

SITE PLAN CHECKLIST

353 North 120th Avenue · Holland, MI 49424 · Phone: 616.395.0151

All site plans submitted MUST contain all the following information unless certain information is waived by the Zoning Administrator: (Please check each item that is shown on the plan or note why it is not)

- ☒ A. Site plan, drawn to scale, based on an accurate certified land survey.
- ☒ B. Site plan content:
- ☒ B1. Indication of existing Zoning District requirements.
- | | |
|---|---|
| ☒ _____ Zoning District | ☒ Front Yard Setback Complies |
| ☒ Parcel Size Complies | ☒ Side Yard Setback Complies |
| ☒ Parcel Width Complies | ☒ Rear Yard Setback Complies |
- ☒ B2. Adjacent Zoning Districts, including Structures within one hundred (100) feet of the site's Lot lines.
- ☒ B3. Location of existing water, sewer, and storm water utilities, including ditches and similar water courses.
- ☒ B4. Existing topographical features including vegetation cover, trees in excess of six (6) inch caliper, and contour intervals no greater than five (5) feet.
- ☒ B5. Location of R.O.W. lines, Lot lines, and applicable Setback lines.
- ☒ B6. Location of existing streets, drives, and parking lots, including loading space(s) and arrangement and number of standard parking spaces and accessible parking spaces.
- ☒ B7. Location of existing improvements, including the size and type of present Buildings or Structures, such as fencing, lighting, and signs to be retained or removed.
- ☒ B8. Proposed topographical features including limits of removal for vegetation cover and contour intervals no greater than five (5) feet.
- ☒ B9. Location of proposed water, sewer, and storm water utilities, including ditches or similar water courses.
- ☒ B10. Location of proposed streets, drives, and parking lots, including loading space(s) and arrangement and number of standard parking spaces and accessible parking spaces.
- ☒ B11. Location of all proposed Buildings or Structures, such as trash enclosures, fencing, light poles, and centralized mail delivery locations for residential communities (i.e., Neighborhood Delivery Centers or Cluster Box Units).
- ☒ B12. Proposed landscaping, including specific ground cover(s), shrubs, and trees with an accurate description of species type and minimum size(s) to be installed.
- ☒ B13. The date, north arrow, and scale. The scale shall not be less than 1" = 50' if the subject property is less than three (3) acres and 1" = 100' if three (3) acres or more.
- ☒ B14. The name and address and phone number of the professional individual, if any, responsible for the preparation of the site plan.

- ☒ C. Building information:
- ☒ C1. Preliminary architectural sketches and/or a general statement as to the type of construction and materials to be used in the proposed Buildings or Structures.
- ☒ C2. Height and area of Buildings and Structures, including lot coverage by buildings.
- ☒ D. Supplemental information:
- ☒ D1. Project Narrative.
- N/A ☐ D2. The period of time within which the project will be completed.
- N/A ☐ D3. Proposed phasing of the project, if any.
- N/A ☐ D4. Delineation of the one hundred (100) year flood plain and any proposed uses therein.
- N/A ☐ D5. Current proof of ownership of the land to be utilized or evidence of a contractual ability to acquire such land, such as an option or purchase contract.
- N/A ☐ D6. Additional information which the body or official reviewing and approving the site plan may request - which is reasonably necessary to evaluate the site plan.

Planning Commission General Document Submittal Requirements:

1. Failure to include any of the above information shall result in the rejection of the proposed site plan.
2. All information required on the application form shall be completed, including signature.
3. One original signature copy of the application must be submitted. The balance of the copies required may be photocopies.
4. All required documents/information must be submitted at the same time.
5. Rolled documents shall not be accepted. All documents must be folded to a size no larger than 9"x12".
6. If submittal contains multiple documents, the documents must be collated into "packets". Each packet shall be secured by clips, or rubber bands if necessary.
7. Two (2) sets of plans shall bear the original seal and signature of the architect or engineer who prepared them; the balance required may be copies.

P:\200220.02 Quincy Place Phase 2\CADD\DWG\200220.2_Quincy St AL OVERALL SHEET.dwg, 7/8/2025 8:50:06 AM, EMILY ABBOTT

BENCHMARKS - NGVD 29

ELEVATION 631.54
TOP OF NE FLANGE BOLT UNDER "E" OF
"EJW", LOCATED 20'± EAST OF
CENTERLINE DRIVE TO HOUSE #12345
QUINCY AND 28'± NORTH OF CENTERLINE
QUINCY

CONTROL POINTS

CP#44	CP#45	CP#46
MAG NAIL	MAG NAIL	MAG NAIL
N 8630.3910	N 8640.2494	N 8647.3845
E 6124.5694	E 6367.7484	E 6682.1762
ELEV 630.27	ELEV 631.42	ELEV 630.42

