

Revised 9/15/25

Simpatico Coffee/Doubledog Properties LLC Redevelopment of 223 & 235 N. River

Alexander Fink, Owner/Founder



Adding Pedestrian Safety Improvements (transportation)

The developers propose to expand and upgrade the sidewalk from an existing asphalt surface with painted striping demarking the pedestrian walkway (comingled/overlaid with parking) and no permanent easement granted to Holland Charter Township (HCT), to a concrete, well-defined walkway/bikeway with safety features, as well as granting a permanent easement to HCT. This sidewalk with new curbing will vastly improve pedestrian safety along both N. River and Lakewood Blvd. The HCT Comprehensive Land Use Master Plan (Section 3, Implementation Plan) mentions the importance of safer sidewalks and bike paths six times (and all mentions come with emphasized importance). Our proposed site plan meets or exceeds the intent of the Implementation Plan in the following ways:

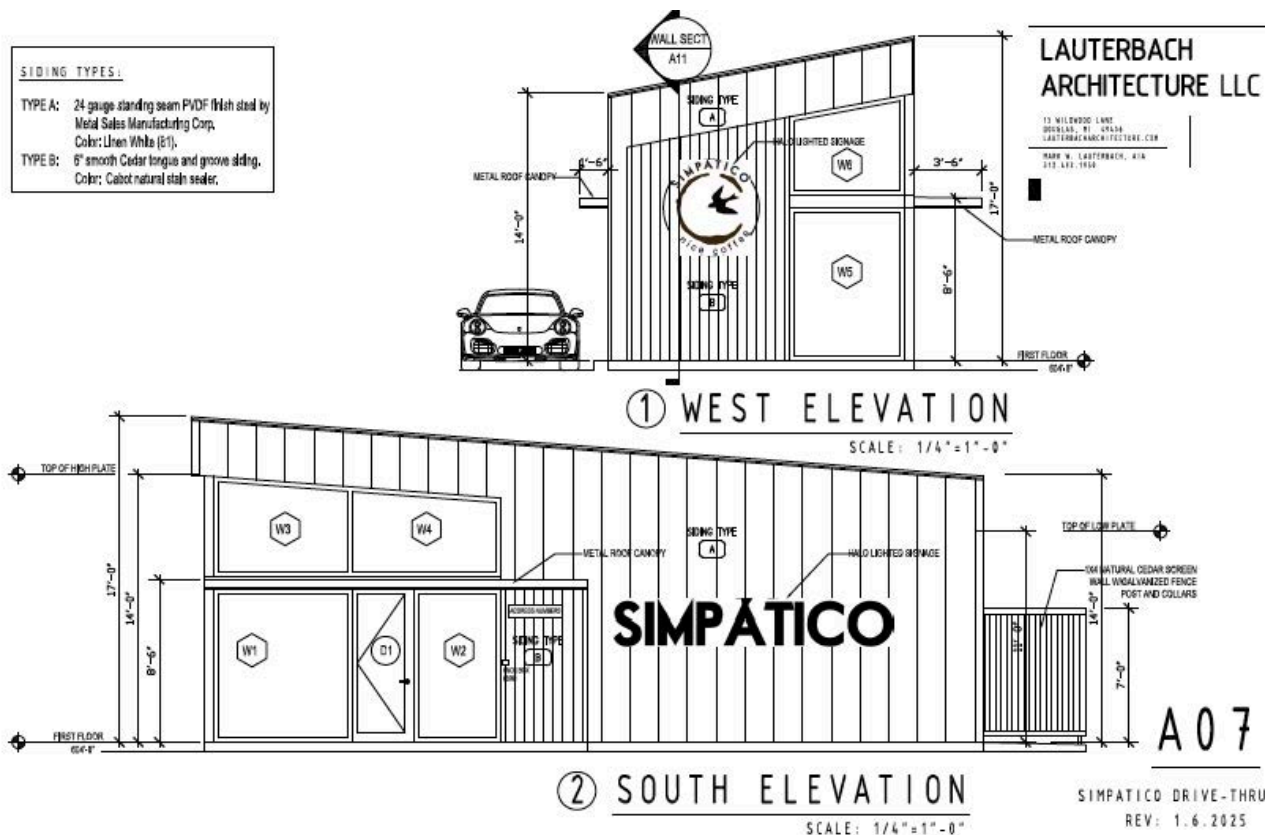
- Defining a clear sidewalk with landscaping and curbing to define safe pedestrian passage and encourage its use thereof.
- Provides an upgraded sidewalk/bike path to the residents of Lakewood Blvd. who do not have a sidewalk on their residential side of the street.
- Removal of one vehicle access point to the property and significantly redefining (shortening) street access from Lakewood Blvd.

