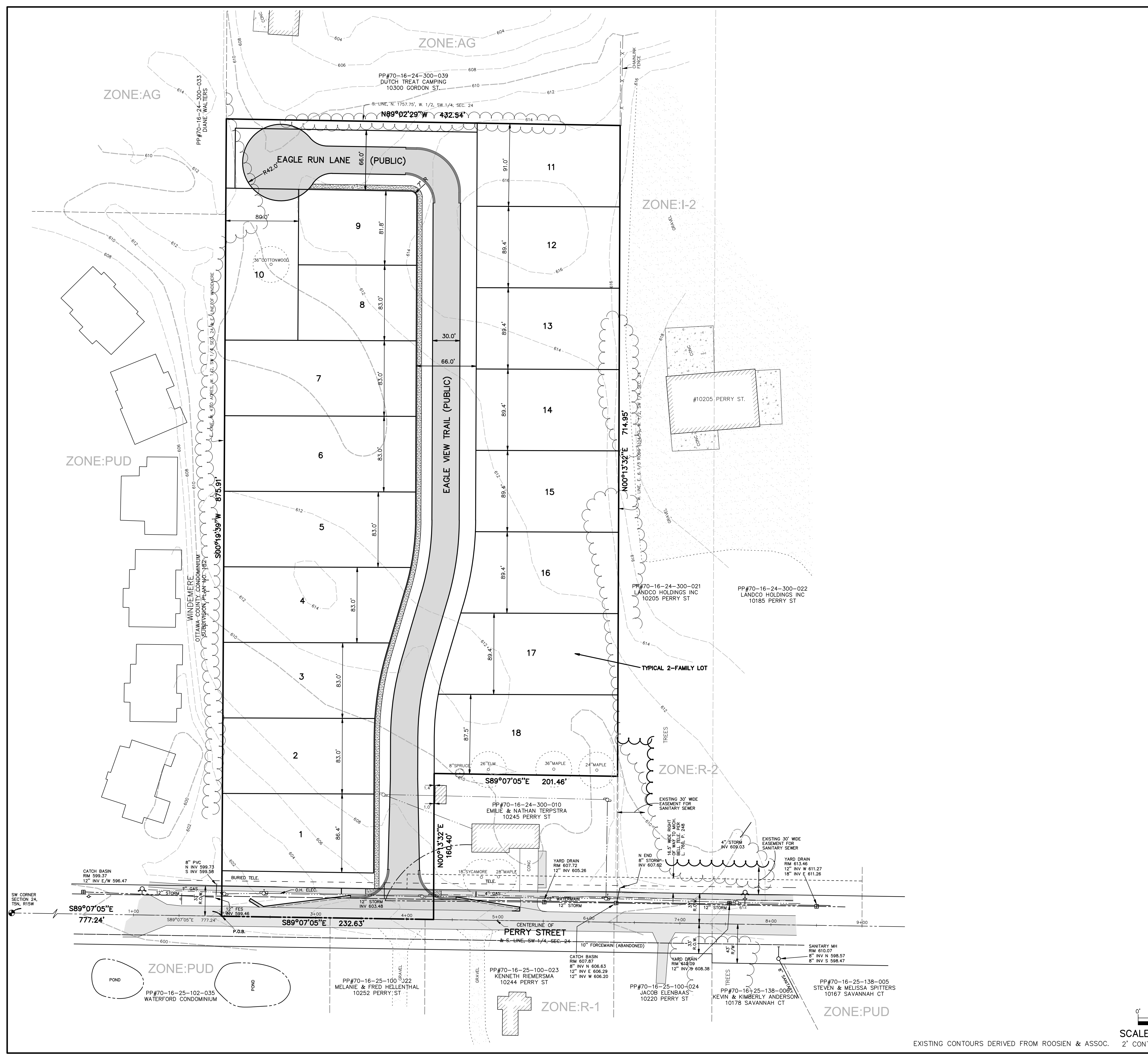
PRELIMINARY PUD PLAN
RE: EAGLE MEADOWS CONDOMINIUM
FOR: BAUMANN BUILDING, INC.
ATTN: TIM WITTEVEEN
2763 120TH AVENUE
HOLLAND, MI 49424
PART OF THE SW 1/4, SECTION 24, T5N, R15W, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

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Phone: (616) 531-3660 www.exxelengineering.com

DATE	REVISION	BY	FILE NO.:	221171E
PROJ. ENG.:	DDG	APPROVED BY:	DDG	DATE:
PROJ. SURV.:	NJV	DATE:	06/10/24	

SHEET 1 of 2

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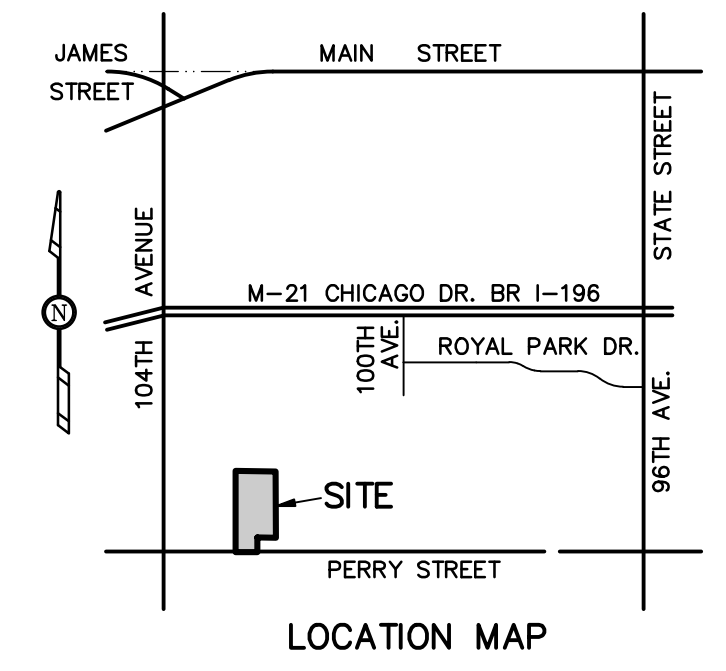
R-2 TWO-FAMILY
ZONING REQUIREMENTS
 FRONT YARD SETBACK: 35' MIN.
 SIDE YARD SETBACK: 7'
 REAR YARD SETBACK: 25' MIN.
 LOT WIDTH: 80' MIN.
 LOT AREA: 8800 SQ.FT.