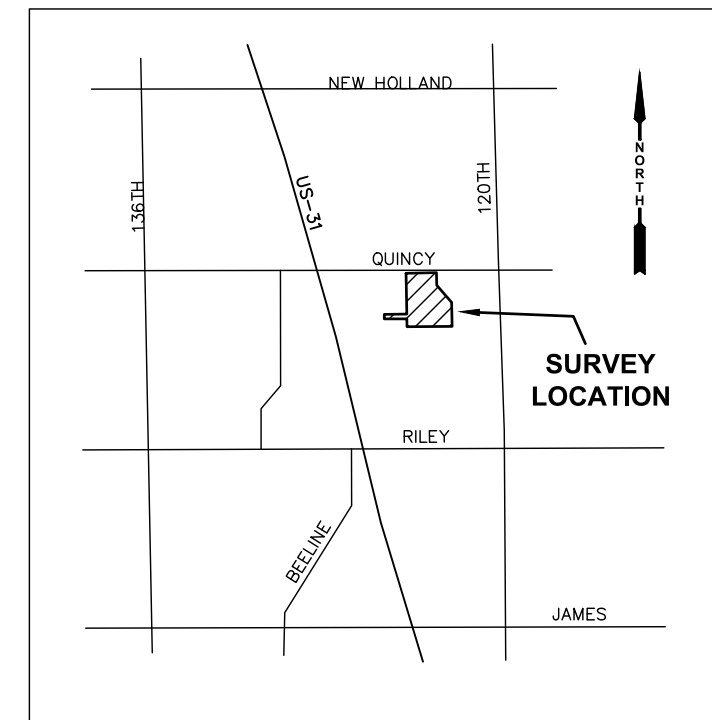
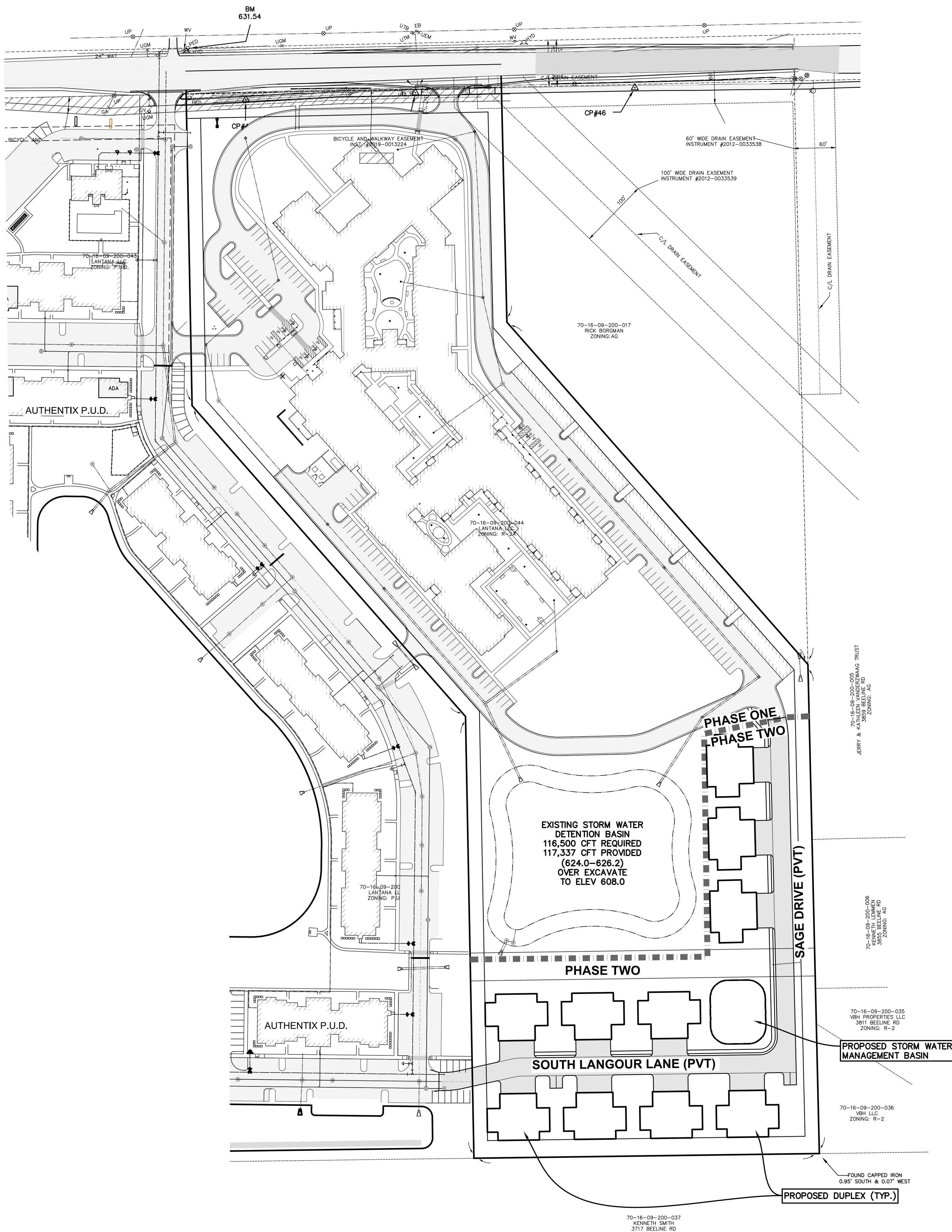
EXISTING UNDERGROUND UTILITY DATA

STORM CB#2
RIM 632.68
36" CPP INV W 627.18
42" CONC INV N 627.18
48" CPP INV S 627.18
STRUCTURE BOTTOM 625.68
2.65' DIA BEEHIVE RIM
6' DIA PRECAST STRUCTURE

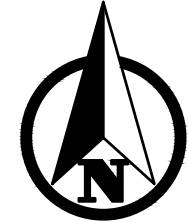
STORM CB#3
RIM 631.86
15" CPP INV SW
2.65' DIA RIM
COULD NOT OPEN WITH SILT
SACK IN PLACE

TELECOMMUNICATIONS MH#4
RIM 631.45
LINES E-W 628.05
WATER LEVEL 628.15
STRUCTURE BOTTOM 625.45

QUINCY STREET



LOCATION MAP
NO SCALE:



0 40 80
PLAN SCALE: 1" = 80'

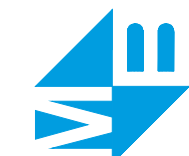


Know what's below.
Call before you dig.

PLAN REVISIONS



Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 363-9801 mailbox@mbse.com



OVERALL SITE PLAN
FOR
QUINCY PLACE SENIOR LIVING
PHASE 2
HOLLAND TWP, OTTAWA COUNTY, MICHIGAN

FIELD SURVEY / DATE
M+B

PROJECT NO.:
200220.02

DESIGN DRAWN BY:
ESA

DESIGNED BY:
JFL

CHECKED BY:
JFL

PLAN DATE:
06-23-2025

SHEET NUMBER
2 OF 7

SHEET SCHEDULE
1 - COVER SHEET
2 - OVERALL SITE PLAN
3 - SURVEY PLAN
4 - SITE PLAN
5 - UTILITY PLAN
6 - GRADING & S.E.S.C PLAN
7 - LANDSCAPE PLAN

PREPARED FOR:
LEO BROWN GROUP
802 EAST 86TH STREET
INDIANAPOLIS, INDIANA 46240
ATTN: MR. TROY BERTSCH
PH: (317) 668-6404
WWW.LEOBROWNGROUP.COM

BENCHMARKS

ELEVATION 632.97
NE BOLT, TOP FLANGE OF HYDRANT, LOCATED ON NORTH SIDE OF SERVICE DRIVE ON THE SOUTH END OF BUILDINGS OF #12300 QUINCY STREET & 72' S. NORTH OF NORTH EDGE OF WATER OF POND.