Placemaking and Beautification

This corner, subject to redevelopment, is at a pivotal location and begins a “landscape corridor” within the township. This property is at the axis of higher density commercial, neighborhood residential, and a pedestrian/bike route to the lakeshore. Many tens of thousands of vehicles traverse this intersection daily. The developer’s site plan matches or exceeds all existing neighboring commercial properties (including newer construction) in the following ways:

- Working with Holland BPW to bury powerlines, including the probable removal of one power pole along N. River and the potential for an upgraded pole (steel) at the corner of N. River and Lakewood. One power pole will be removed from the development property. The burying of power lines is mentioned with significant importance several times within the Implementation Plan. In total, 5 power poles will be removed and the infrastructure buried in relation to the redevelopment of our properties.

- Improving the draining of surface water by adding two catch-basins to a property which already **does not** have surface water problems, but maybe would experience surface water problems in the future due to global warming or climate change.
- The adding of 11 trees to a property which previously contained zero trees, and vastly improved landscaping with drip irrigation and native plantings. This property will start a “landscaped corridor” in two directions.
- The adding of improved smart area lighting for both site safety and a pleasing esthetic when combined with the improved landscaping.
- The removal of three street fronting signs and replaced with appropriate on-building business signage.



Economic Development / Neighborhood

Commercial Appeal within a High-Density

Commercial Area

As mentioned before, this corner should not only be the beginning of a new landscape corridor, but also should have a neighborhood commercial appeal, because it fronts a neighborhood and should be both walkable and bikeable. This proposed development seeks to offer attractive products integrated into everyday residential life. This site proposal features many characteristics mentioned in the Future Land Use Plan, including:

- Attractive and useful outdoor space.
- Buildings built with durable materials and designed at a human scale.
- Street fronting businesses with parking in the rear.
- Parking is broken up with landscape islands and trees.
- Attractive and forward-thinking architecture which looks appropriate for today and will be appropriate and functional far into the future: featuring durable metals, expansive glass, and a cohesive and symbiotic style containing shared architectural materials and design elements.



We believe the Township has already selected this corner as a Redevelopment Priority Site and has earmarked funds for such an endeavor. The Township's Implementation Plan emphasizes fostering relationships with local business owners and in engaging restaurant owners in its strategic development. We believe our project meets and exceeds all of these stated objectives. We are not major developers, but instead own successful and established businesses very popular within our community.



We are proposing a long term and esthetically pleasing redevelopment of a blighted and neglected corner. This redevelopment will set the tone and vision for local commercial architecture, a landscaped corridor, offer a neighborhood amenity, and will set the tone for bike path and sidewalk connectivity.

In order to achieve our vision for this redevelopment, and for the Township to achieve their goal in fostering the redevelopment of a priority site, we seek the support of HCT in granting existing earmarked redevelopment funds in addition to aiding the obtainment of any Smart Zone Development monies available. We seek a clearly defined fund-granting agreement based on construction completion metrics so that we might be able to navigate a financially successful redevelopment of this property. In this era of tariffs, high interest rates, economic instability, and record commodity pricing; it is pertinent for us to ask for the support of the Township administration, as this redevelopment will be a defining achievement and property-tax accelerator for the Township.

REDEVELOPMENT IN PROGRESS - WILL RENOVATE TO SUIT



HIGH TRAFFIC LOCATION for LEASE - 1,000 to 6,000 sqft



LAUTERBACH
ARCHITECTURE



scan me for lease inquiry
a Doubledog Properties LLC Project

Respectfully submitted for:

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