36 UNITS

Area	Area
Unit No. Sq.Feet	Unit No. Sq.Feet
1 14286	11 14197
2 13807	12 14028
3 30461	13 14028
5 17367	14 14028
6 17444	15 14029
7 17432	16 14565
8 10780	17 16591
9 10651	18 17703
10 13321	



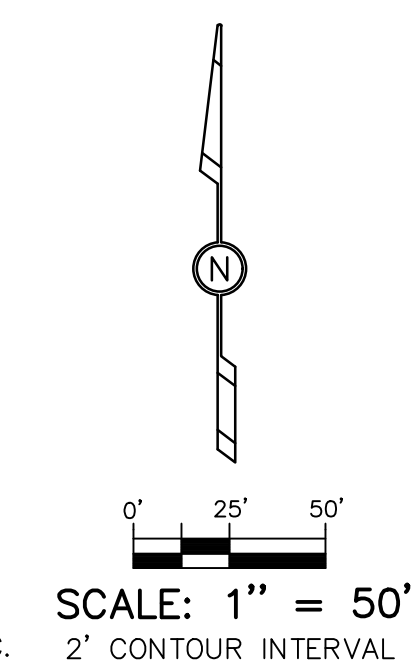
Know what's below.
 Call before you dig.



R-2 TWO-FAMILY PARALLEL PLAN
RE: EAGLE MEADOWS CONDOMINIUM
 FOR: BAUMANN BUILDING, INC.
 ATTN: TIM WITTEVEEN
 2763 120TH AVENUE
 HOLLAND, MI 49424
 PART OF THE SW 1/4, SECTION 24, T5N, R15W, HOLLAND TOWNSHIP, OTTAWA COUNTY, MICHIGAN

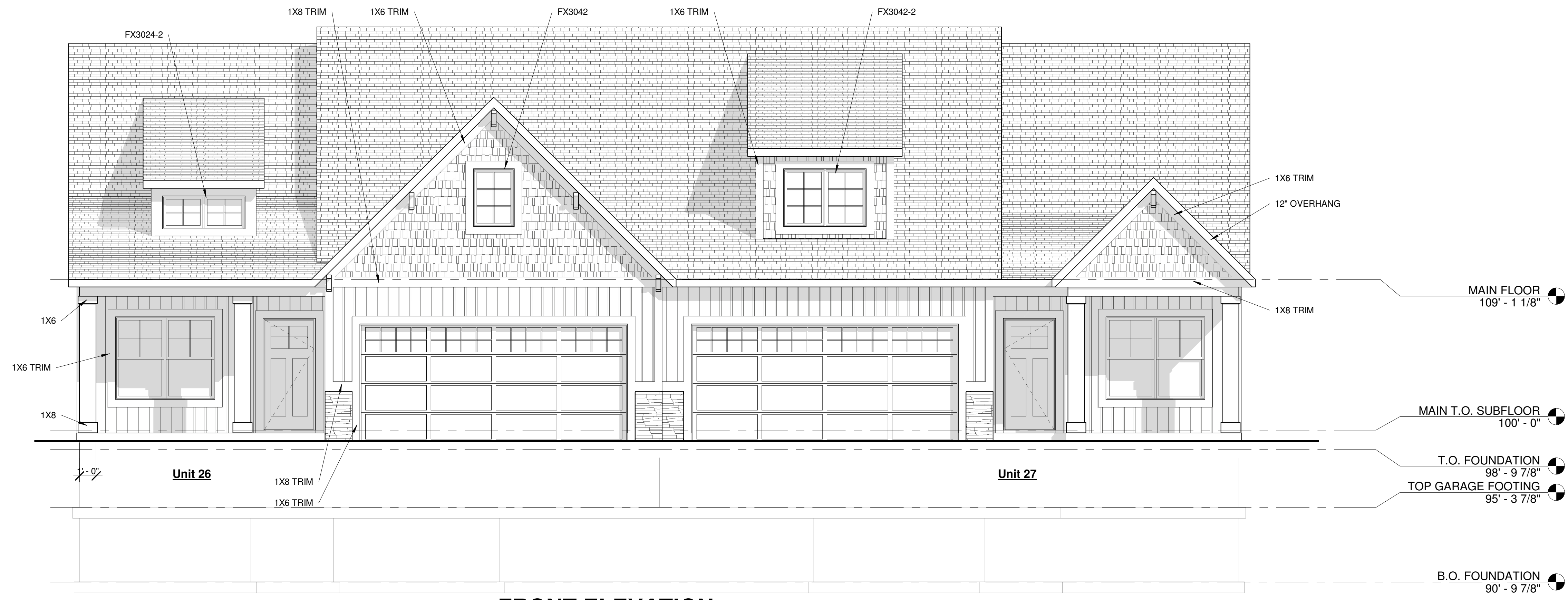
exxel engineering, inc.
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 Phone: (616) 531-3660 www.exxelengineering.com

DRAWN BY: DJR	PROJ. ENG.: DDG	SHEET 2 of 2
APPROVED BY: DDG	PROJ. SURV.: KJV	
DATE:	DATE: 06/10/24	



EXISTING CONTOURS DERIVED FROM ROOSIN & ASSOC. SCALE: 1" = 50'
 2" CONTOUR INTERVAL

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FRONT ELEVATION

1/4" = 1'-0"

GENERAL ELEVATION NOTES

- 1) VINYL SIDING ON ALL SIDES
- 2) 12" OVERHANGS, 8" GABLE ENDS UNLESS OTHERWISE NOTED
- 3) ALL HORIZONTAL TRIM PROJECTIONS TO HAVE FLASHING, STEP FLASHING, KICKOUT-OUT FLASHING, CONTINUOUS FLASHING FOR ROOF/WALL INTERSECTIONS PER R905
- 4) CULTURED STONE W/ (2) LAYERS OF WRB UNDER THE LATH. LATH FASTENERS TYPE & SPACING PER ASTM C1063. FINISHED 2" ABOVE PAVMENT, 4" ABOVE FINISHED GRADE
- 5) ALUM VENTED SOFFITS
- 6) TYPAR HOUSE WRAP & AAMA 711 FLASHING TAPE TO BE APPLIED TO EXTERIOR
- 7) FINISHED GRADE @ 6" BELOW T.O. CONC WALL
- 8) INFILL TO BE CONSTRUCTED WITH 2X6 @ 16" O.C. UP TO 12', ABOVE 12' USE 2X10 @ 16" O.C.