CONTROL POINTS - NAD83

CP#101	CP#102	CP#106
PK NAIL	PK NAIL	M+B RED CAP
N 7702.0340	N 7971.0260	N 7185.7061
E 6527.2630	E 6698.6050	E 6385.7562
ELEV 631.39	ELEV 631.22	ELEV 628.00

EXISTING UNDERGROUND UTILITY DATA

STORM CB#5 (MAY 4, 2023)
RM 630.67
24" CPP INV NW 624.72 24" CPP
INV SW 624.72 BOTTOM
STRUCTURE 621.77 2'x2' SO RM
4" DIA PRECAST STRUCTURE

STORM CB#6 (MAY 4, 2023)
RM 630.02
15" CPP INV NE 624.62
15" CPP INV SW 624.62 BOTTOM
STRUCTURE 621.77 2'x2' SO RM
4" DIA PRECAST STRUCTURE

STORM CB#7 (MAY 4, 2023)
RM 626.02
12" CPP INV NE 621.77
WATER LEVEL 624.62
2" DIA RM
4" DIA PRECAST STRUCTURE
CANT SEE INVERT WEST
UNDER WATER

STORM WH#8 (MAY 4, 2023)
OUTLET CONTROL STRUCTURE
RM 626.11
5" CPP INV E 623.55
30" CPP INV SW 622.81
BOTTOM STRUCTURE 622.76
5.25" DIA RM
6" DIA PRECAST STRUCTURE
OUTLET STRUCTURE

STORM CB#9
(PER STORM SEWER
AS-BUILT 190189.1)
RM 627.46
12" INV S 624.25

STORM CB#10
(PER STORM SEWER
AS-BUILT 190189.1)
RM 627.99
12" INV N 625.19
12" INV S 625.19

STORM CB#11
(PER STORM SEWER
AS-BUILT 190189.1)
RM 628.79
12" INV N 624.84
12" INV S 624.84

STORM CB#12
(PER STORM SEWER
AS-BUILT 190189.1)
RM 627.93
12" INV N 625.52

STORM CB#14 (MAY 4, 2023)
RM 630.36
24" CPP INV SE 623.38
24" CPP INV NE 623.38
24" CPP INV NW 623.38 BOTTOM
STRUCTURE 620.58 2'x2' SO RM
4" DIA PRECAST STRUCTURE

SANITARY MH#15 (JUNE 26, 2025)
RM 627.68
12" PVC INV N 614.38 (ON 13.3')
12" PVC INV E 614.18 (ON 13.5')
12" PVC INV W 613.98 (ON 13.7')

70-16-09-200-044
HOLLAND SENIOR PARTNERS LLC
#2300 QUINCY STREET
ZONING: COMMERCIAL

70-16-09-200-005
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-006
KENNETH LEWIS
#3855 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-035
LUCAS POLLOCK
#3811 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-036
VBN PROPERTIES LLC
VACANT PARCEL
ZONING: RESIDENTIAL

70-16-09-200-008
KENNETH LEWIS
#3855 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-009
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-010
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-011
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-012
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-013
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-014
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-015
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-016
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-017
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-018
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-019
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-020
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

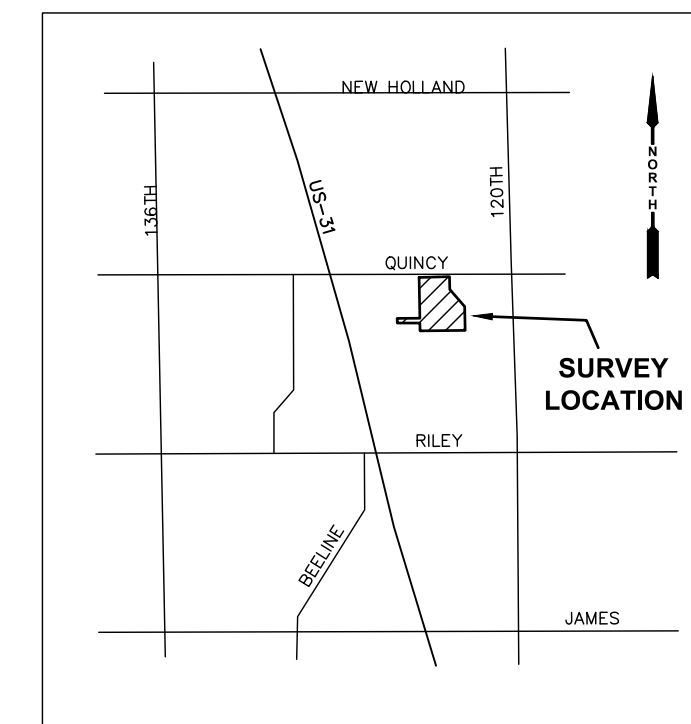
70-16-09-200-021
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-022
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

70-16-09-200-023
JERRY & KATHLEEN
VANDERKAM TRUST
#2509 BEELINE RD
ZONING: RESIDENTIAL

SHEET SCHEDULE

- 1 - COVER SHEET
- 2 - OVERALL SITE PLAN
- 3 - SURVEY PLAN
- 4 - SITE PLAN
- 5 - UTILITY PLAN
- 6 - GRADING & S.E.S.C PLAN
- 7 - LANDSCAPE PLAN

LOCATION MAP
NO SCALE:**SITE PLAN GENERAL NOTES:**

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. ALL STORM SEWER PIPE SHALL BE ADS N-12 PLASTIC PIPE UNLESS OTHERWISE SPECIFIED.
4. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4" DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
5. ALL OTHER PAVED AREAS SHALL BE CONSTRUCTED WITH:
12" MDT CL-2 SAND SUBBASE (C.I.P.)
6" 21AA GRAVEL BASE (C.I.P.)
1 1/2" 3EL HMA LEVELING COURSE
1 1/2" 3EL HMA WEARING COURSE
6. THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MDT CL-2 SAND TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557.
7. THIS SITE PLAN SHALL NOT BE USED TO STAKE THE LOCATION OF PROPOSED BUILDING COLUMN LINES. THE SURVEYORS ARE TO USE THE BUILDING FOUNDATION PLANS.
8. THE CONTRACTOR SHALL PLACE AND COMPACT FILL UNDER THE PROPOSED BUILDING AREA TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557. ALL OTHER AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DRY DENSITY.
9. THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER SYSTEM AS SHOWN AND SPECIFIED.
10. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY EMAIL USING THE MOORE & BRUGGINK, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.