Square Footage	
Name	Area
Unit 26	1505 SF
Unit 26 - LL	707 SF
Unit 27	1505 SF
Unit 27 - LL	707 SF

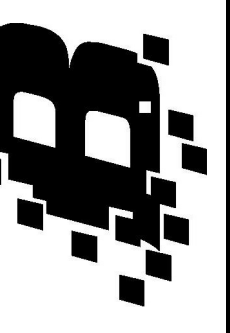


LEFT ELEVATION

1/4" = 1'-0"

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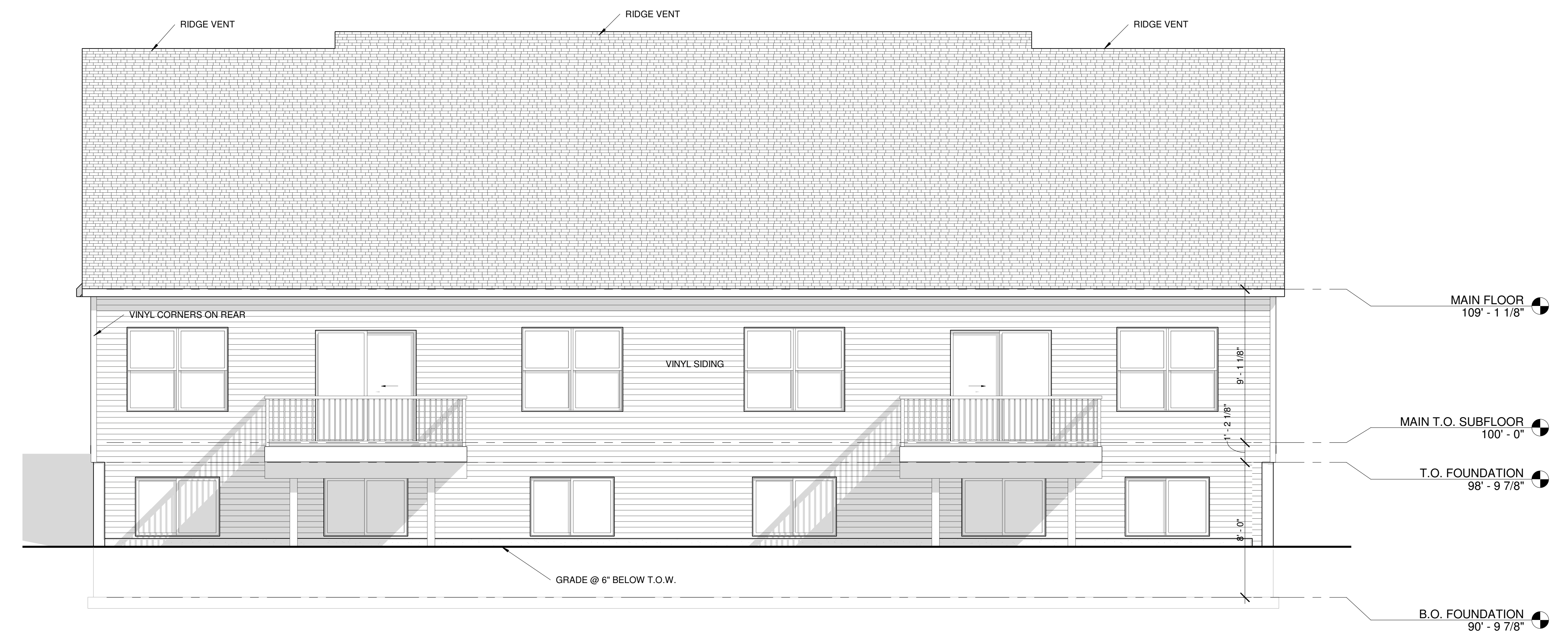
Eagle Meadows

PROJECT NUMBER
 24-044
PLOT DATE
 6/10/2024 3:16:45 PM

A1.0
 ELEVATIONS 1

GENERAL ELEVATION NOTES

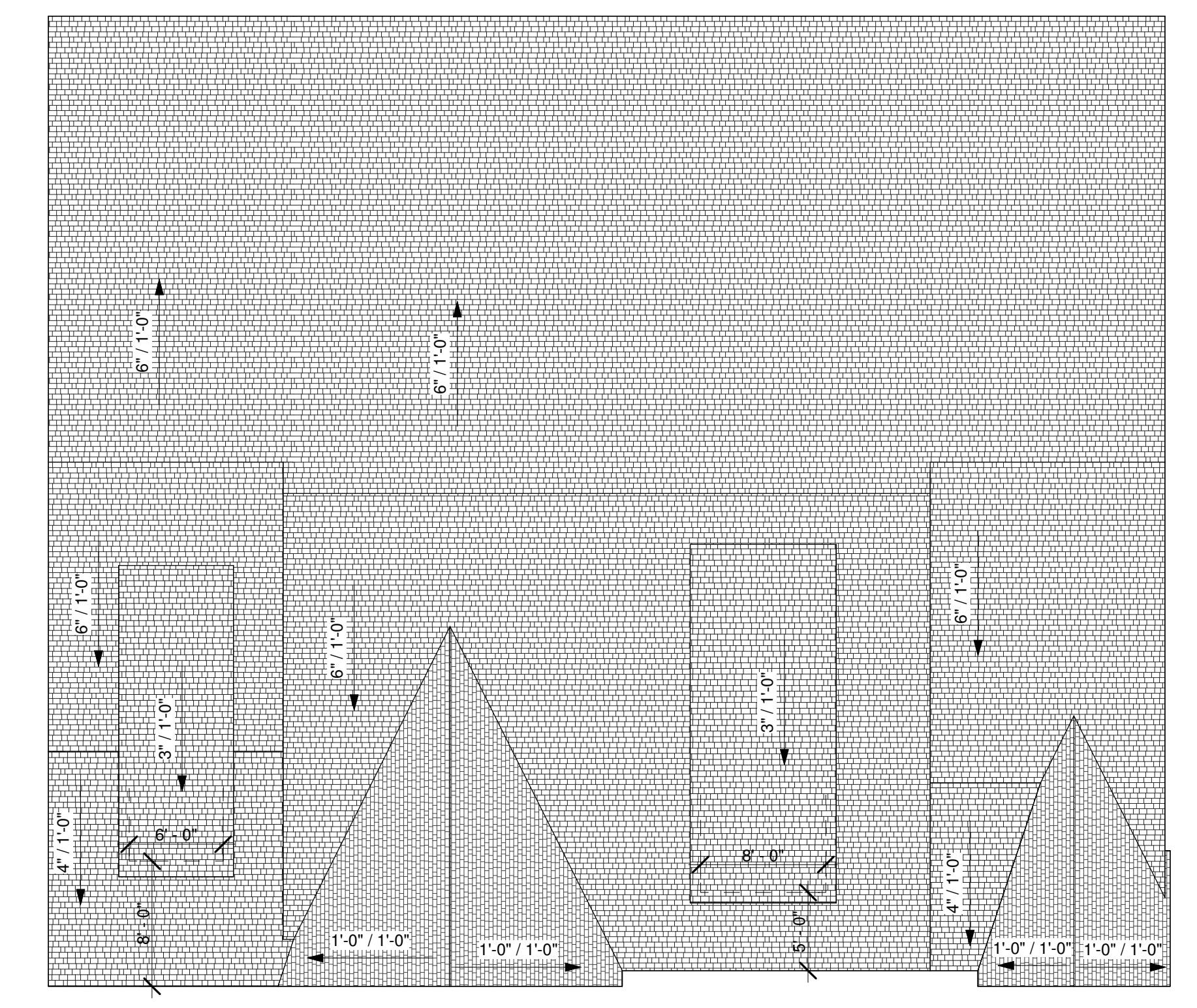
- 1) VINYL SIDING ON ALL SIDES
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- 3) ALL HORIZONTAL TRIM PROJECTIONS TO HAVE FLASHING. STEP FLASHING, KICKOUT-OUT FLASHING, CONTINUOUS FLASHING FOR ROOF/WALL INTERSECTIONS PER R905
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REAR ELEVATION
1/4" = 1'-0"