PHASE TWO PROPOSED DEVELOPMENT NOTES:**EXISTING ZONING:** R-2A MEDIUM DENSITY RESIDENTIAL

MIN LOT AREA: 10,500 SFT
MIN LOT WIDTH: 80'
MIN FRONT SETBACK: 35'
MIN SIDE SETBACK: 20'
MIN REAR SETBACK: 25'
MAX BUILDING COVERAGE: 35%
MAX LOT COVERAGE: 50%
MIN FLOOR AREA: 750 SFT + 150 SFT PER BEDROOM OVER 1
MAX BLDG HEIGHT: 45'

PARKING REQUIREMENT:

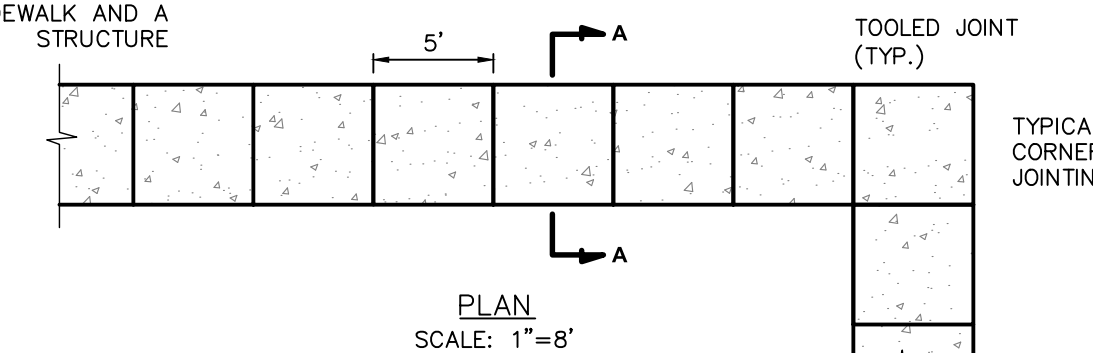
HOUSING-INDEPENDENT & ASSISTED LIVING: 1.5 SPACES PER UNIT

PROPOSED BUILDINGS: 20 UNITS

INDEPENDENT LIVING = 20 UNITS X 1.5 = 30 PARKING SPACES REQUIRED
TOTAL PARKING REQUIRED: 30 SPACES

GARAGES SPACES PROVIDED: 40
SURFACE PARKING PROVIDED: 40 SPACES
TOTAL PARKING PROVIDED: 80 SPACES

3/2" EXPANSION JOINT EVERY
30' AND/OR AT EACH JOINT
BETWEEN SIDEWALK AND A
STRUCTURE

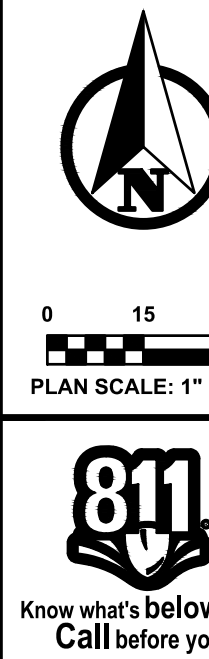


MDOT GRADE 3500 PSI 28 DAY
CONCRETE, 5%-7% AIR ENTRAINED;
BROOM FINISH

4" MIN. SAND BASE MDT CL-1 (C.I.P.)

SECTION A-A
SCALE: 1"=4'**4" CONCRETE SIDEWALK DETAIL**

PREPARED FOR:
LEO BROWN GROUP
802 EAST 86TH STREET
INDIANAPOLIS, INDIANA 46240
ATTN: MR. TROY BERTSCH
PH: (317) 668-8404
WWW.LEOBROWNGROUP.COM

Know what's below.
Call before you dig.

PLAN REVISIONS

Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 363-9801 mail@mbce.com

SITE PLAN
FOR
QUINCY PLACE SENIOR LIVING
PHASE 2
HOLLAND TWP, OTTAWA COUNTY, MICHIGAN

FIELD SURVEY / DATE
M+B
PROJECT NO.: 200220.02
DESIGN DRAWN BY: ESA
DESIGNED BY: JFL
CHECKED BY: JFL
PLAN DATE: 06-23-2025
SHEET NUMBER
4 OF 7

BENCHMARKS

ELEVATION 632.97
NE BOLT, TOP FLANGE OF HYDRANT, LOCATED
ON NORTH SIDE OF SERVICE DRIVE ON THE
SOUTH END OF BUILDINGS OF #12300 QUINCY
STREET & 72' S. NORTH OF NORTH EDGE OF
WATER OF POND.

CONTROL POINTS - NAD83

CP#101 CP#102 CP#106
PK NAIL PK NAIL M+B RED CAP
N 7702.0340 N 7871.0260 N 7185.7061
E 6527.2630 E 6698.6050 E 6385.7562
ELEV 631.39 ELEV 631.22 ELEV 628.00

EXISTING UNDERGROUND UTILITY DATA

STORM CB#5 (MAY 4, 2023)
RM 630.67
24" CPP INV NW 624.72 24" CPP
INV SW 624.72 BOTTOM
STRUCTURE 621.77 2'x2' SO RM
4" DIA PRECAST STRUCTURE

STORM CB#6 (MAY 4, 2023)
RM 630.02
15" CPP INV NE 624.62
15" CPP INV SW 624.62 BOTTOM
STRUCTURE 621.77 2'x2' SO RM
4" DIA PRECAST STRUCTURE

STORM CB#7 (MAY 4, 2023)
RM 626.02
12" CPP INV NE 621.77
WATER LEVEL 624.62
2" DIA RM
4" DIA PRECAST STRUCTURE
CANT SEE INVERT WEST
UNDER WATER

STORM WH#8 (MAY 4, 2023)
OUTLET CONTROL STRUCTURE
RM 626.11
6" CPP INV E 623.55
30" CPP INV SW 622.81
BOTTOM STRUCTURE 622.76
5'x2' DIA RM
6" DIA PRECAST STRUCTURE
OUTLET STRUCTURE

STORM CB#9
(PER STORM SEWER
AS-BUILT 190189.1)
RM 627.46
12" INV S 624.25

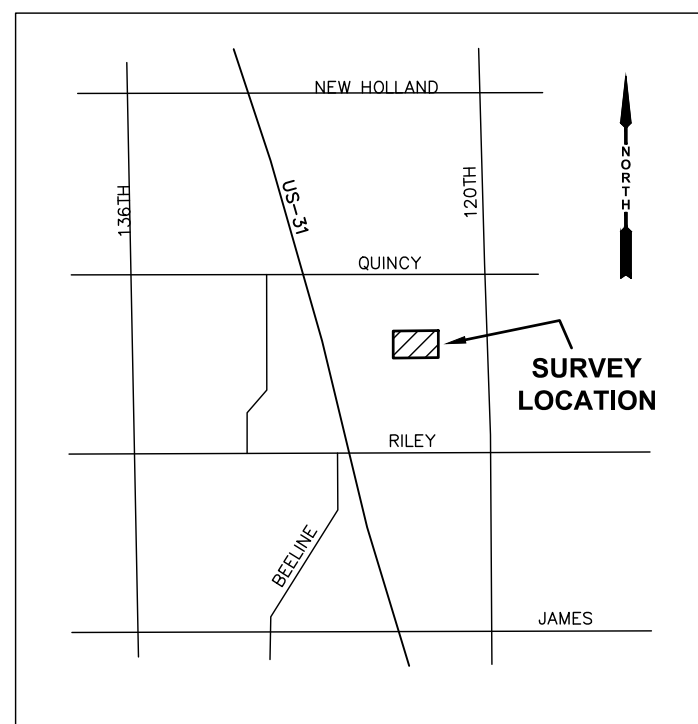
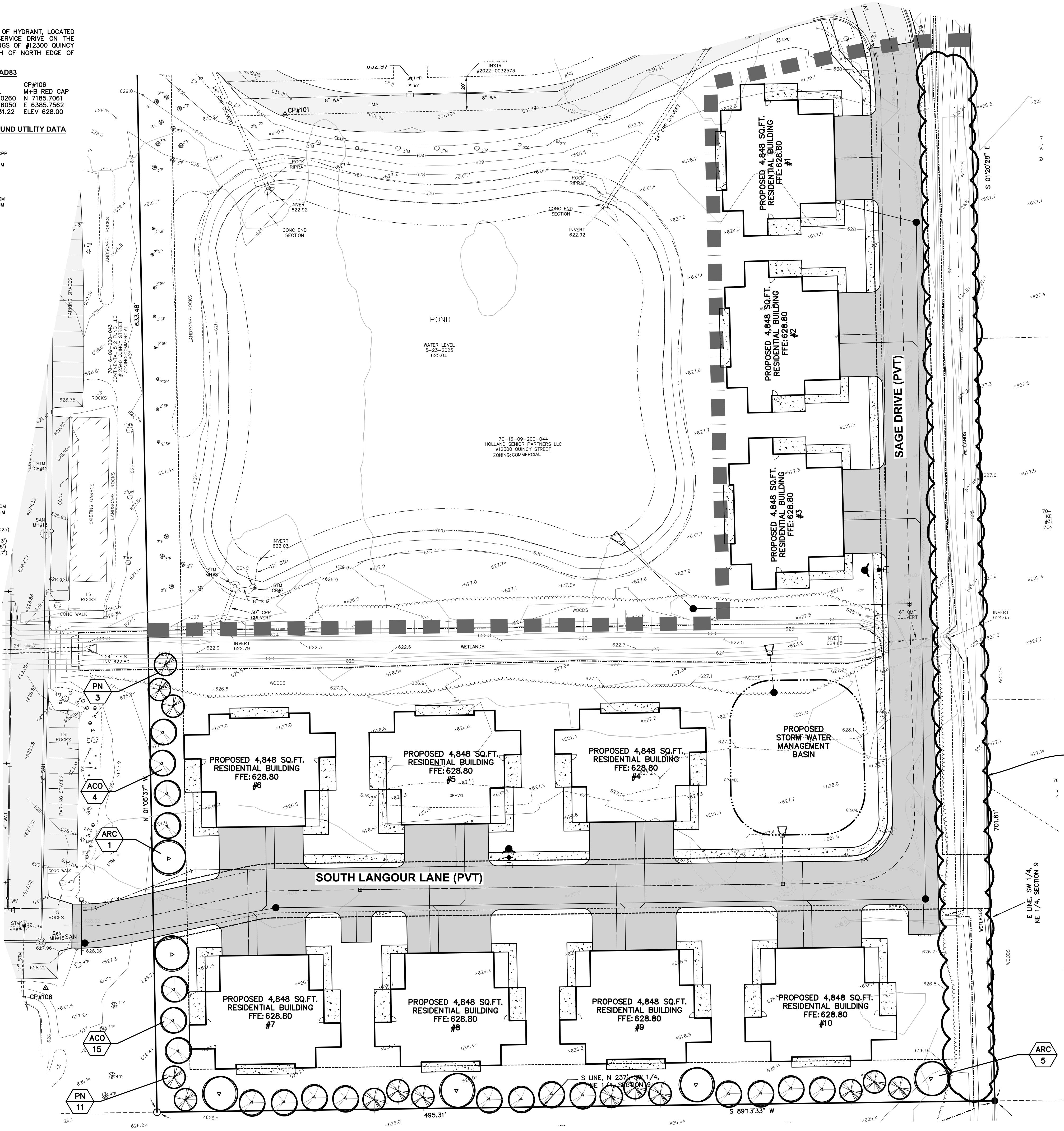
STORM CB#10
(PER STORM SEWER
AS-BUILT 190189.1)
RM 627.99
12" INV N 625.19
12" INV S 625.19

STORM CB#11
(PER STORM SEWER
AS-BUILT 190189.1)
RM 628.79
12" INV N 624.84
12" INV S 624.84

STORM CB#12
(PER STORM SEWER
AS-BUILT 190189.1)
RM 627.93
12" INV N 625.52

STORM CB#14 (MAY 4, 2023)
RM 630.38
24" CPP INV SE 623.38
24" CPP INV NE 623.38
24" CPP INV NW 623.38 BOTTOM
STRUCTURE 620.58 2'x2' SO RM
4" DIA PRECAST STRUCTURE