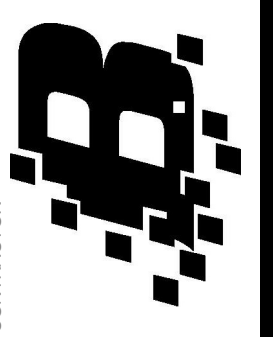
RIGHT ELEVATION
1/4" = 1'-0"



ROOF PLAN
1/8" = 1'-0"

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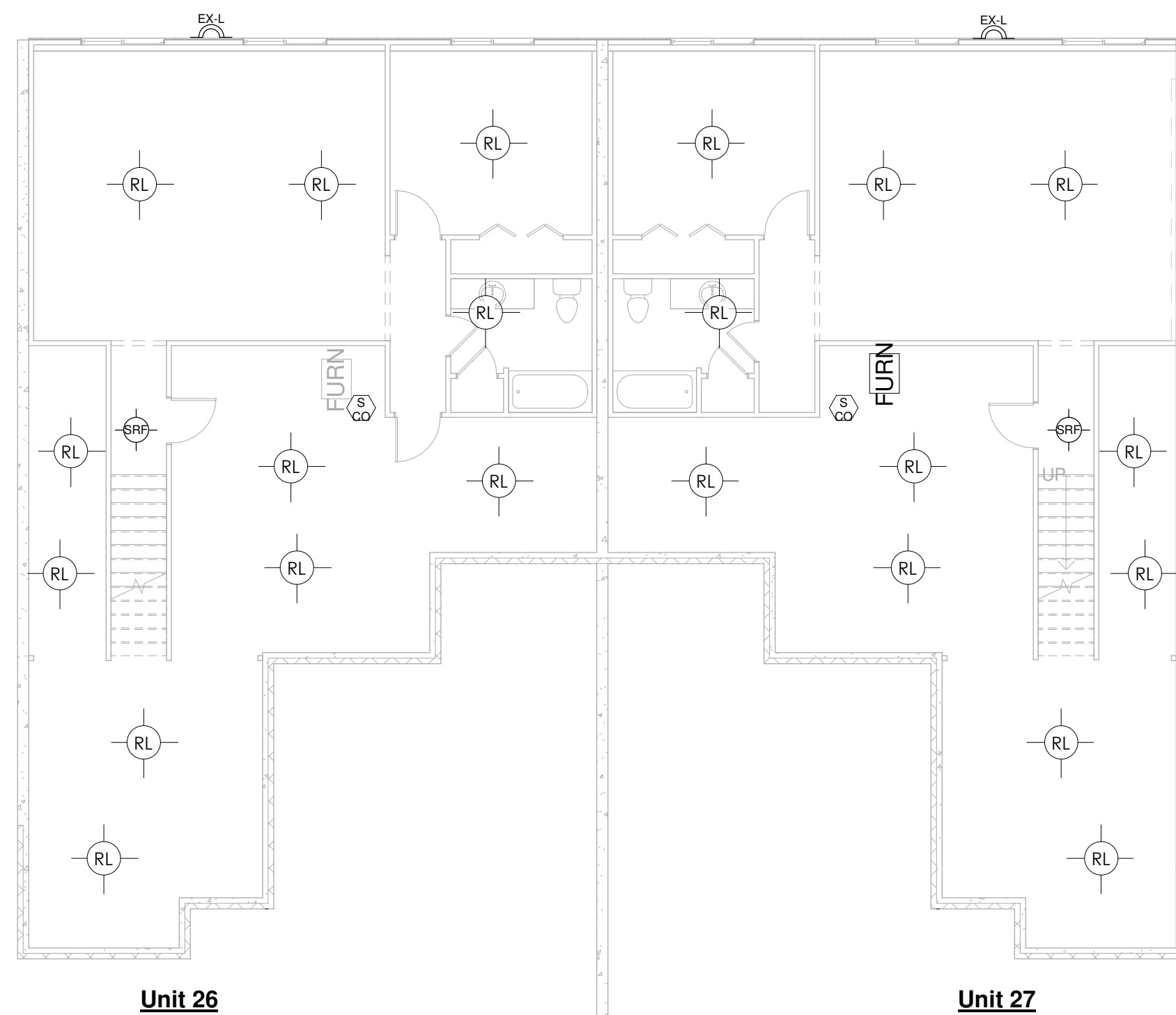
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Eagle Meadows

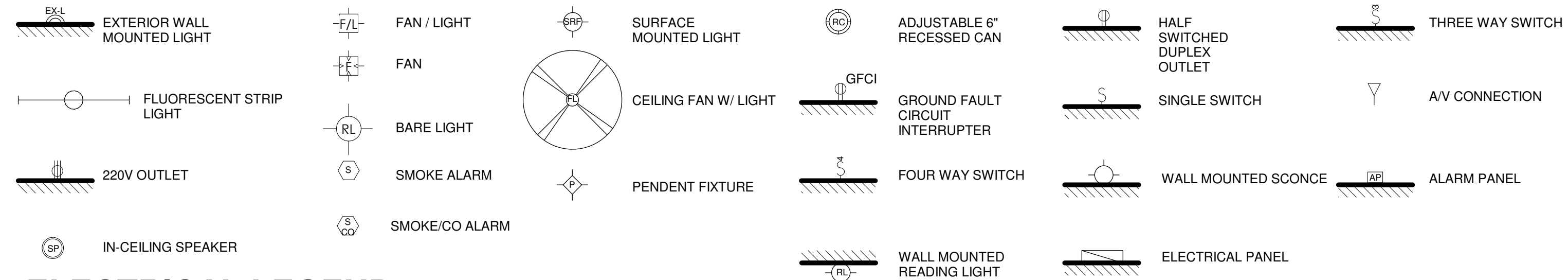
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 PLOT DATE 6/10/2024 3:16:47 PM

A2.0
 ELEVATIONS 2



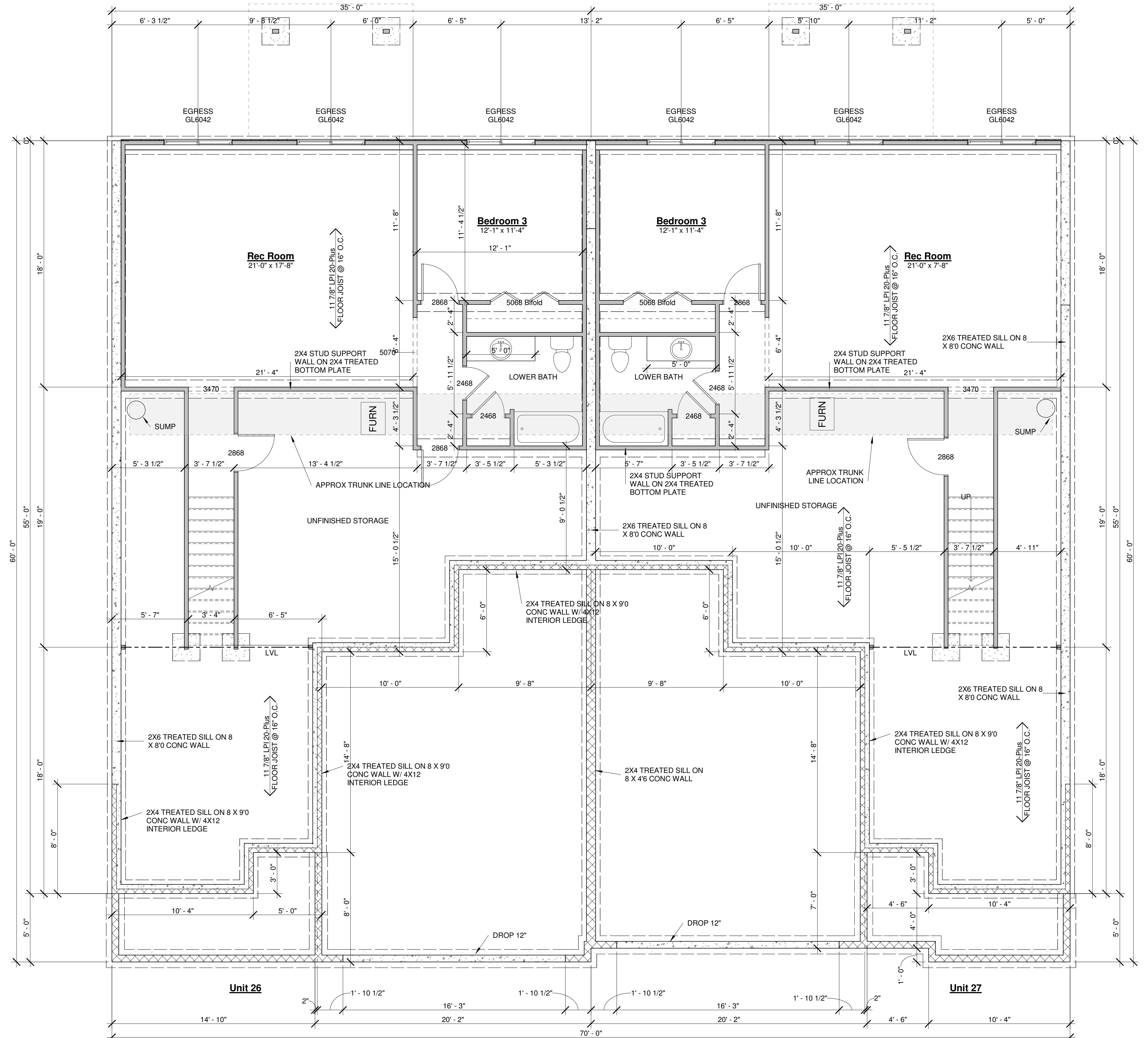
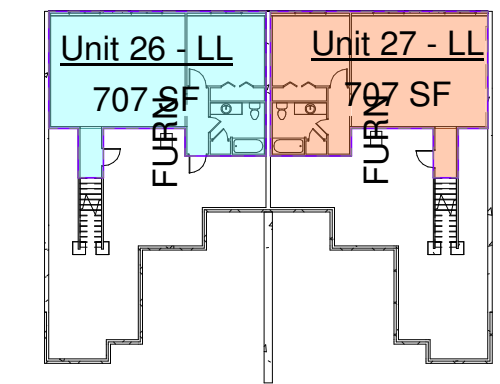
LOWER FLOOR PLAN - ELECTRICAL

1/8" = 1'-0"



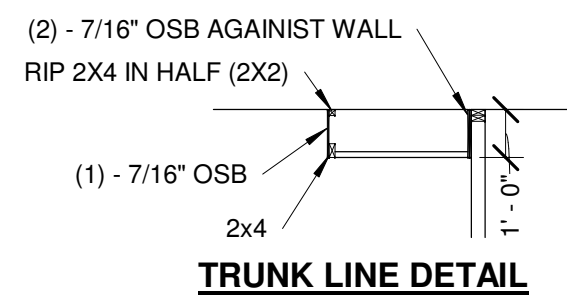
ELECTRICAL LEGEND

1/2" = 1'-0"



LOWER FLOOR PLAN

1/4" = 1'-0"