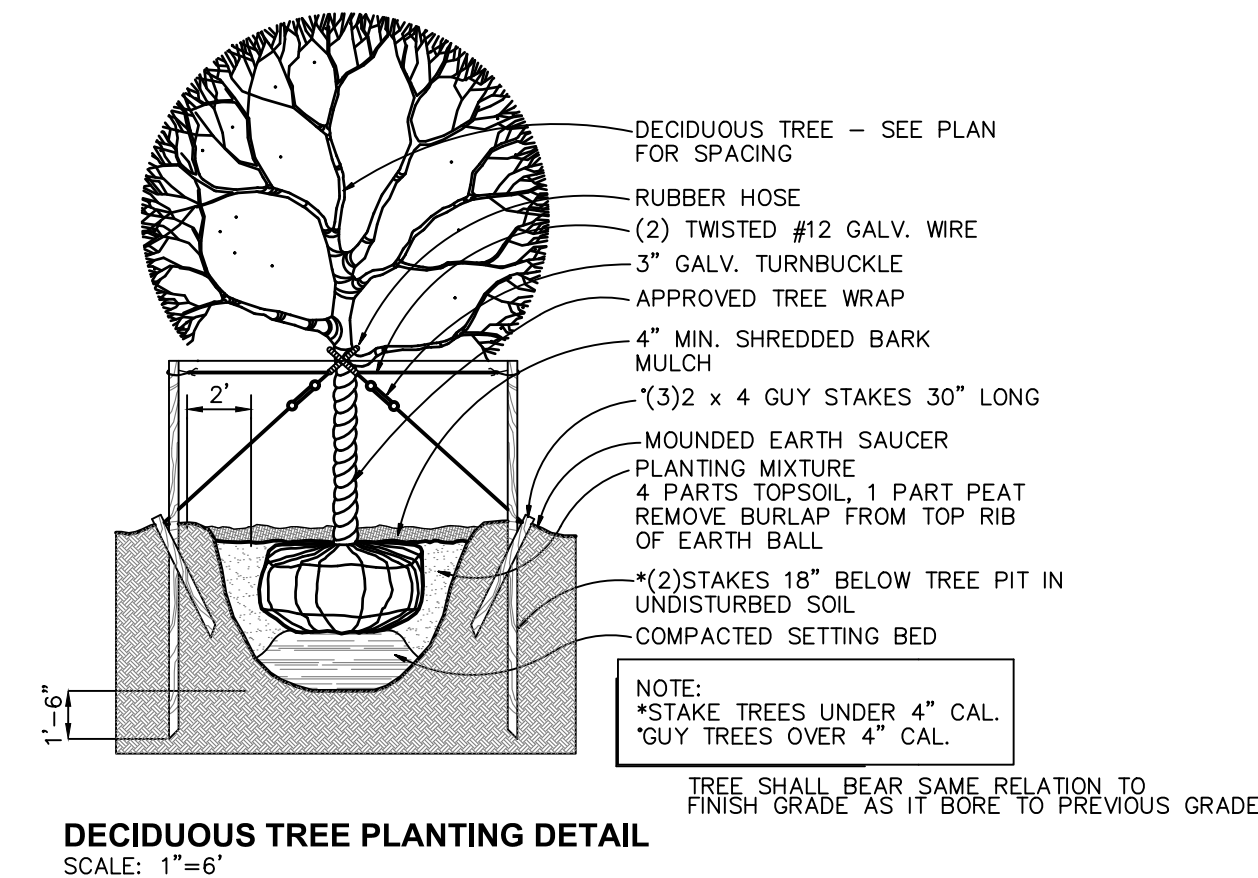
SANITARY MH#15 (JUNE 26, 2025)
RM 627.68
12" PVC INV N 614.38 (ON 13.5')
12" PVC INV E 614.18 (ON 13.5')
12" PVC INV W 613.98 (ON 13.7')



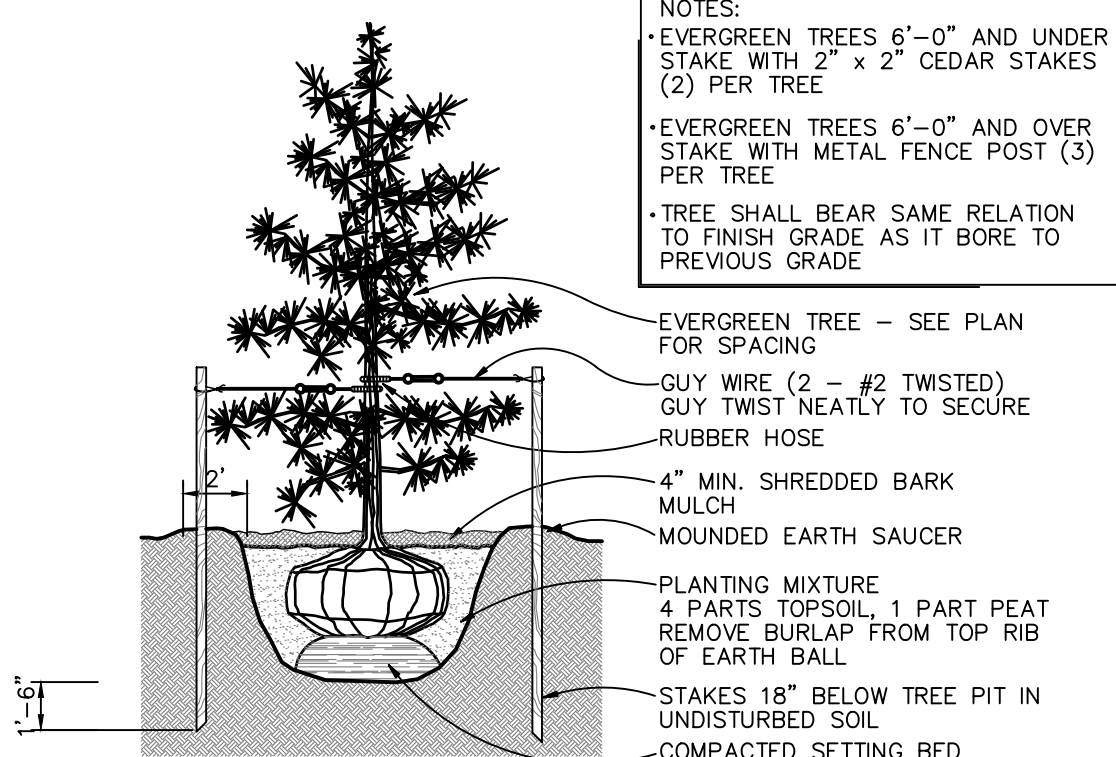
LOCATION MAP
NO SCALE:

PLANT LIST

CODE	QNTY.	BOTANICAL NAME	COMMON NAME	SIZE	DESCR.
DECIDUOUS TREES					
ARC	6	Acer rubrum 'Red Rocket'	Red Rocket Columnar Maple	10'/12'	B&B
EVERGREEN TREES					
ACO	19	Abies concolor	Concolor Fir	6'	B&B
PN	14	Pinus Nigra	Austron Pine	6'	B&B



DECIDUOUS TREE PLANTING DETAIL
SCALE: 1"=6'