GENERAL FOUNDATION NOTES

- CONC WALL HEIGHT IS 8'-0"
- ALL FOOTINGS & PADS TO BE BELOW FROST LINE
FOOTING SCHEDULE
SAND(SW) CLAY(ML)
RANCH 16"X8" 21"X6"
2-STRY 19"X8" 25"X7"
ALL INTERIOR SUPPORT WALLS TO BE 16"X8"
- WATCHDOG WATERPROOFING APPLIED TO FOUNDATION WALLS
- ALL INTERIOR & EXTERIOR STUD BEARING WALLS TO BE 2X4 CONSTRUCTION @ 16" O.C. W/ TREATED BASE PLATE. (2X6 FOR 2-STORY HOMES)
- #6 VERTICAL REBAR 35" O.C. @ 8" WALLS ON UNBALANCED FILL WALLS ONLY. #4 HORIZONTAL REBAR @ 24" O.C.
- PROVIDE 2X6 TREATED SILL PLATE ON ALL EXTERIOR WALLS. USE 1/2" dia ANCHOR BOLTS W/ 7" EMBEDMENT INTO CONCRETE @ 4' O.C. @ DAYLIGHT & FROST WALLS. PLACE @ 4'-0" C/C MAX FOR FULL HEIGHT BASEMENT WALLS. PROVIDE A MINIMUM OF (2) BOLTS PER PLATE SECTION. PROVIDE (1) BOLT WITHIN 12" EACH SIDE OF ALL CORNERS AND PLATE SPLICES.
- FINISHED GRADE TO BE SET AT MIN OF 6" TO TOP OF CONC WALL
- EGRESS WINDOWS: WINDOW SILLS MUST BE LOCATED 44" OR LESS TO TOP OF FINISHED FLOOR

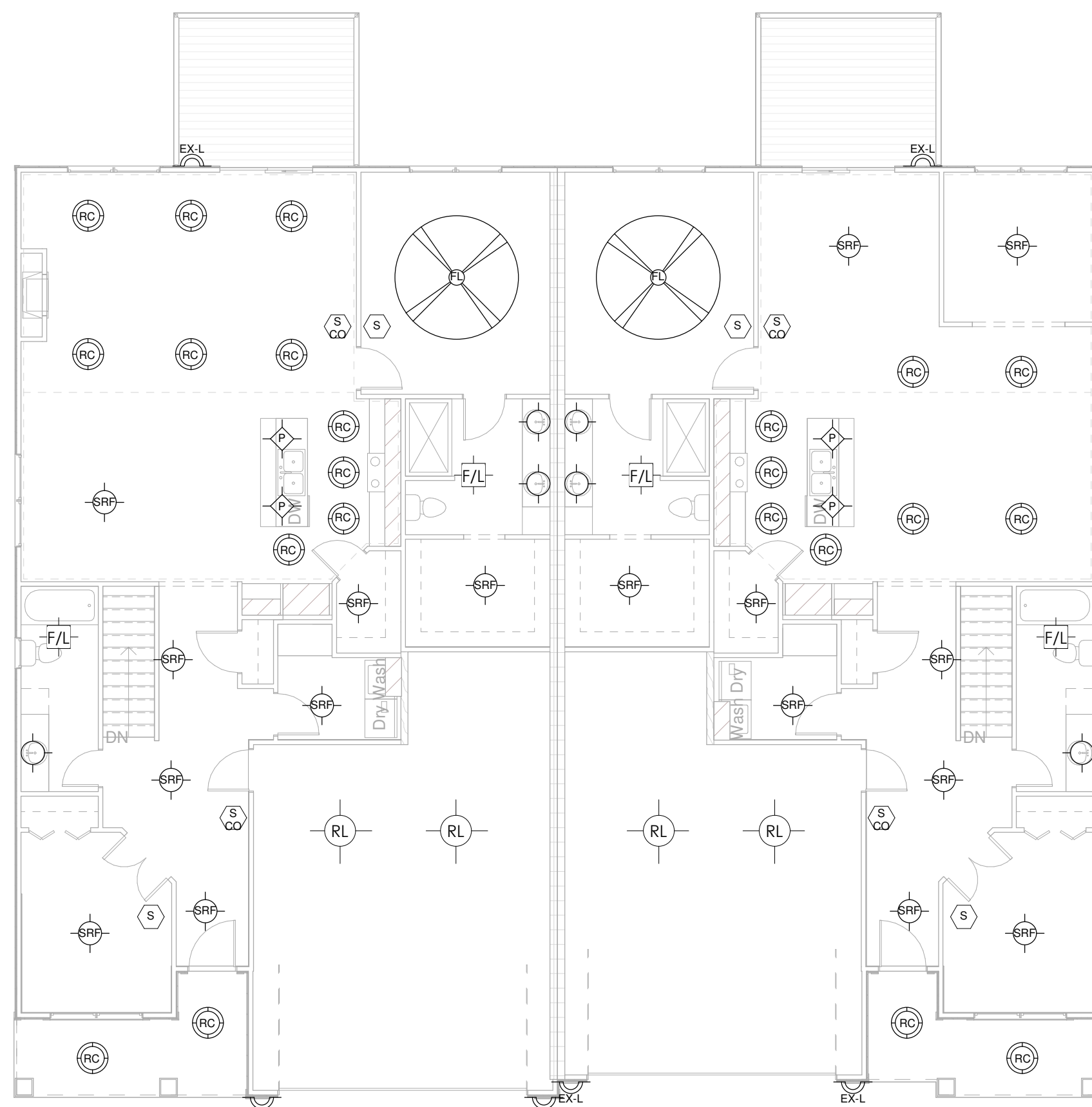
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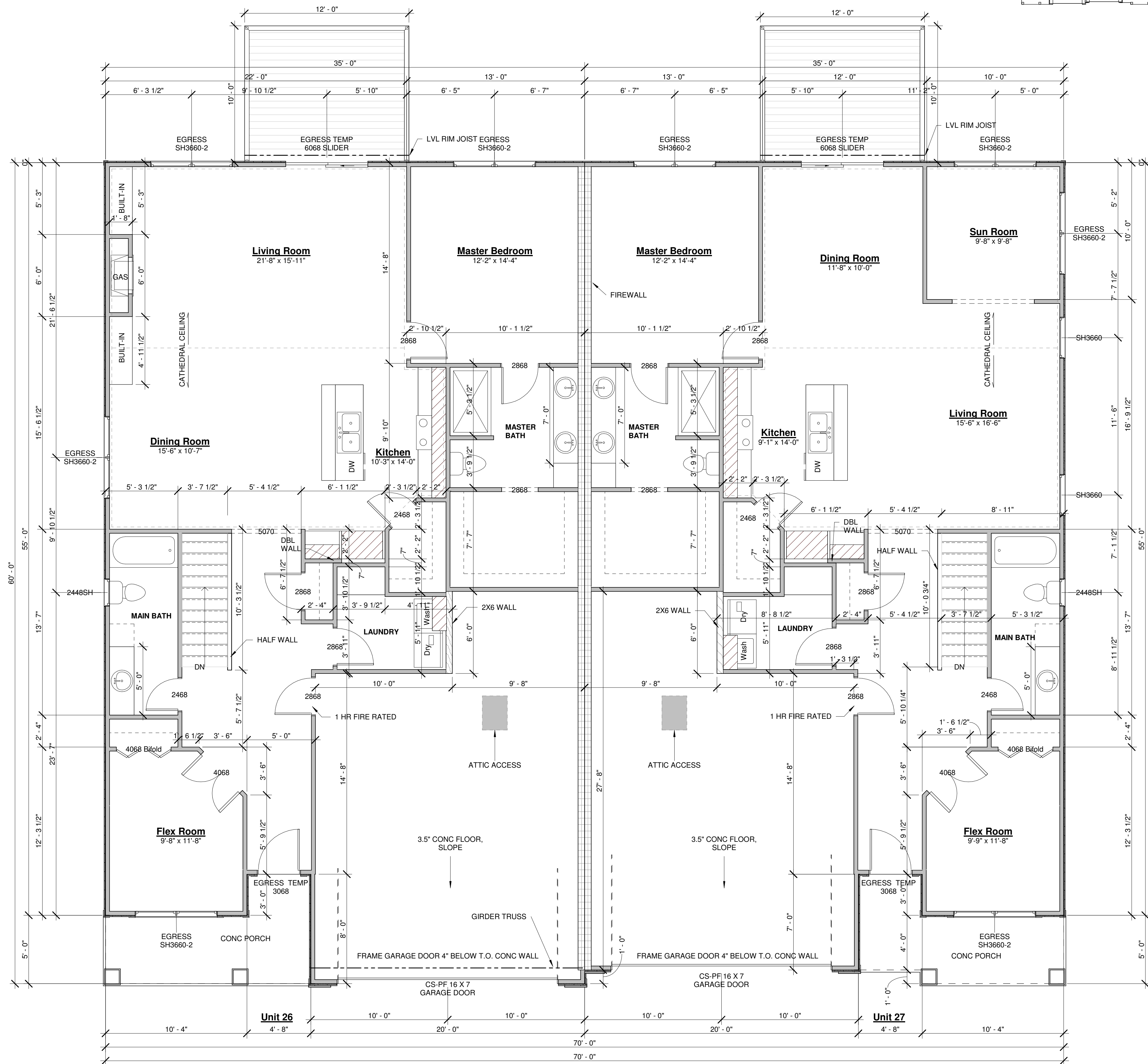
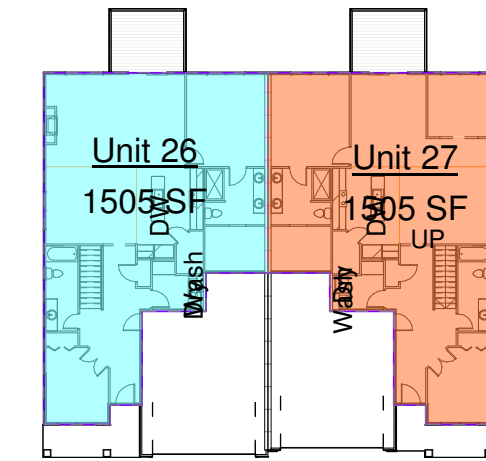
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A3.0
LOWER FLOOR PLAN