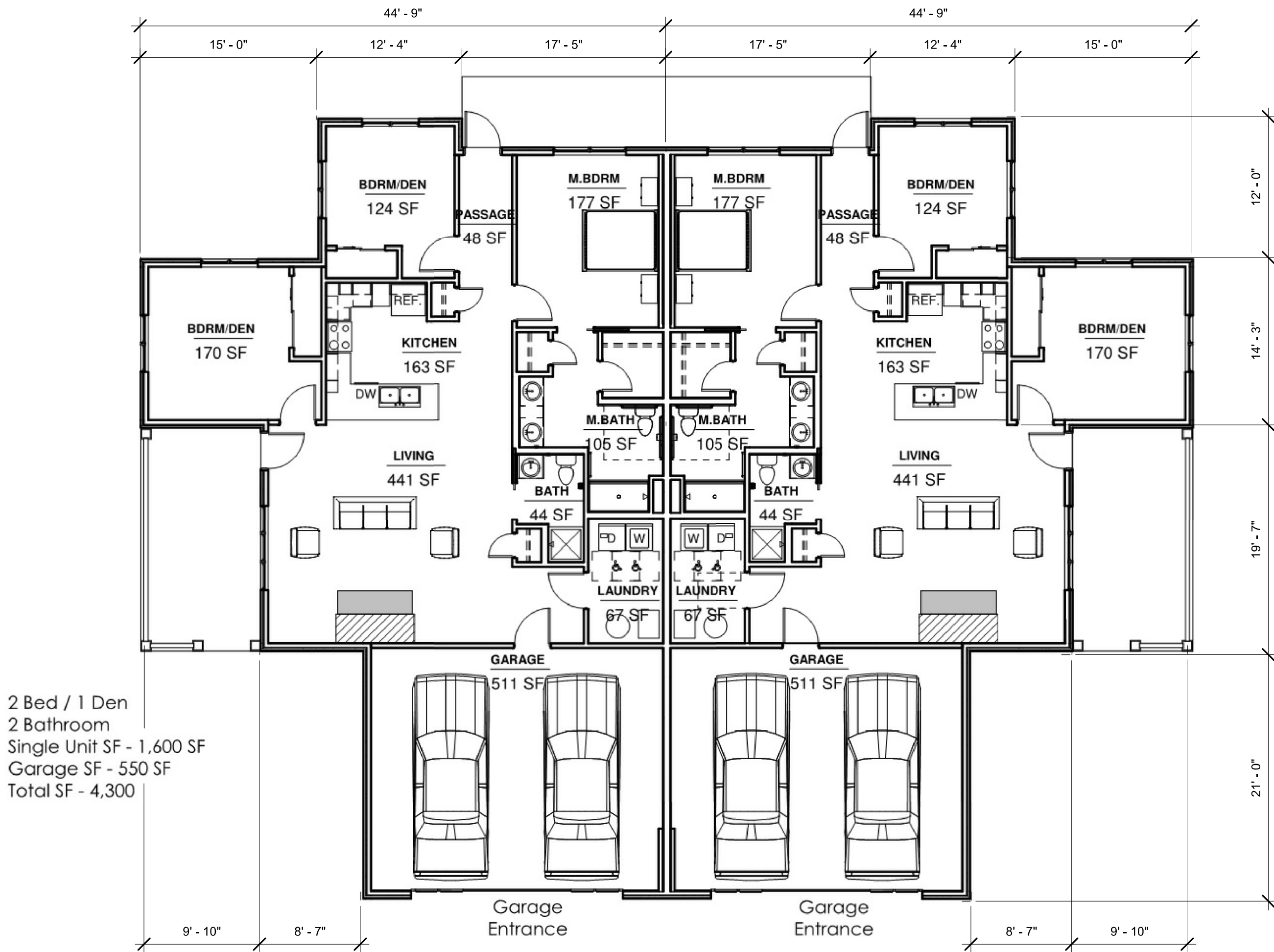


EVERGREEN TREE PLANTING DETAIL
SCALE: 1"=6'

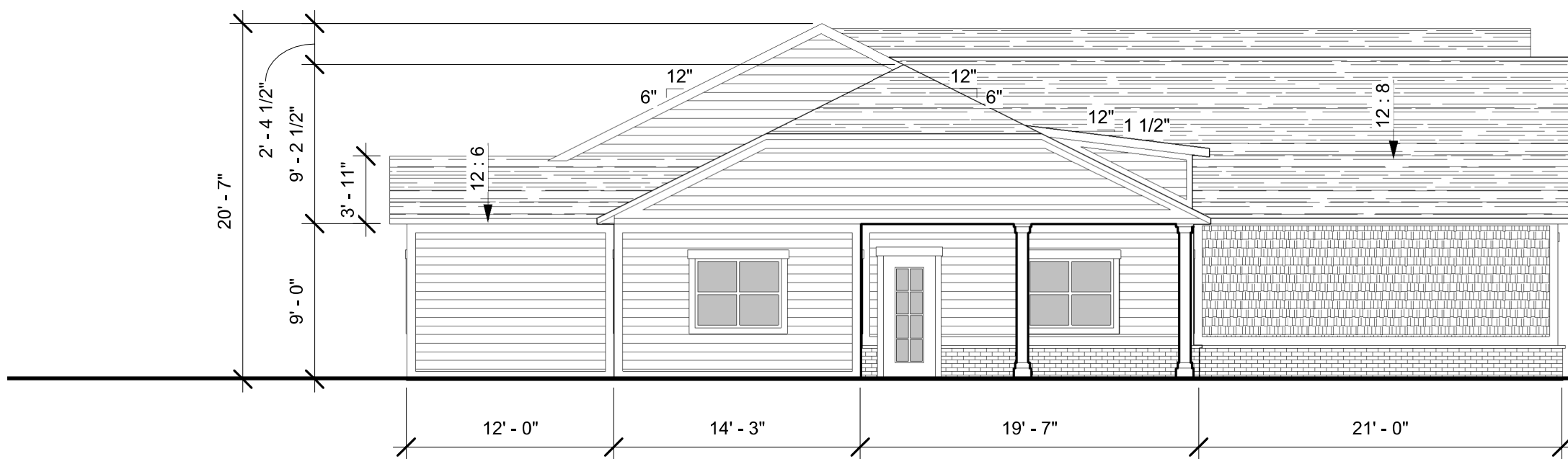
SHEET SCHEDULE

- 1 - COVER SHEET
- 2 - OVERALL SITE PLAN
- 3 - SURVEY PLAN
- 4 - SITE PLAN
- 5 - UTILITY PLAN
- 6 - GRADING & S.E.S.C PLAN
- 7 - LANDSCAPE PLAN