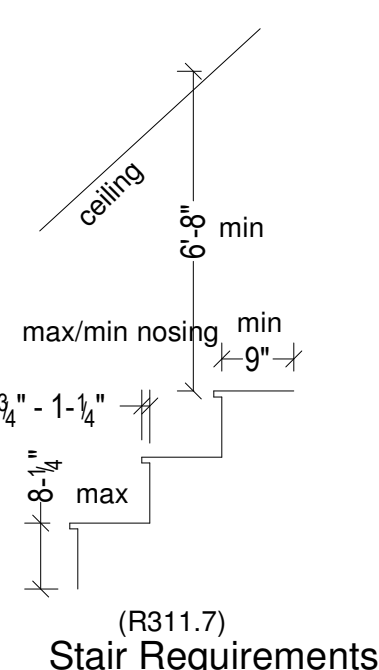
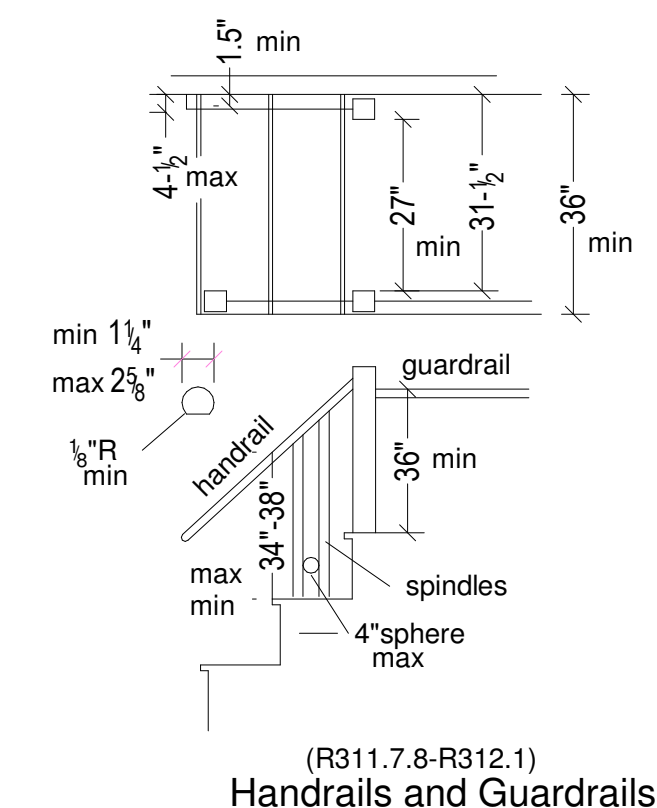
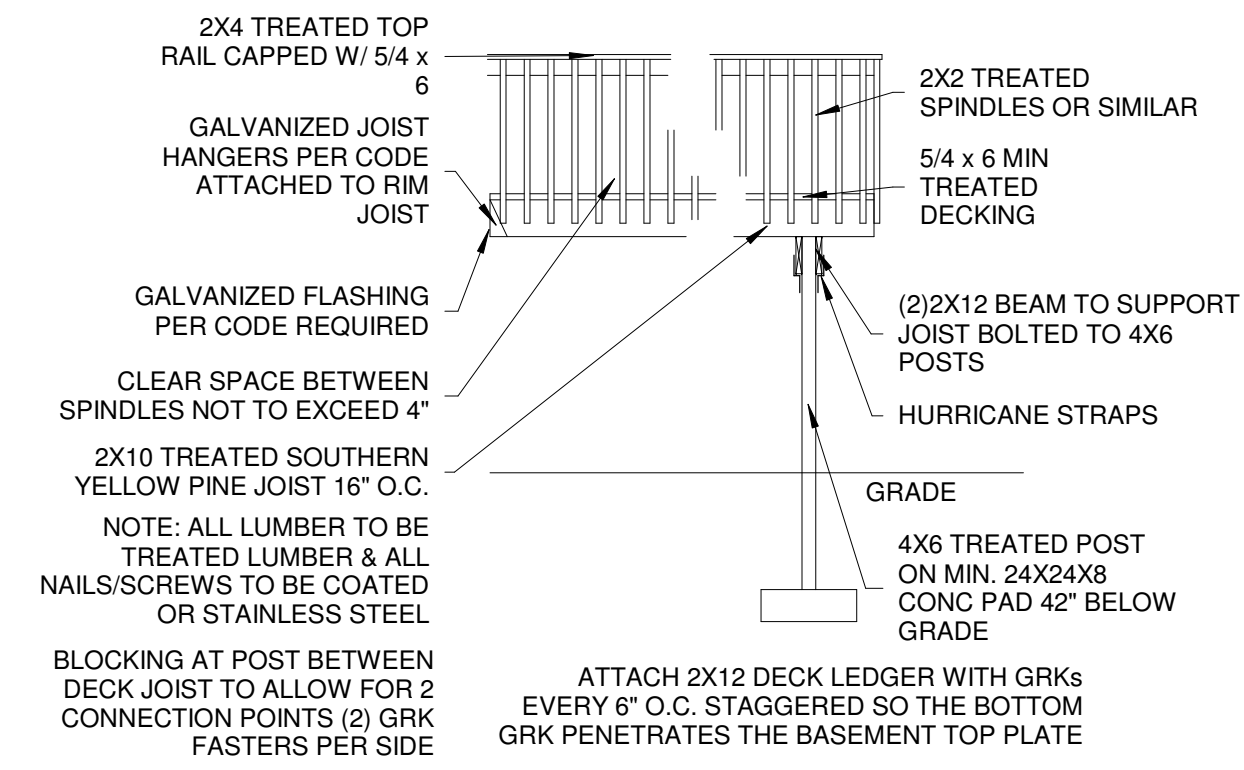
Unit 26 Unit 27
MAIN FLOOR PLAN - ELECTRICAL
 1/8" = 1'-0"



MAIN FLOOR PLAN
 1/4" = 1'-0"

- GENERAL NOTES**
- 1) MAIN FLOOR WALL HEIGHT IS 9'-1 1/8"
 - 2) ALL EXTERIOR WALL SHOWN ARE 2X4 STUDS @ 16" O.C. WITH 7/16" SHEATHING (UNLESS OTHERWISE NOTED)
 - 3) ALL INTERIOR WALLS ARE 2X4 STUDS @ 16" O.C. (UNLESS OTHERWISE NOTED)
 - 4) ALL EXTERIOR ROOF SHEATHING TO BE 7/16" OSB ON PRE-ENGINEERED ROOF TRUSSES 24" O.C.
 - 5) ALL SUPPORTING HEADERS WITH OPENINGS OF 72" OR LESS TO BE CONSTRUCTED OF 2X10 DOUG FIR UNLESS OTHERWISE NOTED. DOUBLE LAP STUDS UNDER ENDS OF ALL HEADERS OVER 48".
 - 6) FASTENER PER TRUSS MANUFACTURERS INSTRUCTIONS
 - 7) STRUCTURAL LOADS:
 FLOOR LIVE LOAD = 40
 ROOF LIVE LOAD = 40
 ROOF SNOW LOAD = 50
 BASIC WIND SPEED = 90
 WIND EXPOSURE CATEGORY = EXPOSURE B
 SOIL BEARING ASSUMED 2000 PSF
 SOIL TYPE:
 - 8) WINDOW TAGS: LETTERS INDICATE WINDOW TYPE, FOLLOWED BY WIDTH IN INCHES, ENDING IN HEIGHT IN INCHES. ex: SH2448 = Single Hung 24" x 48"
 a. ALL OPERABLE WINDOWS WITH SILLS LOCATED MORE THAN 6' ABOVE THE OUTSIDE GRADE SHALL HAVE A CLEAR OPENING TO FINISHED FLOOR HEIGHT OF 24" OR MORE, OR HAVE APPROVED WINDOW OPENING LIMITER DEVICES INSTALLED. HEADER HEIGHTS WITH 2X10 HEADER @ 8' 11-3/8" (DBL TOP PLATE, HEADER, STUD)
 b.
 - 9) DOOR TAGS: FIRST TWO NUMBERS INDICATE WIDTH IN FEET AND INCHES. LAST TWO NUMBERS INDICATE HEIGHT IN FEET AND INCHES. ex: 2868 = 28 X 68
 a. GARAGE DOOR R.O. WIDTH TO BE 16'-0" WHEN USING ALUM WRAPPED TRIM. R.O. WIDTH TO BE 16'-1 1/2" WHEN USING MIRATEC TRIM. CONTACT SITE SUPERVISOR FOR VERIFICATION.
 - 10) GARAGE DOOR OPENINGS, FRAME GARAGE DOOR 4" BELOW T.O. CONC WALL. MAIN 2' STALL TO BE FRAMED USING CS-G METHOD. 3RD STALLS TO BE FRAMED USING CS-PF METHOD, UNLESS OTHERWISE NOTED
 - 11) ALL SMOKE DETECTORS TO BE INTERCONNECTED & HARD WIRED. INSTALL PER MANUFACTURERS SPECS
 - 12) ATTIC ACCESS: 20X30 ATTIC ACCESS. IF ACCESS IS FROM A HEATED SPACE, STAPLE INSULATION TO BACK OF LID AND GASKET OPENING
 - 13) WALLS BETWEEN HOUSE AND GARAGE TO BE DRYWALL, CEILING OF GARAGE TO BE DRYWALL
 - 14) 2 CONTINUOUS RUN FANS THROUGH-OUT HOME

DECK DETAIL



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A4.0
 MAIN FLOOR PLAN