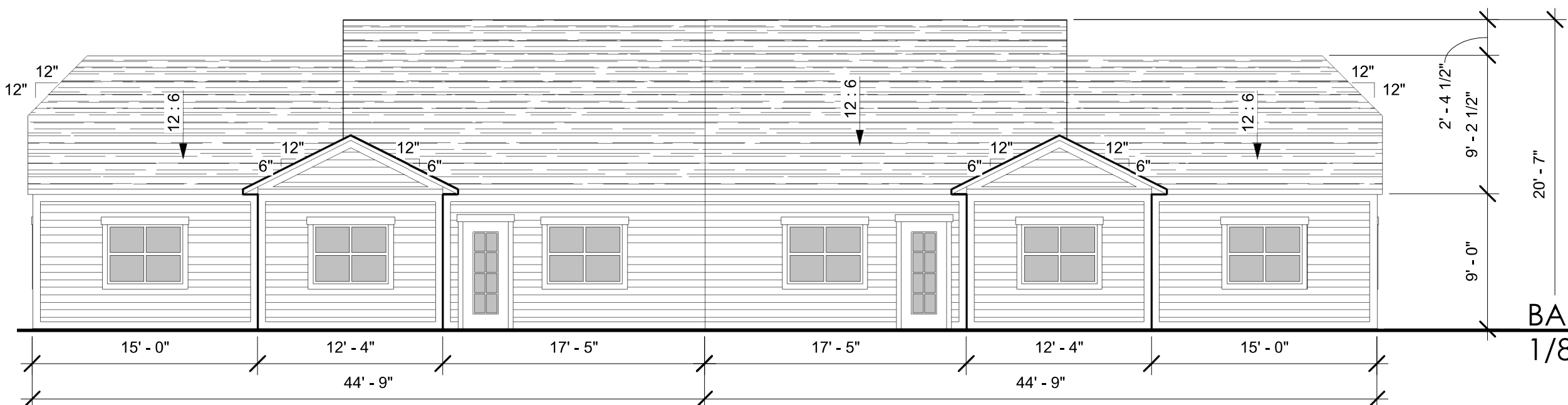
PREPARED FOR:
LEO BROWN GROUP
802 EAST 86TH STREET
INDIANAPOLIS, INDIANA 46240
ATTN: MR. TROY BERTSCH
PH: (317) 668-8404
WWW.LEOBROWNGROUP.COM



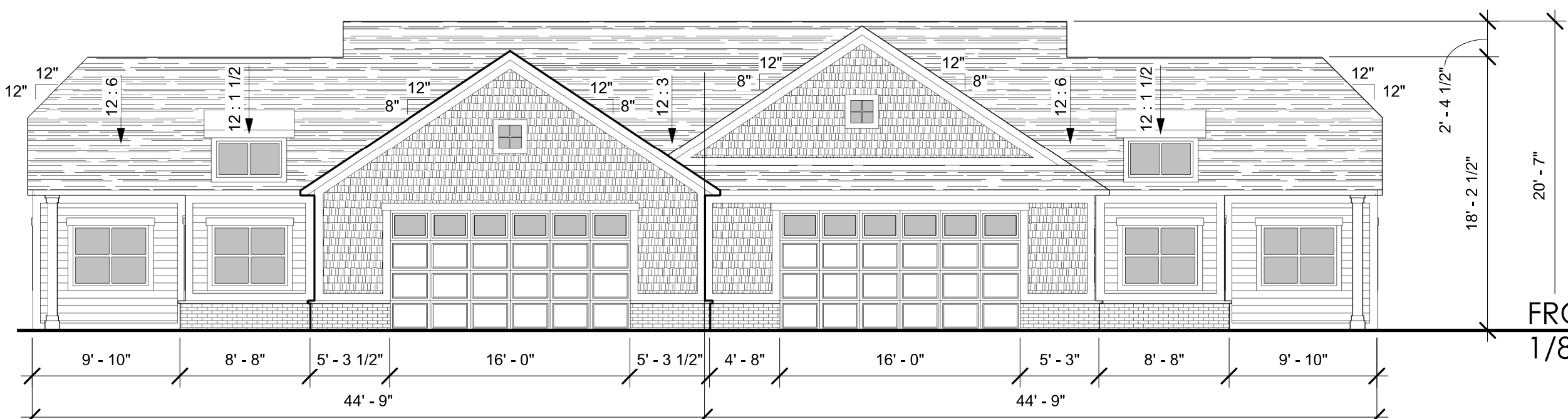
FLOOR PLAN
1/8" = 1'-0



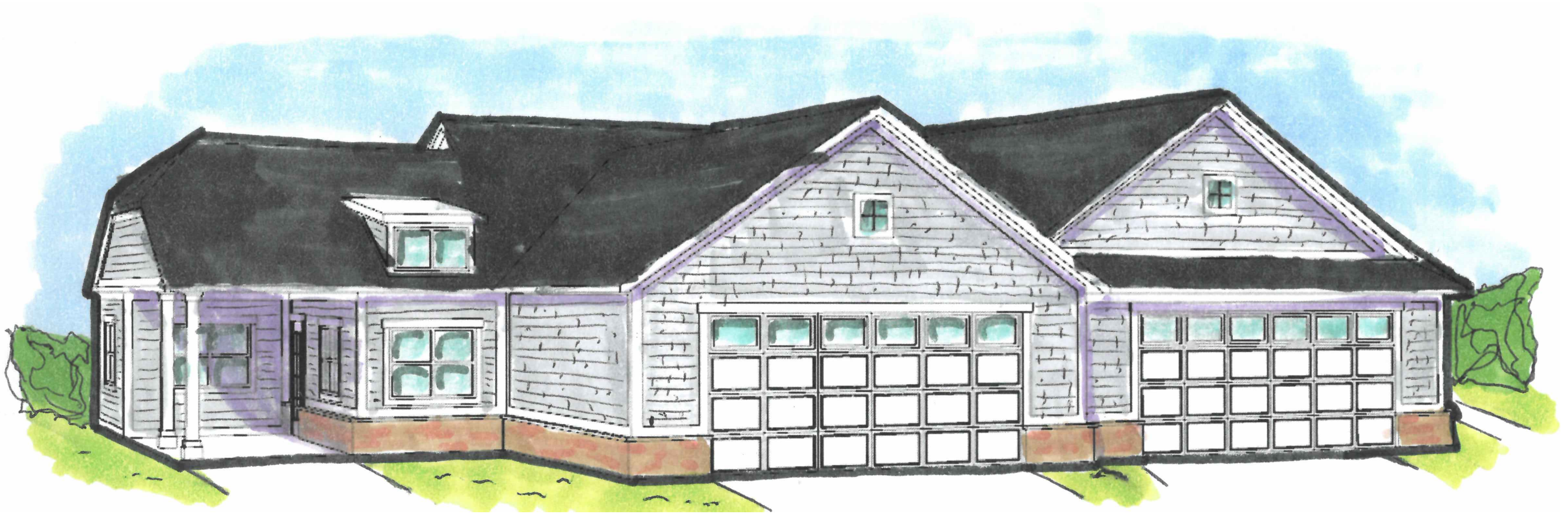
SIDE ELEVATION
1/8" = 1'-0



BACK ELEVATION
1/8" = 1'-0



FRONT ELEVATION
1/8" = 1'-0



FRONT GARAGE CONCEPT